

# Village Board

## *Regular Meeting Notice and Agenda*

Village of Cross Plains  
2417 Brewery Road, PO Box 97  
Cross Plains, WI 53528  
(608) 798-3241

Monday, August 22, 2016

7:00 pm

- I. Call to Order, Roll Call, and Pledge of Allegiance
  
- II. Public Comment – This is an opportunity for anyone to address the Village Board on any issue NOT on the current agenda. *Please observe the time limit of 3 minutes.* While the Village Board encourages input from residents, it may not discuss or act on any issue that is not duly noticed on the agenda.
  
- III. Ceremonial Matters
  1. Discussion and action to approve a resolution of commendation recognizing the Cross Plains Stingrays championship season.
  
- IV. Consent Agenda – Upon request of any Trustee, any item may be removed from the Consent Agenda for separate consideration under General Business.
  1. Minutes of regular meeting held on July 25, 2016.
  
  2. Total Disbursements from July, 20, 2016 through August 17, 2016, in the amount of \$235,961.77 as follows:

• 110 – General Fund: \$68,870.38	• 150 – Debt Service Fund: \$19,975.00
• 120 – Capital Fund: \$39,514.30	• 310 – TID Fund: \$1,287.00
• 130 – Library Fund: \$7,314.76	• 660 – Water Fund: \$28,930.80
• 140 – Parks/Rec Fund: \$30,786.80	• 670 – Sewer Fund: \$39,282.73
  
  3. Approval of an Operator’s (Bartender’s) License for Michael W. Windels and Jordan D. Hill.
  
  4. Approval of a rezoning request within the Village extraterritorial jurisdiction from Josh W. Aeschbach of 5141 County Highway P in the Town of Berry from A-1EX (Exclusive Agriculture) to A-2(1) (Agriculture District) for a zoning compliance for existing parcel as recommended by the Plan Commission.

5. Approval of a rezoning request within the Village extraterritorial jurisdiction from Janice Doyle of 4575 Garfoot Road in the Town of Cross Plains from A-2(4) (Agricultural District) to A-2(2) (Agriculture District) for a shifting of property lines between adjacent land owners as recommended by the Plan Commission.

6. Approval of a rezoning request within the Village extraterritorial jurisdiction from Gary Nelson of 4924 Scherbel Road in the Town of Berry from A-1EX (Exclusive Agriculture) to A-2(1) (Agriculture District) for the creation of one residential lot as recommended by the Plan Commission.

7. Approval of Invoices L45909 and L45910 from the Department of Transportation for work related to the reconstruction of Highway 14 (Main Street).

V. Report of Village Officers

1. Village President
2. Village Administrator/Clerk-Treasurer
3. Miscellaneous Trustee Reports

VI. Committee Discussion

1. Parks and Recreation Committee
  - a. Approval to modify the Village Ordinance regarding dogs on leash being allowed in Village Parks and open spaces.
2. Plan Commission
  - a. Discussion and action regarding a request from West Gateway Inc. for a Specific Implementation Plan (SIP) for 1812-1904 Main Street in order to construct a mixed use residential and commercial building as a Planned Development (PD).
3. US Highway 14 Streetscape Workgroup
  - a. Discussion and action regarding the 2016 Streetscape Project Plan and Design by MSA Professional Services.

V. General Business

1. Discussion and action regarding a Development Agreement with West Gateway Inc. to redevelop the property located at 1812-1904 Main Street as approved in the TIF Redevelopment Grant Application #2016-01.
2. Presentation from Casey Koenig and Amy Hansen as they look to partner with the Village of Cross Plains to conduct a Market Analysis of our community.
3. Discussion and action to accept the Traffic Study of County Highway P (Church Street) as prepared by SRF Consulting.
4. Discussion regarding alternatives for intersection alignment at Church Street and Military Roads as recommended in the Traffic Study of County Highway P (Church Street).
5. Discussion and action regarding Resolution 16-2016 concerning the closing between the Village of Cross Plains and VH Cross Plains, LLC on Lot 1, Glacier Ridge subdivision.

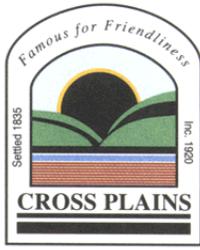
VII. Closed Session

1. The Village Board will meet in Closed Session pursuant to the following:
  - a. 19.85(1)(e) of Wisconsin Statutes to deliberate or negotiate the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session, specifically regarding the acquisition of property and/or an easement at 1107 Bourbon Road for the Zander Park Trail Expansion Project.
2. Reconvene into Open Session.
3. Discussion and action regarding the acquisition of property and/or an easement at 1107 Bourbon Road for the Zander Park Trail Expansion Project.

VIII. Adjournment

This meeting notice constitutes an official meeting of the above referenced group and was posted in accordance with all applicable laws related Open Meetings Law. It is possible that members

of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals. For additional information or to request this service, contact the Village Hall at (608) 798-3241 or [maxon@cross-plains.wi.us](mailto:maxon@cross-plains.wi.us)



Village of Cross Plains  
PO Box 97, 2417 Brewery Road  
Cross Plains, WI 53528  
Phone: (608) 798-3241  
Fax: (608) 798-3817

## Memorandum

To: Village Board of Trustees  
From: Michael K Axon, Interim Village Administrator/Parks and Recreation Director  
Date: August 16, 2016  
Re: **Village Board Meeting – August 22, 2016**

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### III. Ceremonial Matters

**1. Discussion and action to approve a resolution of commendation recognizing the Cross Plains Stingrays conference championship.**

IV. Consent Agenda – Upon request of any Trustee, any item may be removed from the Consent Agenda for separate consideration under General Business.

**1. Minutes of regular meeting held on July 25, 2016** – Recommended for approval.

**2. Total Disbursements from July 20, 2016 through August 17, 2016 in the amount of \$235,961.77 as follows** – Recommended for approval.

- 110 – General Fund: \$68,870.38
- 120 – Capital Fund: \$39,514.30
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- 310 – TID Fund: \$1,287.00
- 660 – Water Fund: \$28,930.80
- 670 – Sewer Fund: \$39,282.73

**3. Approval of an Operator's (Bartender's) License for Michael W. Windels and Jordan D. Hill.**  
– Recommended Approval

**4. Approval of a rezoning request within the Village extraterritorial jurisdiction from Josh W. Aeschbach of 5141 County Highway P in the Town of Berry from A-1EX (Exclusive Agriculture) to A-2(1) (Agriculture District) for a zoning compliance for existing parcel as recommended by the Plan Commission.**

**5. Approval of a rezoning request within the Village extraterritorial jurisdiction from Janice Doyle of 4575 Garfoot Road in the Town of Cross Plains from A-2(4) (Agricultural District) to**

**A-2(2) (Agriculture District) for a shifting of property lines between adjacent land owners as recommended by the Plan Commission.**

**6. Approval of a rezoning request within the Village extraterritorial jurisdiction from Gary Nelson of 4924 Scherbel Road in the Town of Berry from A-1EX (Exclusive Agriculture) to A-2(1) (Agriculture District) for the creation of one residential lot as recommended by the Plan Commission.**

**7. Approval of Invoices L45909 and L45910 from the Department of Transportation for work related to the reconstruction of Highway 14 (Main Street).**

V. Report of Village Officers

VI. Committee Discussion

1. Parks and Recreation Committee

**a) Approval to modify the Village Ordinance regarding dogs on leash being allowed in Village Parks and open spaces.** – The Parks and Recreation Committee have

been working on a solution to adopt and enforce an ordinance regarding dogs/pets being present in Village owned Parks and Open Space Areas. The committee unanimously approved allowing dogs/pets on leash in all Village Parks and Open Space Areas, but not to be present near playgrounds, picnic shelters, or ballfields.

The current ordinance reads:

**SECTION 21.09 Prohibited Conduct.**

**(a) Animals Running At large Prohibited.** No animal, including livestock, shall be permitted by its owner to run at large in any area within the Village except on the private property of the owner of the animal or on other private property with the consent of the property owner or person in charge.

**a. (b) Animals Prohibited in Certain Areas.** No animal shall be permitted by its owner to enter or remain in any public building or Village park or recreation land, unless the area is officially posted as permitting such animals, or on any privately owned property without the express consent of the property owner or person in charge. This provision shall not apply to a specially trained guide dog accompanied by a blind or deaf person.

Staff recommends a change in the current ordinance to read:

(b) Animals shall be permitted on leash by its owner to enter or remain in any Village Park or Open Space, unless the area is officially posted as not permitting such animals. Dogs/pets are not allowed near any playground, picnic shelter, or ball field. The Director, the Chief of Police, or any law enforcement officer

designated by the Chief, may suspend any pet and pet owner from a public park or open space when necessary.

This option will allow for the Parks and Recreation Committee along with staff to make changes to parks and open space areas per-request from Village residents, while also allowing for a clear enforcement moving forward.

## 2. Planning Commission

- a. Discussion and action regarding a request from West Gateway Inc. for a Specific Implementation Plan (SIP) for 1812-1904 Main Street in order to construct a mixed use residential and commercial building as a Planned Development (PD) –** The Plan Commission reviewed these requests at its meeting on August 1<sup>st</sup> and unanimously recommended approval of the request for a Specific Implementation Plan (SIP) to construct a mixed use residential and commercial property subject to the following conditions. i. The exterior building façade, materials used, color, and pattern be subject to further discussion with samples brought to the next plan meeting; ii. The exterior balcony and railings enhanced to feature a more esthetic pleasing design. Following discussion, Village Staff and the Plan Commission recommend approval.

## 3. US Highway 14 Streetscape Workgroup

- a. Discussion and action regarding the 2016 Streetscape Project Plan and Design by MSA Professional Services.** --The Streetscape Committee has been working diligently with Village Staff and MSA to encompass a plan to beautify the Village’s downtown. The plan proposed by MSA has been approved by the Plan Commission and Staff excluding lighting improvements. The streetscape committee asks that Village staff be responsible for implementation as the “General Contractor” by issuing RFP’s for the services and location. The commission also asks for implementation to be prioritized by location from the East (Church Street) to the West (Wilson Street) with substantial or material changes made by the Village Board be referred back to the workgroup for consideration.

## V. General Business

- 1. Discussion and action regarding a Development Agreement with West Gateway Inc. to redevelop the property located at 1812-1904 Main Street as approved in the TIF Redevelopment Grant Application #2016-01.** – The draft proposed Development Agreement with West Gateway Inc. to redevelop the property located at 1812-1904 Main Street as approved in TIF Redevelopment Grant Application #2016-01 addresses the concerns from July 25<sup>th</sup>. Staff received changes to: Facility Agreement, TIF Payment Date, Parking Lot Easement, Letter of Credit, and Assessment Value. Further discussion is needed regarding the request

for addressing the building, both residential and business redevelopment. Staff has worked to eliminate the Letter of Credit, as asked by the developer, while also increasing the Assessment Value Guarantee closer to the amount originally approved as part of the TIF application by the board. Staff recommends more discussion between the developer and Village Board.

**2. Presentation from Casey Koenig and Amy Hansen as they look to partner with the Village of Cross Plains to conduct a Market Analysis of our community.**

**3. Discussion and action to accept the Traffic Study of County Highway P (Church Street) as prepared by SRF Consulting.**

**4. Discussion regarding alternatives for intersection alignment at Church Street and Military Roads as recommended in the Traffic Study of County Highway P (Church Street).**

**5. Discussion and action regarding Resolution 16-2016 concerning the closing between the Village of Cross Plains and VH Cross Plains, LLC on Lot 1, Glacier Ridge subdivision.**

VIII. Closed Session

**1. The Village Board will meet in Closed Session pursuant to the following:**

*a. 19.85(1)(e) of Wisconsin Statutes to deliberate or negotiate the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session, specifically regarding the acquisition of property and/or an easement at 1107 Bourbon Road for the Zander Park Trail Expansion Project.*

**2. Reconvene into Open Session.**

**3. Discussion and action regarding the acquisition of property and/or an easement at 1107 Bourbon Road for the Zander Park Trail Expansion Project – To take action on this item following discussion in Closed Session as is desired by the Village Board.**

# **Village Board**

## *Regular Meeting Minutes*

Village of Cross Plains  
2417 Brewery Road, PO Box 97  
Cross Plains, WI 53528  
(608) 798-3241

**Monday, July 25, 2016**

**7:00 pm**

I. Call to Order, Roll Call, and Pledge of Allegiance

President Andreoni called the regular Village Board meeting to order at 7:00 pm.

Present: Trustees William Brosius, Judy Ketelboeter, Jay Lengfeld, Steve Schunk, Lee Sorensen, Clifford Zander, and President Pat Andreoni.

Also Present: Lisa Kostecki, Michael Cliff, Bobbi Zauner, Joe Ziemetz, Rachel Pientka, Tom Pientka, Sarah Francois, and Timothy Mattix.

II. Public Comment

1. Michael Cliff residing at 1997 Lewis Street stated he was a member of a local mountain biking group that has brought a proposal to the Parks/Recreation Committee for consideration to develop trails within the southern conservancy properties and hopes to discuss with the Village the proposed implementation in the future.

III. Consent Agenda – A motion was made by Trustee Brosius, seconded by Trustee Ketelboeter, and unanimously carried by the Village Board to adopt the consent agenda as follows:

1. Minutes of regular meeting held on June 27, 2016.

4. Approval of an Operator's (Bartender's) License for Karen A. Bruckert, Kevin J. Haima, Denise Malone, Elsa Rosas, and Charles D. Rozek.

5. Approval of an Intergovernmental Agreement with the Middleton-Cross Plains School District for the Village to provide Police Liaison Services in the Elementary and Middle School as available.

7. Approval of Resolution #13-2016 to join a Deferred Compensation Plan with North Shore Bank.

Trustee Ketelboeter requested Consent Agenda Item #2 be removed for additional discussion. This item will be taken up under General Business.

Trustee Sorensen requested Consent Agenda Item #3 be removed for additional discussion. This item will be taken up under General Business.

Trustee Lengfeld requested Consent Agenda Item #6 be removed for additional discussion. This item will be taken up under General Business.

#### IV. Report of Village Officers

##### **1. Village President**

*a. Discussion and action regarding 2016 Board, Commissions, and Committee Appointments* – The Village President made the following appointments:

- Parks/Recreation Committee – Appoint Trustee William Brosius, Dale Buechner, and Frank Durham to a one-year term to expire in 2017. Appoint Jim Billmeyer to a two-year term to expire in 2018. Appoint Kevin Thusius to a three-year term to expire in 2019. A motion was made by Trustee Ketelobeter, seconded by Trustee Lengfeld, and unanimously carried by the Village Board to confirm the appointments made by the Village President.
- Public Safety Committee – Appoint Trustee Schunk, Randy Swingen, and Cindy Kalscheur to a one-year term to expire in 2017. Appoint Terry Walker to a two-year term to expire in 2018. Appoint Tom O’Connel to a three-year term to expire in 2019. A motion was made by Trustee Brosius, seconded by Trustee Schunk, and unanimously carried by the Village Board to confirm the appointments made by the Village President.
- Thanked outgoing Village Administrator/Clerk Matt Schuenke for his service to the Village of Cross Plains and stated there will be a Farewell Reception at Coach’s Club at 4:30 pm on Wednesday.

##### **2. Village Administrator/Clerk-Treasurer**

- Stated that the Fall Primary General Election is scheduled for Tuesday, August 9<sup>th</sup> from 7:00 am to 8:00 pm at the Fire Station. Absentee Voting is currently available in the Village Hall until August 5<sup>th</sup>.
- Stated that the Public Hearing on the Village’s Petition for a new pedestrian railroad crossing has been moved to Tuesday, August 30<sup>th</sup> at 1:00 pm.
- Police Chief Tom Janssen introduced new Lieutenant/Detective Kim Ready to the Village Board whom began employment on July 1<sup>st</sup>.

##### **3. Miscellaneous Trustee Reports**

- Trustee Schunk stated that the last Public Safety Committee meeting was well attended to receive a presentation on the Traffic Study of County Highway P (Church Street). Good feedback was provided to the engineers present and all looked forward to the improvement.

#### V. General Business

**1. Discussion and action regarding Resolution #14-2016 providing for the sale of approximately \$3,565,000 taxable General Obligation Promissory Notes, Series 2016B** – Following discussion, a motion was made by Trustee Ketelboeter, seconded by Trustee Lengfeld, and unanimously carried by the Village Board to approve Resolution #14-2016 providing for the sale of approximately \$3,565,000 taxable General Obligation Promissory Notes, Series 2016B.

**2. Discussion and action to accept the 2015 Audit and Financial Statements** – Following discussion, a motion was made by Trustee Brosius, seconded by Trustee Sorensen, and unanimously carried to accept the 2015 Audit and Financial Statements as presented.

**Consent Agenda Item #6: Approval to open new bank account for restricted income within the Water Utility** – Following discussion, a motion was made by Trustee Lengfeld, seconded by Trustee Schunk, and unanimously carried by the Village Board to approve the opening of a new bank account for restricted income within the Water Utility.

**3. Discussion and action regarding the appointment of the new Parks Maintenance employee** – Following discussion, a motion was made by Trustee Lengfeld, seconded by Trustee Ketelboeter, and unanimously carried by the Village Board to confirm the appointment of Dain Ziegler to the position of Parks Maintenance employee.

**4. Discussion and action regarding an Intergovernmental Agreement between the Village, Town of Berry, and Town of Cross Plains as part of the Cross Plains-Berry Fire District** – Following discussion, a motion was made by Trustee Lengfeld, seconded by Trustee Schunk, and unanimously carried by the Village Board to refer the draft Intergovernmental Agreement back to the Cross Plains-Berry Fire District Board for further consideration of the revisions proposed by the Village Attorney.

**5. Discussion and action regarding an Intergovernmental Agreement between the Village, Town of Berry, Town of Cross Plains, and Town of Springfield as part of the Cross Plains Area EMS** – Following discussion, a motion was made by Trustee Schunk, seconded by Trustee Zander, and unanimously carried by the Village Board to refer the draft Intergovernmental Agreement back to the Cross Plains Area District Board for further consideration of the revisions proposed by the Village Attorney.

**Consent Agenda Item #2: Total Disbursements from May 4, 2016 through July 20, 2016 in the amount of \$415,627.28 as follows:**

- 110 – General Fund: \$109,803.46
- 120 – Capital Fund: \$127,116.41
- 130 – Library Fund: \$15,277.93
- 140 – Parks/Rec Fund: \$32,847.14
- 150 – Debt Service Fund: \$0.00
- 310 – TID Fund: \$47,440.00
- 660 – Water Fund: \$10,006.34
- 670 – Sewer Fund: \$73,136.00

Following discussion, a motion was made by Trustee Ketelobeter, seconded by Trustee Brosius, and unanimously carried by the Village Board to approve the total disbursements from May 4, 2016 through July 20, 2016 in the amount of \$415,627.28.

**Consent Agenda Item #3: Approval of a variance from the scheduling requirements of Section 83.104 of the Land Division and Subdivision Ordinance regarding planned earth-disturbing activities in the Glacier Ridge Subdivision as recommended by the Plan Commission** – Following discussion, a motion was made by Trustee Ketelboeter, seconded by Trustee Sorensen, and unanimously carried by the Village Board to approve the variance from scheduling requirements of Section 83.104 of the Land Division and Subdivision Ordinance regarding planned earth-disturbing activities in the Glacier Ridge Subdivision as recommended by the Plan Commission.

VI. Committee Discussion

**1. Plan Commission**

*a. Discussion and action regarding a request from West Gateway Inc. for a Zoning Map Amendment and General Development Plan (GDP) for 1812-1904 Main Street from Main Street Mixed Use (MSMU) to Planned Development (PD) in order to construct a mixed use residential and commercial building – Following discussion, a motion was made by Trustee Ketelboeter, seconded by Trustee Schunk, and unanimously carried by the Village Board to approve the request from West Gateway Inc. for a Zoning Map Amendment and General Development Plan (GDP) for 1812-1904 Main Street from Main Street Mixed Use (MSMU) to Planned Development (PD) in order to construct a mixed use residential and commercial building.*

*b. Discussion regarding a Development Agreement with West Gateway Inc. to redevelop the property located at 1812-1904 Main Street as approved in the TIF Redevelopment Grant Application #2016-01 – The draft proposed Development Agreement with West Gateway Inc. to redevelop the property located at 1812-1904 Main Street as approved in TIF Redevelopment Grant Application #2016-01 was introduced. The Developer provided his initial comments/concerns regarding the initial proposal. A final draft will be presented for consideration by the Village Board on August 22<sup>nd</sup> addressing the concerns discussed.*

*c. Discussion and action regarding a Development Proposal from Sundance Development, LLC in order to annex and develop the property of and adjoining to 4923 Brewery Road (Weber Farm) as a residential subdivision – The Village Board received a presentation on the project as recommended by the Plan Commission and discussed the project with the Developer. Additional time for review of the proposal was requested. The Village Board will consider the Development Proposal at its meeting on August 22<sup>nd</sup>.*

VII. Closed Session

**1. The Village Board will meet in Closed Session pursuant to the following –** A motion was made by Trustee Ketelboeter, seconded by Trustee Brosius, for the Village Board to meet in Closed Session at 9:48 pm pursuant to the following subsections:

*a. 19.85(1)(c) of Wisconsin Statutes to consider employment, promotion, compensation, or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility, specifically regarding the recruitment for Village Administrator/Clerk position.*

*b. 19.85(1)(e) of Wisconsin Statutes to deliberate or negotiate the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session, specifically regarding the acquisition of property and/or an easement at 1107 Bourbon Road for the Zander Park Trail Expansion Project.*

A roll call vote is required. Yes – Andreoni, Brosius, Ketelboeter, Lengfeld, Schunk, Sorensen, and Zander. No – None. Motion carried 7 – 0.

**2. Reconvene into Open Session** – A motion was made by Trustee Brosius, seconded by Trustee Schunk, and unanimously carried by the Village Board to return to Open Session at 10:50 pm.

**3. Discussion and action regarding the acquisition of property and/or an easement at 1107 Bourbon Road for the Zander Park Trail Expansion Project** – No action was taken on this item.

VIII. Adjournment

A motion was made by Trustee Sorensen, seconded by Trustee Lengfeld, and unanimously carried by the Village Board to adjourn the meeting at 10:52 pm.

Pursuant to law, written notice of this meeting was given to the public and posted on the public bulletin boards in accordance with Open Meetings Law.

Respectfully submitted,

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Matthew G. Schuenke  
Village Administrator/Clerk

STATE OF WISCONSIN: DANE COUNTY: VILLAGE OF CROSS PLAINS

**A resolution of commendation recognizing Cross Plains Stingrays Swim Team regarding their recent Conference Championship**

RESOLUTION NO. 15-2016

The Board of Trustees of the Village of Cross Plains adopts the following Resolution:

WHEREAS, the Cross Plains Stingrays Swim Team includes many residents of the Village of Cross Plains and surrounding area between the ages of 18 and younger;

WHEREAS, the Cross Plains Stingrays Swim Team compiled an undefeated regular season team record in 2016;

WHEREAS, the Cross Plains Stingrays Swim Team has won the Tri-County Swim League Conference Championship in 2016;

WHEREAS, the Cross Plains Stingrays Swim Team offers an excellent community based organization that has offered our community youth, young adults, and parents an opportunity to gain confidence and skills, both individually and as a team, since 1972.

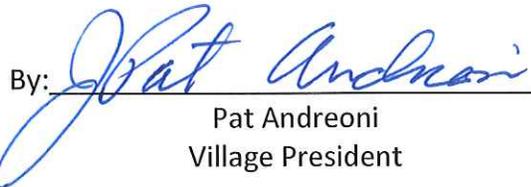
NOW, THEREFORE BE IT RESOLVED, that the Village Board of the Village of Cross Plains hereby recognizes the Cross Plains Stingrays Swim Team, and congratulates the team, coaches, parents, supporters, and other volunteers on this tremendous achievement.

This resolution shall take effect upon its passage and publication or posting as provided by Law.

Dated this 22<sup>nd</sup> day of August 2016.

Village of Cross Plains:

Attest:

By:   
Pat Andreoni  
Village President

By:   
Michael K. Axon  
Interim Village Administrator/  
Parks and Recreation Director

## Village Board

### *Regular Meeting Minutes*

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2417 Brewery Road, PO Box 97  
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(608) 798-3241

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7:00 pm

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Present: Trustees William Brosius, Judy Ketelboeter, Jay Lengfeld, Steve Schunk, Lee Sorensen, Clifford Zander, and President Pat Andreoni.

Also Present: Lisa Kostecky, Michael Cliff, Bobbi Zauner, Joe Ziemant, Rachel Pientka, Tom Pientka, Sarah Francois, and Timothy Mattix.

#### II. Public Comment

1. Michael Cliff residing at 1997 Lewis Street stated he was a member of a local mountain biking group that has brought a proposal to the Parks/Recreation Committee for consideration to develop trails within the southern conservancy properties and hopes to discuss with the Village the proposed implementation in the future.

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4. Approval of an Operator's (Bartender's) License for Karen A. Bruckert, Kevin J. Haima, Denise Malone, Elsa Rosas, and Charles D. Rozek.

5. Approval of an Intergovernmental Agreement with the Middleton-Cross Plains School District for the Village to provide Police Liaison Services in the Elementary and Middle School as available.

7. Approval of Resolution #13-2016 to join a Deferred Compensation Plan with North Shore Bank.

Trustee Ketelboeter requested Consent Agenda Item #2 be removed for additional discussion. This item will be taken up under General Business.

Trustee Sorensen requested Consent Agenda Item #3 be removed for additional discussion. This item will be taken up under General Business.

Trustee Lengfeld requested Consent Agenda Item #6 be removed for additional discussion. This item will be taken up under General Business.

#### IV. Report of Village Officers

##### 1. Village President

*a. Discussion and action regarding 2016 Board, Commissions, and Committee Appointments* – The Village President made the following appointments:

- Parks/Recreation Committee – Appoint Trustee William Brosius, Dale Buechner, and Frank Durham to a one-year term to expire in 2017. Appoint Jim Billmeyer to a two-year term to expire in 2018. Appoint Kevin Thusius to a three-year term to expire in 2019. A motion was made by Trustee Ketelobeter, seconded by Trustee Lengfeld, and unanimously carried by the Village Board to confirm the appointments made by the Village President.
- Public Safety Committee – Appoint Trustee Schunk, Randy Swingen, and Cindy Kalscheur to a one-year term to expire in 2017. Appoint Terry Walker to a two-year term to expire in 2018. Appoint Tom O’Connel to a three-year term to expire in 2019. A motion was made by Trustee Brosius, seconded by Trustee Schunk, and unanimously carried by the Village Board to confirm the appointments made by the Village President.
- Thanked outgoing Village Administrator/Clerk Matt Schuenke for his service to the Village of Cross Plains and stated there will be a Farewell Reception at Coach’s Club at 4:30 pm on Wednesday.

##### 2. Village Administrator/Clerk-Treasurer

- Stated that the Fall Primary General Election is scheduled for Tuesday, August 9<sup>th</sup> from 7:00 am to 8:00 pm at the Fire Station. Absentee Voting is currently available in the Village Hall until August 5<sup>th</sup>.
- Stated that the Public Hearing on the Village’s Petition for a new pedestrian railroad crossing has been moved to Tuesday, August 30<sup>th</sup> at 1:00 pm.
- Police Chief Tom Janssen introduced new Lieutenant/Detective Kim Ready to the Village Board whom began employment on July 1<sup>st</sup>.

##### 3. Miscellaneous Trustee Reports

- Trustee Schunk stated that the last Public Safety Committee meeting was well attended to receive a presentation on the Traffic Study of County Highway P (Church Street). Good feedback was provided to the engineers present and all looked forward to the improvement.

#### V. General Business

**1. Discussion and action regarding Resolution #14-2016 providing for the sale of approximately \$3,565,000 taxable General Obligation Promissory Notes, Series 2016B** – Following discussion, a motion was made by Trustee Ketelboeter, seconded by Trustee Lengfeld, and unanimously carried by the Village Board to approve Resolution #14-2016 providing for the sale of approximately \$3,565,000 taxable General Obligation Promissory Notes, Series 2016B.

**2. Discussion and action to accept the 2015 Audit and Financial Statements** – Following discussion, a motion was made by Trustee Brosius, seconded by Trustee Sorensen, and unanimously carried to accept the 2015 Audit and Financial Statements as presented.

**Consent Agenda Item #6: Approval to open new bank account for restricted income within the Water Utility** – Following discussion, a motion was made by Trustee Lengfeld, seconded by Trustee Schunk, and unanimously carried by the Village Board to approve the opening of a new bank account for restricted income within the Water Utility.

**3. Discussion and action regarding the appointment of the new Parks Maintenance employee** – Following discussion, a motion was made by Trustee Lengfeld, seconded by Trustee Ketelboeter, and unanimously carried by the Village Board to confirm the appointment of Dain Ziegler to the position of Parks Maintenance employee.

**4. Discussion and action regarding an Intergovernmental Agreement between the Village, Town of Berry, and Town of Cross Plains as part of the Cross Plains-Berry Fire District** – Following discussion, a motion was made by Trustee Lengfeld, seconded by Trustee Schunk, and unanimously carried by the Village Board to refer the draft Intergovernmental Agreement back to the Cross Plains-Berry Fire District Board for further consideration of the revisions proposed by the Village Attorney.

**5. Discussion and action regarding an Intergovernmental Agreement between the Village, Town of Berry, Town of Cross Plains, and Town of Springfield as part of the Cross Plains Area EMS** – Following discussion, a motion was made by Trustee Schunk, seconded by Trustee Zander, and unanimously carried by the Village Board to refer the draft Intergovernmental Agreement back to the Cross Plains Area District Board for further consideration of the revisions proposed by the Village Attorney.

**Consent Agenda Item #2: Total Disbursements from May 4, 2016 through July 20, 2016 in the amount of \$415,627.28 as follows:**

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- 120 – Capital Fund: \$127,116.41
- 130 – Library Fund: \$15,277.93
- 140 – Parks/Rec Fund: \$32,847.14
- 150 – Debt Service Fund: \$0.00
- 310 – TID Fund: \$47,440.00
- 660 – Water Fund: \$10,006.34
- 670 – Sewer Fund: \$73,136.00

Following discussion, a motion was made by Trustee Ketelobeter, seconded by Trustee Brosius, and unanimously carried by the Village Board to approve the total disbursements from May 4, 2016 through July 20, 2016 in the amount of \$415,627.28.

**Consent Agenda Item #3: Approval of a variance from the scheduling requirements of Section 83.104 of the Land Division and Subdivision Ordinance regarding planned earth-disturbing activities in the Glacier Ridge Subdivision as recommended by the Plan Commission** – Following discussion, a motion was made by Trustee Ketelboeter, seconded by Trustee Sorensen, and unanimously carried by the Village Board to approve the variance from scheduling requirements of Section 83.104 of the Land Division and Subdivision Ordinance regarding planned earth-disturbing activities in the Glacier Ridge Subdivision as recommended by the Plan Commission.

VI. Committee Discussion

**1. Plan Commission**

*a. Discussion and action regarding a request from West Gateway Inc. for a Zoning Map Amendment and General Development Plan (GDP) for 1812-1904 Main Street from Main Street Mixed Use (MSMU) to Planned Development (PD) in order to construct a mixed use residential and commercial building – Following discussion, a motion was made by Trustee Ketelboeter, seconded by Trustee Schunk, and unanimously carried by the Plan Commission to approve the request from West Gateway Inc. for a Zoning Map Amendment and General Development Plan (GDP) for 1812-1904 Main Street from Main Street Mixed Use (MSMU) to Planned Development (PD) in order to construct a mixed use residential and commercial building.*

*b. Discussion regarding a Development Agreement with West Gateway Inc. to redevelop the property located at 1812-1904 Main Street as approved in the TIF Redevelopment Grant Application #2016-01 – The draft proposed Development Agreement with West Gateway Inc. to redevelop the property located at 1812-1904 Main Street as approved in TIF Redevelopment Grant Application #2016-01 was introduced. The Developer provided his initial comments/concerns regarding the initial proposal. A final draft will be presented for consideration by the Village Board on August 22<sup>nd</sup> addressing the concerns discussed.*

*c. Discussion and action regarding a Development Proposal from Sundance Development, LLC in order to annex and develop the property of and adjoining to 4923 Brewery Road (Weber Farm) as a residential subdivision – The Village Board received a presentation on the project as recommended by the Plan Commission and discussed the project with the Developer. Additional time for review of the proposal was requested. The Village Board will consider the Development Proposal at its meeting on August 22<sup>nd</sup>.*

VII. Closed Session

**1. The Village Board will meet in Closed Session pursuant to the following –** A motion was made by Trustee Ketelboeter, seconded by Trustee Brosius, for the Village Board to meet in Closed Session at 9:48 pm pursuant to the following subsections:

*a. 19.85(1)(c) of Wisconsin Statutes to consider employment, promotion, compensation, or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility, specifically regarding the recruitment for Village Administrator/Clerk position.*

*b. 19.85(1)(e) of Wisconsin Statutes to deliberate or negotiate the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session, specifically regarding the acquisition of property and/or an easement at 1107 Bourbon Road for the Zander Park Trail Expansion Project.*

A roll call vote is required. Yes – Andreoni, Brosius, Ketelboeter, Lengfeld, Schunk, Sorensen, and Zander. No – None. Motion carried 7 – 0.

**2. Reconvene into Open Session** – A motion was made by Trustee Brosius, seconded by Trustee Schunk, and unanimously carried by the Village Board to return to Open Session at 10:50 pm.

**3. Discussion and action regarding the acquisition of property and/or an easement at 1107 Bourbon Road for the Zander Park Trail Expansion Project** – No action was taken on this item.

VIII. Adjournment

A motion was made by Trustee Sorensen, seconded by Trustee Lengfeld, and unanimously carried by the Village Board to adjourn the meeting at 10:52 pm.

Pursuant to law, written notice of this meeting was given to the public and posted on the public bulletin boards in accordance with Open Meetings Law.

Respectfully submitted,

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Matthew G. Schuenke  
Village Administrator/Clerk

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Dated From: 7/20/2016 From Account:

Thru: 8/03/2016 Thru Account:

Check Nbr	Check Date	Payee		Amount
41562	7/20/2016	Katy Zander		
VOID Check			Manual Check	
140-00-46725-000-000		RECREATION		-120.00
			Total	-120.00
41592	7/22/2016	Dane County Clerk of Court		
Judgement for Money - Ken Ransom			Manual Check	
120-00-57300-805-102		INFRASTRUCTURE - LAGOON STREET		4,750.00
			Total	4,750.00
41616	8/01/2016	State of Wis.-Court Fines & Surcharges		
Court Fines & Assessments			Manual Check	
110-00-45110-000-000		COURT PENALTIES & COSTS		931.40
			Total	931.40
41617	8/01/2016	DANE COUNTY TREASURER		
Court Fines & Assessments			Manual Check	
110-00-45110-000-000		COURT PENALTIES & COSTS		250.00
			Total	250.00
41618	8/01/2016	TERRY'S PIGGLY WIGGLY		
Richardson Restitution			Manual Check	
110-00-26111-000-000		MISCELLANEOUS COLLECTIONS		596.05
			Total	596.05
41619	8/01/2016	Betty Zander		
Volleyball Camp Refund			Manual Check	
140-00-46725-000-000		RECREATION		120.00
			Total	120.00
41620	8/03/2016	Kristi Van Buren		
Volleyball Camp				
140-00-55300-207-000		SUPPORT SERVICES		400.00
			Total	400.00

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Dated From: 7/20/2016 From Account:

Thru: 8/03/2016 Thru Account:

Check Nbr	Check Date	Payee	Amount
41621	8/03/2016	Michele R. Dresen	
		Dance Instructor	
140-00-55300-207-000		SUPPORT SERVICES	3,000.00
		Total	3,000.00
41622	8/03/2016	Samantha Dresen	
		Dance Instructor	
140-00-55300-207-000		SUPPORT SERVICES	2,175.00
		Total	2,175.00
41623	8/03/2016	Amy Mikla	
		Pool Rental Refund	
140-00-46734-101-000		POOL GENERAL REVENUE	150.00
		Total	150.00
41624	8/03/2016	CROSS PLAINS WATER-SEWER UTILITY	
		Water-Sewer Bills	
110-00-53300-203-000		UTILITIES	1,075.19
140-00-55200-203-000		UTILITIES	8,180.64
140-00-55420-203-000		UTILITIES	3,601.70
110-00-51600-203-000		UTILITIES	120.75
110-00-51600-203-000		UTILITIES	172.35
110-00-51600-203-000		UTILITIES	138.07
130-00-51600-203-000		UTILITIES	517.05
110-00-52100-203-000		UTILITIES	69.24
670-00-51600-203-000		UTILITIES	2,672.53
		Total	16,547.52
41625	8/03/2016	BAKER & TAYLOR, INC.	
		Books	

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Check Nbr	Check Date	Payee	Amount
130-00-55110-304-101		SUPPLIES - BOOKS	309.09
		Invoice #2032168473	
		<b>Total</b>	<b>309.09</b>
41626	8/03/2016	Nate Glynn	
		Lawn Mowing	
130-00-55110-399-000		MISCELLANEOUS	140.00
		<b>Total</b>	<b>140.00</b>
41627	8/03/2016	MIDWEST TAPE	
		Audiovisual	
130-00-55110-304-104		SUPPLIES - AUDIOVISUAL	12.59
		Invoice #94147480	
130-00-55110-304-104		SUPPLIES - AUDIOVISUAL	27.28
		Invoice #94172805	
		<b>Total</b>	<b>39.87</b>
41628	8/03/2016	Junior Library Guild	
		Books	
130-00-55110-304-101		SUPPLIES - BOOKS	168.75
		Invoice #323277	
130-00-55110-304-101		SUPPLIES - BOOKS	168.75
		Invoice #324695	
		<b>Total</b>	<b>337.50</b>
41629	8/03/2016	Integrated Restorations, LLC	
		Spot Spray Weeds	
140-00-55200-305-000		MAINTENANCE	850.00
		Invoice #00745	
		<b>Total</b>	<b>850.00</b>
41630	8/03/2016	RBS Active Wear	
		T-Shirts	
140-00-55300-306-101		PROGRAMS	903.50
		Invoice #113380	
		<b>Total</b>	<b>903.50</b>
41631	8/03/2016	THE PRINTING PLACE	
		Envelopes	

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Check Nbr	Check Date	Payee	Amount
660-00-51400-921-000		OPERATION - EXPENSE	97.76
		Invoice #34432	
670-00-53610-206-000		PRINTING	97.75
<b>Total</b>			<b>195.51</b>

41632 8/03/2016 TOWN & COUNTRY ENGINEERING, INC.  
Engineering Fees

110-00-56400-207-101		SUPPORT SERVICES - GENERAL	1,936.70
		Invoice #16860,Buechner Farm Dev.	
110-00-56400-207-101		SUPPORT SERVICES - GENERAL	512.75
		Invoice #16857,Sundance Development	
120-00-57140-207-000		SUPPORT SERVICES	605.00
		Invoice #16861,Civic Campus Grading Plan	
670-00-53610-207-000		SUPPORT SERVICES	585.00
		Invoice #16858,CMOM Assistance	
670-00-57410-207-000		SUPPORT SERVICES	330.00
		Invoice #16859,BE Creek Study-WWTP	
120-00-57300-805-104		INFRASTRUCTURE - CTY HWY P	13,588.23
		Invoice #16854,CTH P Reconstructiony	
120-00-57300-207-102		SUPP. SRVCS - STORMWATER PLAN	1,365.00
		Invoice #16855,MS 4 Permit Preparation	
660-00-57000-207-000		SUPPORT SERVICES	2,172.50
		Invoice #16856,Main St. Construction	
670-00-57410-207-000		SUPPORT SERVICES	3,258.75
		Invoice #16856,Main St. Construction	
<b>Total</b>			<b>24,353.93</b>

41633 8/03/2016 Lisa M. Davis  
Cleaning Services

110-00-52100-207-000		SUPPORT SERVICES	150.00
<b>Total</b>			<b>150.00</b>

41634 8/03/2016 Bond Trust Services Corporation  
General Obligation Bonds

150-00-58000-602-000		INTEREST	19,975.00
		Statement #31582	
<b>Total</b>			<b>19,975.00</b>

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Check Nbr	Check Date	Payee	Amount
41635	8/03/2016	Ricoh Americas Corporation	
		Copy Machine Lease	
110-00-51600-301-000		EQUIPMENT	238.96
		Invoice #21591391	
		Total	238.96
41636	8/03/2016	JOHNSON, BLOCK & COMPANY, INC.	
		Audit of Financial Statements	
110-00-51510-207-000		SUPPORT SERVICES	1,300.00
		Client #1634	
660-00-51400-923-000		CONTRACTED SERVICES	1,425.00
670-00-51510-207-000		SUPPORT SERVICES	1,550.00
660-00-51400-923-000		CONTRACTED SERVICES	1,400.00
		Total	5,675.00
41637	8/03/2016	Schwaab, Inc.	
		Stamps	
110-00-51510-304-000		SUPPLIES	39.25
		Invoice #A061566	
110-00-51100-304-000		SUPPLIES	37.36
		Invoice #A053867	
		Total	76.61
41638	8/03/2016	US CELLULAR	
		Cellular Phone Service	
110-00-52100-202-000		COMMUNICATION	67.50
		Total	67.50
41639	8/03/2016	Lakeside International Trucks	
		Coolant, Invoice #8106419P	
110-00-53300-305-101		MAINTENANCE - VEHICLE	86.25
		Total	86.25
41640	8/03/2016	Northland Business Systems	
		Annual Maintenance	

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Check Nbr	Check Date	Payee	Amount
110-00-52100-207-000		SUPPORT SERVICES	1,481.46
		Invoice #IN67671	
		Total	1,481.46
41641	8/03/2016	Modern Marketing Shield Shaped Stickers	
110-00-52100-306-000		PROGRAMS	499.94
		Invoice #MMI116874	
		Total	499.94
41642	8/03/2016	The Sherwin-Williams Company Paint, Invoice #1358-8	
140-00-55200-304-000		SUPPLIES	191.80
		Total	191.80
41643	8/03/2016	CHARTER COMMUNICATIONS Internet Service	
110-00-51600-202-000		COMMUNICATION	146.96
		Total	146.96
41644	8/03/2016	WISCONSIN PROFESSIONAL POLICE ASSOCIATION Union Dues	
110-00-21350-000-000		UNION DUES - POLICE	124.50
		#55	
		Total	124.50
41645	8/03/2016	Complete Office of Wisconsin Xerox Paper, Account #11287	
110-00-51410-304-000		SUPPLIES	286.60
		Total	286.60
41646	8/03/2016	Vandewalle & Associates, Inc. Professional Services	
110-00-56400-207-101		SUPPORT SERVICES - GENERAL	826.20
		Invoice #201607022, Current Planning	
110-00-56400-207-102		SUPPORT SERVICES - ZONING	2,455.30
		Invoice #201310038, Zoning Code Update	

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Check Nbr	Check Date	Payee	Amount
120-00-57140-207-000		SUPPORT SERVICES	683.50
		Invoice #201607021	
		Total	3,965.00
41647	8/03/2016	Sam's Club/Synchrony Bank Concessions	
140-00-55420-307-000		CONCESSIONS	71.01
		Account #7715 0908 1365 4233	
140-00-55200-307-000		CONCESSIONS	17.91
		Total	88.92
41648	8/03/2016	Elizabeth Bakken Rec. Instructor	
140-00-55300-207-000		SUPPORT SERVICES	180.00
		Total	180.00
41649	8/03/2016	Johnson Inspection LLC Building Inspections	
110-00-52400-207-000		SUPPORT SERVICES	1,191.60
		Invoice #588	
		Total	1,191.60
41650	8/03/2016	Immaculate Cleaning, Inc. Cleaning Services	
110-00-51600-207-000		SUPPORT SERVICES	275.00
		Invoice #5463	
		Total	275.00
41651	8/03/2016	Easyp permit Postage Postage	
110-00-51410-201-000		POSTAGE	577.96
		Total	577.96
41652	8/03/2016	CHARTER COMMUNICATIONS Internet Services	
110-00-52100-202-000		COMMUNICATION	144.99

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Check Nbr	Check Date	Payee	Amount
Total			144.99
41653	8/03/2016	Richardson Sanitation Service Portable Toilets	
140-00-55200-207-000		SUPPORT SERVICES Invoice #5334	632.00
Total			632.00
41654	8/03/2016	MIDDLETON FORD Vehicle Repair, Invoice #302165	
110-00-52100-305-000		MAINTENANCE	1,043.31
Total			1,043.31
41655	8/03/2016	DANE COUNTY TREASURER 2 DaneCom Costs, Invoice #29218	
110-00-51600-207-000		SUPPORT SERVICES	1,586.00
Total			1,586.00
41656	8/03/2016	John Deere Financial Supplies, Account #70107-40595	
110-00-53300-305-101		MAINTENANCE - VEHICLE	229.21
Total			229.21
41657	8/03/2016	WEAVER AUTO PARTS Dye, Invoice #06IN013839	
110-00-53300-305-101		MAINTENANCE - VEHICLE	10.10
Total			10.10
41658	8/03/2016	CAPITOL SAND & GRAVEL CO., INC. Washed Stone, Gravel	
660-00-53700-677-000		MAINTENANCE OF HYDRANTS Invoice #7-1870	42.29
110-00-53300-301-000		EQUIPMENT	29.20
Total			71.49
41659	8/03/2016	SAEMAN LUMBER CO. Supplies, Acct. #CR650	

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Thru: 8/03/2016 Thru Account:

Check Nbr	Check Date	Payee	Amount
110-00-53300-305-103		MAINTENANCE - INFRASTRUCTURE	69.29
Total			69.29
41660 8/03/2016 News Publishing Company Public Notices, Account #99101876			
110-00-51440-206-000		PRINTING	25.33
Total			25.33
41661 8/03/2016 ZEP MANUFACTURING CO. Wasp Spray,Bowl Shine,Soy Response			
660-00-53700-673-000		MAINTENANCE OF MAINS Invoice #9002364988	1,712.26
110-00-53300-304-101		SUPPLIES - GENERAL Invoice #9002352933	273.50
Total			1,985.76
41662 8/03/2016 BOEHNEN, INC. Repair Fire Hydrant,Hillside Ditch,Sign			
660-00-53700-677-000		MAINTENANCE OF HYDRANTS Invoice #23746	337.50
110-00-53300-305-103		MAINTENANCE - INFRASTRUCTURE	360.00
Total			697.50
41663 8/03/2016 Interstate All Battery Center Batteries			
110-00-53300-305-101		MAINTENANCE - VEHICLE Invoice #1905101008463	239.90
110-00-53300-305-102		MAINTENANCE - EQUIPMENT Invoice #1905101008448	54.95
Total			294.85
41664 8/03/2016 Lincoln Contractors Supply Blades, Invoice #K61335			
660-00-53700-673-000		MAINTENANCE OF MAINS	565.97
Total			565.97

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Thru: 8/03/2016 Thru Account:

Check Nbr	Check Date	Payee	Amount
41665	8/03/2016	DRS LIMITED	
		Surface Hot Mix, Invoice #036353	
660-00-53700-673-000		MAINTENANCE OF MAINS	510.93
		Total	510.93
41666	8/03/2016	NORTHERN LAKE SERVICE, INC.	
		Samples, Invoice #298863	
670-00-53610-207-000		SUPPORT SERVICES	33.00
		Total	33.00
41667	8/03/2016	FedEx	
		Shipping, Account #5324-1700-7	
670-00-53610-207-000		SUPPORT SERVICES	300.25
		Total	300.25
41668	8/03/2016	WORLD OF VARIETY	
		Supplies	
140-00-55300-304-000		SUPPLIES	23.78
		Invoice #18287	
130-00-51600-304-000		SUPPLIES	29.94
		Invoice #18287	
140-00-55300-304-000		SUPPLIES	34.57
		Invoice #18223	
140-00-55420-304-000		SUPPLIES	38.95
		Invoice #18224	
		Total	127.24
41669	8/03/2016	WISCONSIN RURAL WATER ASSOCIATION	
		System Membership Renewal	
670-00-53610-399-000		MISCELLANEOUS	435.00
		Invoice #51849	
		Total	435.00
41670	8/03/2016	Environmental Consulting & Testing	
		Chronic WET	
670-00-53610-207-000		SUPPORT SERVICES	1,250.00
		Invoice #2294	

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Thru: 8/03/2016 Thru Account:

Check Nbr	Check Date	Payee	Amount
Total			1,250.00
41671	8/03/2016	Wisconsin Parks & Recreation Association Job Posting	
140-00-55300-204-000		DUES & SUBSCRIPTIONS	75.00
Total			75.00
Grand Total			101,295.65

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Dated From: 7/20/2016 From Account:  
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	Amount
Total Expenditure from Fund # 110 - GENERAL FUND	19,653.12
Total Expenditure from Fund # 120 - CAPITAL PROJECT FUND	20,991.73
Total Expenditure from Fund # 130 - LIBRARY FUND	1,373.45
Total Expenditure from Fund # 140 - PARKS/RECREATION FUND	20,525.86
Total Expenditure from Fund # 150 - DEBT SERVICE FUND	19,975.00
Total Expenditure from Fund # 660 - WATER	8,264.21
Total Expenditure from Fund # 670 - SEWER	10,512.28
Total Expenditure from all Funds	101,295.65

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Dated From: 8/04/2016 From Account:  
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Check Nbr	Check Date	Payee		Amount
35626	8/04/2016	Riley Kalsbeek		
		Void outstanding ck #35626	Manual Check	
140-00-55420-103-000		LIFEGUARDS		-284.31
			Total	-284.31
40793	8/05/2016	JEROME GEURTS		
		Void check #40793	Manual Check	
110-00-51200-101-000		MUNICIPAL JUDGE		-300.14
			Total	-300.14
41337	8/05/2016	JEROME GEURTS		
		Void check #41337	Manual Check	
110-00-51200-101-000		MUNICIPAL JUDGE		-300.14
			Total	-300.14
41706	8/09/2016	Mike Axon		
		Reimbursement for Supplies	Manual Check	
110-00-51200-205-000		MEETINGS		110.42
			Total	110.42
41707	8/09/2016	Terri Z. Buechner		
		Yoga Instructor	Manual Check	
140-00-55300-207-000		SUPPORT SERVICES		665.25
			Total	665.25
41708	8/09/2016	Jen Feltz		
		Yoga Instructor	Manual Check	
140-00-55300-207-000		SUPPORT SERVICES		214.80
			Total	214.80
41709	8/09/2016	Elizabeth Bakken		
		Rec. Instructor	Manual Check	
140-00-55300-207-000		SUPPORT SERVICES		60.00
			Total	60.00

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Check Nbr	Check Date	Payee		Amount
41710	8/11/2016	Randal G. Briske		
		Umpire Services	Manual Check	
140-00-55300-207-000		SUPPORT SERVICES		306.00
			Total	306.00
41711	8/11/2016	Dan Kubly		
		Umpire Services	Manual Check	
140-00-55300-207-000		SUPPORT SERVICES		272.00
			Total	272.00
41712	8/11/2016	Charlie Zwettler		
		Umpire Services	Manual Check	
140-00-55300-207-000		SUPPORT SERVICES		90.00
			Total	90.00
41713	8/11/2016	Kyle Fargen		
		Umpire Services	Manual Check	
140-00-55300-207-000		SUPPORT SERVICES		50.00
			Total	50.00
41714	8/11/2016	Dave Helmuth		
		Umpire Services	Manual Check	
140-00-55300-207-000		SUPPORT SERVICES		110.00
			Total	110.00
41715	8/16/2016	REGISTRATION FEE TRUST		
		Vehicle Registration, See Rec. #21987	Manual Check	
110-00-26111-000-000		MISCELLANEOUS COLLECTIONS		134.00
			Total	134.00
41716	8/17/2016	Riley Kalsbeek		
		Reissue check #35626		
140-00-55420-103-000		LIFEGUARDS		284.31
			Total	284.31

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41717	8/17/2016	JEROME GEURTS	
Reissue check #40793			
110-00-51200-101-000		MUNICIPAL JUDGE	300.14
Total			300.14
41718	8/17/2016	JEROME GEURTS	
Reissue check #41337			
110-00-51200-101-000		MUNICIPAL JUDGE	300.14
Total			300.14
41719	8/17/2016	State Bank of Cross Plains1	
Supplies			
130-00-55110-304-105		SUPPLIES - GENERAL	56.88
Total			56.88
41720	8/17/2016	State Bank of Cross Plains1	
Postage			
130-00-55110-201-000		POSTAGE	65.02
Total			65.02
41721	8/17/2016	State Bank of Cross Plains1	
Supplies			
110-00-51410-205-000		MEETINGS	100.85
Total			100.85
41722	8/17/2016	State Bank of Cross Plains1	
Shop Vac, Training, Uniform			
110-00-52100-178-000		UNIFORM	157.84
110-00-52100-301-000		EQUIPMENT	52.99
110-00-52100-205-000		MEETINGS	518.98
110-00-51200-205-000		MEETINGS	224.00
Total			953.81

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41723	8/17/2016	TDS TELECOM Telephone Bills	
110-00-53300-202-000		COMMUNICATION	169.34
140-00-55420-203-000		UTILITIES	38.62
660-00-51400-923-000		CONTRACTED SERVICES	38.91
670-00-51600-202-000		COMMUNICATION	202.53
110-00-51600-202-000		COMMUNICATION	250.30
130-00-51600-202-000		COMMUNICATION	119.93
		Total	819.63
41724	8/17/2016	Bricks 4 Kids Rec. Camps	
140-00-55300-306-101		PROGRAMS Remote Control Mania	1,170.00
140-00-55300-306-101		PROGRAMS Star Wars Space Adventures	1,300.00
		Total	2,470.00
41725	8/17/2016	Strand Associates Zander Park Trail Design	
120-00-57620-805-101		INFRASTRUCTURE - ZANDER PARK Project #1676.003	3,632.32
		Total	3,632.32
41726	8/17/2016	CEDAR CREST ICE CREAM Concessions for Pool	
140-00-55420-307-000		CONCESSIONS Customer #8030	520.60
		Total	520.60
41727	8/17/2016	Mike Axon Reim. for Concessions, Shades, Training	
140-00-55420-307-000		CONCESSIONS	310.97

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140-00-55200-305-000		MAINTENANCE	80.79
140-00-55300-205-000		MEETINGS	60.00
		Total	451.76
41728	8/17/2016	BADGER SPORTING GOODS Soccer Balls	
140-00-55300-306-101		PROGRAMS Invoice #AAJ005969-AJ02	240.00
		Total	240.00
41729	8/17/2016	MIDWEST POOL SUPPLY Part, ID#CR0015	
140-00-55420-305-000		MAINTENANCE	60.94
		Total	60.94
41730	8/17/2016	Mahoney Network Solutions, LLC Update Office Computers	
110-00-51410-302-000		TECHNOLOGY Invoice #2820	3,164.00
		Total	3,164.00
41731	8/17/2016	Elizabeth Bakken Rec. Instructor	
140-00-55300-207-000		SUPPORT SERVICES	60.00
		Total	60.00
41732	8/17/2016	Wisconsin Park & Recreation Association Job Posting	
140-00-55200-205-000		MEETINGS Ref. #41671	75.00
		Total	75.00
41733	8/17/2016	DALE MUEHLENBRUCH Refund on Water-Sewer	
110-00-13911-000-000		ACCOUNTS RECEIV-MISC.	136.79
		Total	136.79

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41734	8/17/2016	State Bank of Cross Plains1 Programs,Dance,Volleyballs,Training	
110-00-51440-205-000		MEETINGS	260.80
140-00-55300-306-101		PROGRAMS	829.95
Total			1,090.75
41735	8/17/2016	Joshua Acker Umpire Services	
140-00-55300-207-000		SUPPORT SERVICES	144.00
Total			144.00
41736	8/17/2016	Owen Roenneburg Umpire Services	
140-00-55300-207-000		SUPPORT SERVICES	68.00
Total			68.00
41737	8/17/2016	Kyle Neuser Umpire Services	
140-00-55300-207-000		SUPPORT SERVICES	44.00
Total			44.00
41738	8/17/2016	MADISON GAS & ELECTRIC Gas & Electric Bills	
110-00-51600-203-000		UTILITIES Bill #40382848	589.27
110-00-52100-203-000		UTILITIES	207.03
130-00-51600-203-000		UTILITIES	1,342.50
110-00-51600-203-000		UTILITIES	447.50
110-00-51600-203-000		UTILITIES	54.24
110-00-51600-203-000		UTILITIES	79.18
140-00-55200-203-000		UTILITIES	325.45

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140-00-55420-203-000		UTILITIES	1,892.45
110-00-53300-203-000		UTILITIES	471.88
670-00-51600-203-000		UTILITIES	1,212.57
110-00-53420-207-000		SUPPORT SERVICES	5,667.15
660-00-53700-623-000		POWER FOR PUMPING	56.52
		Total	12,345.74

41739 8/17/2016 WEAVER AUTO PARTS  
Switch,Wiring Kit,Oil

110-00-53300-305-102		MAINTENANCE - EQUIPMENT	12.71
		Invoice #06IN014013	
110-00-53300-303-000		FUEL	5.60
		Invoice #06IN014270	
		Total	18.31

41740 8/17/2016 KWIK TRIP INC.  
Gas for Vehicles

140-00-55200-303-000		FUEL	89.04
110-00-53300-303-000		FUEL	608.65
110-00-52100-303-000		FUEL	552.69
660-00-53700-673-000		MAINTENANCE OF MAINS	134.95
670-00-53610-303-000		FUEL	134.95
		Total	1,520.28

41741 8/17/2016 CAPITAL COMPUTER  
Toner Cartridges, Invoice #61141

110-00-52100-304-000		SUPPLIES	147.00
		Total	147.00

41742 8/17/2016 Optimist International  
Membership Renewal

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110-00-52100-204-000		DUES & SUBSCRIPTIONS	100.00
Total			100.00
41743	8/17/2016	Lark Uniform Outfitters, Inc. Uniform	
110-00-52100-178-000		UNIFORM Invoice #226115	270.79
110-00-52100-178-000		UNIFORM Invoice #226891	406.90
Total			677.69
41744	8/17/2016	Zander Place LLC Credit on Water-Sewer Bill	
660-00-10000-142-000		CUST. ACCTS. RECEIV	90.86
670-00-10000-142-000		CUST.ACCTS.RECEIV.	790.78
Total			881.64
41745	8/17/2016	Fox Valley Tech. College Training, Invoice #TPB0000345592/FY16-17	
110-00-52100-205-000		MEETINGS	550.00
Total			550.00
41746	8/17/2016	Boardman & Clark LLP Legal Fees	
110-00-51410-208-000		LEGAL FEES General, Invoice #72761	935.00
110-00-51200-208-000		LEGAL FEES Municipal Prosectutions, Invoice #72762	255.00
110-00-51410-208-000		LEGAL FEES PP Tax Collections, Invoice #72763	51.00
110-00-56400-207-101		SUPPORT SERVICES - GENERAL Faust Development, Invoice #72764	306.00
110-00-51410-208-000		LEGAL FEES Lagoon Street Project, Invoice #72765	354.00
110-00-56400-207-101		SUPPORT SERVICES - GENERAL All Star Properties Dev., Invoice #72766	288.00

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110-00-56400-207-101		SUPPORT SERVICES - GENERAL Buechner Property, Invoice #72767	1,314.00
120-00-57620-207-000		SUPPORT SERVICES Zander Park Trail, Invoice #72768	595.00
310-00-51410-207-000		SUPPORT SERVICES Esser Place Mixed Use Dev., Inv. #72769	702.00
110-00-51410-208-000		LEGAL FEES EMS District Agreement, Invoice #72770	340.00
110-00-51410-208-000		LEGAL FEES Joint Fire Dist. Agreement, Inv. #72771	289.00
110-00-56400-207-101		SUPPORT SERVICES - GENERAL Pine Meadow Court, Invoice #72772	119.00
<b>Total</b>			<b>5,548.00</b>

41747 8/17/2016 TDS TELECOM  
Telephone Bills

110-00-52100-202-000		COMMUNICATION	29.14
110-00-52100-202-000		COMMUNICATION	107.66
110-00-51200-202-000		COMMUNICATION	26.34
<b>Total</b>			<b>163.14</b>

41748 8/17/2016 STATE LABORATORY OF HYGIENE  
Water Sampling, Invoice #468839

660-00-53700-642-200		OPERATION - EXPENSE	386.00
<b>Total</b>			<b>386.00</b>

41749 8/17/2016 Maintenance Services of Madison, Inc.  
Janitorial Services

110-00-51600-207-000		SUPPORT SERVICES Invoice #2940	216.38
130-00-51600-207-000		SUPPORT SERVICES	649.12
<b>Total</b>			<b>865.50</b>

41750 8/17/2016 H & H Industries  
Repair Backflow Preventer

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130-00-51600-305-000		MAINTENANCE	837.06
		Invoice #16-1683	
130-00-55110-301-000		EQUIPMENT	40.00
		Total	877.06
<hr/>			
41751	8/17/2016	BAKER & TAYLOR, INC.	
		Books, Invoice #2032185295	
130-00-55110-304-101		SUPPLIES - BOOKS	880.56
		Total	880.56
<hr/>			
41752	8/17/2016	Ingram Library Services	
		Books, Invoice #93895765	
130-00-55110-304-101		SUPPLIES - BOOKS	440.41
		Total	440.41
<hr/>			
41753	8/17/2016	US CELLULAR	
		Cellular Phone Service	
660-00-53700-601-200		OPERATION - EXPENSE	185.35
670-00-51600-202-000		COMMUNICATION	185.35
110-00-53300-202-000		COMMUNICATION	185.34
		Total	556.04
<hr/>			
41754	8/17/2016	Baer Insurance Services, LLC	
		Work. Comp. & Liability Insurance	
110-00-51540-209-000		INSURANCE	9,104.55
		Invoice #60380	
660-00-51400-924-000		PROPERTY INSURANCE	2,101.05
670-00-53610-209-000		INSURANCE	2,801.40
		Total	14,007.00
<hr/>			
41755	8/17/2016	TOWN & COUNTRY SANITATION	
		Garbage & Recycling Pickup	
110-00-53620-207-001		GARBAGE COLLECTION	9,150.00
		Account #4176	

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110-00-53620-207-002		RECYCLING COLLECTION	3,965.00
Total			13,115.00

41756 8/17/2016 KALSCHEUR IMPLEMENT CO.

Parts, Invoice #IN16938

110-00-53300-305-102		MAINTENANCE - EQUIPMENT	1.50
		Invoice #IN16938	
110-00-53300-305-102		MAINTENANCE - EQUIPMENT	61.90
		Sharpen Chipper Knives, Invoice #WO41309	
110-00-53300-305-103		MAINTENANCE - INFRASTRUCTURE	125.00
		Breaker, Invoice #RE00642	
110-00-53300-305-103		MAINTENANCE - INFRASTRUCTURE	85.00
		Breaker Hammer, Invoice #RE00644	
110-00-53300-399-000		MISCELLANEOUS	10.04
		Shipping, Invoice #IN16729	
110-00-53300-305-102		MAINTENANCE - EQUIPMENT	100.90
		Air Filters,Oil,Gauge, Invoice #IN16207	
Total			384.34

41757 8/17/2016 US CELLULAR

Cellular Phone Service

110-00-52100-202-000		COMMUNICATION	41.20
Total			41.20

41758 8/17/2016 Interstate All Battery Center

Batteries, Invoice #1905101008489

130-00-55110-304-105		SUPPLIES - GENERAL	19.98
Total			19.98

41759 8/17/2016 Sara Roth

Refund on Rec. Program

140-00-46734-101-000		POOL GENERAL REVENUE	80.00
Total			80.00

41760 8/17/2016 Jaimie Myers

Flag Football Refund

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Check Nbr	Check Date	Payee	Amount
140-00-46725-000-000		RECREATION	65.00
		Total	65.00
41761	8/17/2016	Amanda Schubert Swim Lesson Refund	
140-00-46734-101-000		POOL GENERAL REVENUE	40.00
		Total	40.00
41762	8/17/2016	Tonia Peters Diving Refund	
140-00-46734-101-000		POOL GENERAL REVENUE	40.00
		Total	40.00
41763	8/17/2016	Gwen Schwartz Flag Football Refund	
140-00-46725-000-000		RECREATION	65.00
		Total	65.00
41764	8/17/2016	Cintas Corporation #446 Mat & Uniform Service,Clean Floors	
110-00-53300-178-000		UNIFORM Account #446-01247	246.68
110-00-51600-304-000		SUPPLIES Account #446-09733	123.10
110-00-51600-304-000		SUPPLIES Account #446-09039	214.19
140-00-55200-304-000		SUPPLIES Account #446-09039	431.67
110-00-52100-207-000		SUPPORT SERVICES Account #446-09039	47.74
		Total	1,063.38
41765	8/17/2016	Sisters On Main Drycleaners, LLC Fix Pool Umbrella, Casings	
140-00-55420-305-000		MAINTENANCE	58.00

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<b>Total</b>			<b>58.00</b>
41766	8/17/2016	TERRY'S PIGGLY WIGGLY Supplies, Account #310	
140-00-55300-306-101		PROGRAMS	203.00
110-00-51200-205-000		MEETINGS	49.03
140-00-55200-307-000		CONCESSIONS	64.58
<b>Total</b>			<b>316.61</b>
41767	8/17/2016	Middleton Cooperative Diesel Fuel, Customer #170070	
670-00-53610-303-000		FUEL	1,075.79
<b>Total</b>			<b>1,075.79</b>
41768	8/17/2016	Agsources Cooperative Services Testing	
670-00-53610-207-000		SUPPORT SERVICES Account #1211603	1,221.00
<b>Total</b>			<b>1,221.00</b>
41769	8/17/2016	State Bank of Cross Plains Shipping, Supplies	
670-00-53610-207-000		SUPPORT SERVICES	42.00
110-00-53300-304-101		SUPPLIES - GENERAL	143.10
<b>Total</b>			<b>185.10</b>
41770	8/17/2016	Thermo/Dynamics Equipment Repair	
670-00-53610-301-000		EQUIPMENT Invoice #60749	3,662.00
<b>Total</b>			<b>3,662.00</b>
41771	8/17/2016	UNITED LABORATORIES Lift-Zyme WWT, Invoice #INV162524	
670-00-53610-307-000		SYSTEM MAINTENANCE	2,444.46

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<b>Total</b>			<b>2,444.46</b>
41772	8/17/2016	DANE-IOWA WASTEWATER Sludge Hauling & Testing	
670-00-53610-207-000		SUPPORT SERVICES Invoice #2578	462.00
670-00-53630-207-000		SUPPORT SERVICES Invoice #2577	14,457.89
<b>Total</b>			<b>14,919.89</b>
41773	8/17/2016	NIESEN & SON LANDSCAPING Plant Cost for all Basins	
120-00-57300-805-102		INFRASTRUCTURE - LAGOON STREET Invoice #009786	2,245.00
<b>Total</b>			<b>2,245.00</b>
41774	8/17/2016	Wiley Doyley Animal Control Plus LLC Compost Site Fee	
110-00-53300-207-000		SUPPORT SERVICES Invoice #2824	2,400.00
<b>Total</b>			<b>2,400.00</b>
41775	8/17/2016	Power Burow Products Weld Fitting, Install Seals & Test	
110-00-53300-305-102		MAINTENANCE - EQUIPMENT Invoice #2946	109.36
<b>Total</b>			<b>109.36</b>
41776	8/17/2016	HUBBY SCHULENBERG Towels, Invoice #610504	
110-00-53300-304-101		SUPPLIES - GENERAL	27.00
<b>Total</b>			<b>27.00</b>
41777	8/17/2016	CROSS PLAINS MOTORS, INC. Install Block in AC System	
110-00-53300-305-101		MAINTENANCE - VEHICLE Invoice #53633	191.00
<b>Total</b>			<b>191.00</b>

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41778	8/17/2016	Cross Plains True Value Hardware July Billing	
110-00-53300-304-101		SUPPLIES - GENERAL Bolts	3.37
110-00-53300-304-101		SUPPLIES - GENERAL Rake	12.34
130-00-55110-304-105		SUPPLIES - GENERAL NBS	10.12
140-00-55420-305-000		MAINTENANCE Cable, Rope	110.00
140-00-55420-305-000		MAINTENANCE Bolts	19.77
Total			155.60
41779	8/17/2016	Kimball Midwest Blades, Invoice #5063627	
110-00-53300-304-101		SUPPLIES - GENERAL	114.22
Total			114.22
41780	8/17/2016	Chris Foss Contractors, Inc. Remove & Repour Curbs	
110-00-53300-305-103		MAINTENANCE - INFRASTRUCTURE Invoice #204272	1,355.31
660-00-53700-673-000		MAINTENANCE OF MAINS	2,714.69
Total			4,070.00
41781	8/17/2016	DRS LIMITED Surface Hot Mix, Driveway Mix	
660-00-53700-673-000		MAINTENANCE OF MAINS Invoice #036379	632.52
660-00-53700-673-000		MAINTENANCE OF MAINS Invoice #036385	418.83
660-00-53700-673-000		MAINTENANCE OF MAINS Invoice #036389	314.64
660-00-53700-673-000		MAINTENANCE OF MAINS Invoice #036382	909.42
660-00-53700-673-000		MAINTENANCE OF MAINS Invoice #036374	1,082.34

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660-00-53700-673-000		MAINTENANCE OF MAINS	447.30
		Invoice #036376	
660-00-53700-673-000		MAINTENANCE OF MAINS	492.66
		Invoice #036363	
		Total	4,297.71
41782	8/17/2016	Northwestern Stone LLC	
		Crushed Stone, Invoice #33482	
660-00-53700-673-000		MAINTENANCE OF MAINS	45.80
		Total	45.80
41783	8/17/2016	CTW CORPORATION	
		Repair Pumps, Install Meters	
660-00-53700-614-200		MAINTENANCE - EXPENSE	3,580.22
		Invoice #23820	
		Total	3,580.22
41784	8/17/2016	HD Supply Waterworks, Ltd.	
		Wired Trade-In	
660-00-53700-676-000		MAINTENANCE OF METERS	5,265.00
		Invoice #F648435	
		Total	5,265.00
41785	8/17/2016	FIRST SUPPLY MADISON	
		Repair Top, Grease, Hoses	
660-00-53700-675-000		MAINTENANCE OF SERVICES	149.00
		Invoice #10056165-00	
660-00-53700-676-000		MAINTENANCE OF METERS	18.47
		Invoice #10132019-00	
660-00-53700-677-000		MAINTENANCE OF HYDRANTS	105.00
		Invoice #10091008-00	
660-00-53700-677-000		MAINTENANCE OF HYDRANTS	137.23
		Invoice #10091008-01	
		Total	409.70
41786	8/17/2016	Lincoln Contractors Supply	
		Blades, Invoice #K61335	
660-00-53700-673-000		MAINTENANCE OF MAINS	565.97

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Total			565.97
41787	8/17/2016	MARK'S CHEMICAL, LLC KFS, Sodium Hypochlorite Solution	
660-00-53700-642-200		OPERATION - EXPENSE Invoice #11572	774.00
Total			774.00
41788	8/17/2016	MSA Professional Services, Inc. Professional Services	
310-00-51410-207-000		SUPPORT SERVICES CP TID 3 Amendment	585.00
110-00-56400-207-101		SUPPORT SERVICES - GENERAL CP Sundance Annexation	438.75
120-00-57140-207-000		SUPPORT SERVICES Glacier's Edge Shopping Center	1,200.00
120-00-57300-207-000		SUPPORT SERVICES CP Mill Creek Parkway Streetscape	10,850.25
Total			13,074.00
41789	8/17/2016	Securian Financial Group, Inc. Life Insurance	
110-00-21345-000-000		EMPLOYEE ADDITIONAL LIFE	244.24
110-00-21346-000-000		EMPLOYEE SUPPLEMENTAL LIF	76.49
110-00-21347-000-000		EMPLOYEE SPOUSE/DEP.LIFE	-3.50
110-00-51430-176-000		LIFE INSURANCE	7.78
110-00-52100-176-000		LIFE INSURANCE	71.30
110-00-53300-176-000		LIFE INSURANCE	66.41
140-00-51430-176-000		LIFE INSURANCE	6.06
130-00-51430-176-000		LIFE INSURANCE	69.97
660-00-51400-926-000		EMPLOYEE BENEFITS	19.86
670-00-53610-176-000		LIFE INSURANCE	29.61

8/18/2016 8:46 AM

Check Register - Full Report - ALL

Page: 18

ALL Checks

ACCT

ALL FUNDS

Dated From: 8/04/2016 From Account:

Thru: 8/17/2016 Thru Account:

Check Nbr	Check Date	Payee	Amount
<b>Total</b>			<b>588.22</b>
41790	8/17/2016	Strang, Patteson, Renning, Lewis & Lacy Legal Fees, Invoice #100734	
110-00-51430-208-000		LEGAL FEES	367.50
<b>Total</b>			<b>367.50</b>
41791	8/17/2016	MIDWEST TAPE Audiovisual	
130-00-55110-304-104		SUPPLIES - AUDIOVISUAL Invoice #94187164	39.99
130-00-55110-304-104		SUPPLIES - AUDIOVISUAL Invoice #94212553	39.99
<b>Total</b>			<b>79.98</b>
41792	8/17/2016	Pella Windows and Doors of Wisconsin Windows, Invoice #SERV00011378	
130-00-48000-000-000		MISCELLANEOUS REVENUES	349.89
130-00-13911-000-000		ACCOUNTS RECEIV-MISC.	350.00
130-00-51600-305-000		MAINTENANCE	629.89
<b>Total</b>			<b>1,329.78</b>
41793	8/17/2016	SAEMAN LUMBER CO. Barrett Drive, 2 X 6	
670-00-53610-305-000		GENERAL MAINTENANCE Invoice #1605-540639	48.12
<b>Total</b>			<b>48.12</b>
<b>Grand Total</b>			<b>134,666.12</b>

8/18/2016 8:46 AM

Check Register - Full Report - ALL

Page: 19

ALL Checks

ACCT

ALL FUNDS

Dated From: 8/04/2016 From Account:  
Thru: 8/17/2016 Thru Account:

	Amount
Total Expenditure from Fund # 110 - GENERAL FUND	49,217.26
Total Expenditure from Fund # 120 - CAPITAL PROJECT FUND	18,522.57
Total Expenditure from Fund # 130 - LIBRARY FUND	5,941.31
Total Expenditure from Fund # 140 - PARKS/RECREATION FUND	10,260.94
Total Expenditure from Fund # 310 - TAX INCREMENT DISTRICT	1,287.00
Total Expenditure from Fund # 660 - WATER	20,666.59
Total Expenditure from Fund # 670 - SEWER	28,770.45
Total Expenditure from all Funds	134,666.12

Application for an "Operator's" License Cross Plains WI Aug 18, 2016  
To Serve Fermented Malt Beverages and Intoxicating Liquors Date Year

I, the undersigned, do hereby respectfully make application to the local governing body of the Village of Cross Plains, County of Dane, Wisconsin for a License to serve, from the date hereof to June 30, 20\_\_\_\_, inclusive (unless sooner revoked), Fermented Malt Beverages and Intoxicating Liquors, subject to the limitations imposed by Section 125.32(2) and 125.68(2) of the Wisconsin Statutes and all acts amendatory thereof and supplementary thereto, and hereby agree to comply with all laws, resolution, ordinances and regulation, Federal, State or Local, affecting the sale of such beverages and liquors if a license be granted to me.

I certify that I am 27 years of age. Date of Birth: \_\_\_\_\_ Hooty's Bar + Grill  
Name of Establishment

Answer the following questions fully and completely:

Name: Jordan D Hill Is application new or a renewal? Renewal  
First MI Last

Address of Applicant: 7781 Elmwood Ave #309 Middleton 53562 608-370-0931  
Street Address City ZIP Code Phone Number

If renewal (within the past 2 years held a Class "A", "Class A", "Class C", Class "B" or "Class B" license or permit or a manager's or operator's license).

Where was the privilege obtained? (Town) Cross Plains (online)  
City Village

As required by WI Statutes Section 125.17(6), have you completed the alcohol awareness course? Yes

If so, where? online

Have you ever had a criminal conviction? If yes, what and where? No

Have you been convicted of any license law or ordinance regulating Fermented malt beverages or intoxicating liquors? No

If so, name of court: \_\_\_\_\_

STATE OF WISCONSIN  
DANE COUNTY

Jordan Hill, being first duly sworn on oath says that (s)he is the person who made and signed the foregoing application for an operator's license; that all the statements made by the applicant are true.

X [Signature]  
Applicant sign here

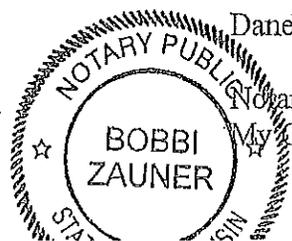
X 8/18/16  
Date of Application

Subscribed and sworn to before me this 18<sup>th</sup>

Day of August, 2016

Dane County, Wis.

Date of Board Approval \_\_\_\_\_



Notary Public: Bobbi Zauner  
My Commission Expires: 02/17/2020



## Cross Plains Police Department

---

Date: August 19, 2016

To: Interim Village Administrator Mike Axon

Ref: Operator's License Application

On August 19, 2016 I received an Application for an Operator's License from a Jordan D. Hill. A review of Mr. Hill's arrest and conviction record was completed in accordance with Village Ordinance 41.09 (b). The results of that review indicate Mr. Hill has no arrest or convictions in contrast with Village ordinance 41.09(c).

Jordan d. Hill therefore meets the criteria set forth in Village Ordinance 41.09(c) to receive an operator's license.

Thomas J. Janssen  
Chief of Police

**OPERATOR'S LICENSE \$45.00**

**WHEREAS**, the local governing body of the Village of Cross Plains, County of Dane, Wisconsin, has upon application duly made, granted and authorized the issuance of an "Operator's License" to:

**Jordan D. Hill**

**AND WHEREAS**, the said applicant has paid to the treasurer the sum of \$45.00 as required by local ordinances and has complied with all the requirements necessary for obtaining a license,

**NOW THEREFORE**, An "Operator's License", pursuant to Sections 125.32 (2) and 125.68 (2) of the Wisconsin Statutes, and local ordinances, is hereby issued to the said applicant.

**For the period from July 1, 2016 to June 30, 2017.**

**GIVEN UNDER MY HAND AND THE CORPORATE SEAL OF THE VILLAGE OF CROSS PLAINS, COUNTY OF DANE, STATE OF WISCONSIN, and THIS 26<sup>th</sup> DAY OF September, 2016.**



\_\_\_\_\_  
Mike Axon  
Village of Cross Plains

LICENSE MUST BE FRAMED and POSTED in a conspicuous place in the room where fermented malt beverages and/or wine coolers are drawn, returned or served for sale.

Application for an "Operator's" License Cross Plains WI 5-2, 2016  
To Serve Fermented Malt Beverages and Intoxicating Liquors Date Year

I, the undersigned, do hereby respectfully make application to the local governing body of the Village of Cross Plains, County of Dane, Wisconsin for a License to serve, from the date hereof to June 30, 2016, inclusive (unless sooner revoked), Fermented Malt Beverages and Intoxicating Liquors, subject to the limitations imposed by Section 125.32(2) and 125.68(2) of the Wisconsin Statutes and all acts amendatory thereof and supplementary thereto, and hereby agree to comply with all laws, resolution, ordinances and regulation, Federal, State or Local, affecting the sale of such beverages and liquors if a license be granted to me.

I certify that I am 25 years of age. Date of Birth: \_\_\_\_\_  
Name of Establishment Walgreens

Answer the following questions fully and completely:

Name: Michael W Windels Is application new or a renewal? New Santa  
First MI Last Call 798-4003

Address of Applicant: 2610 Military Rd. Cross Plains 53528 608-798-0140  
Street Address City ZIP Code Phone Number

If renewal (within the past 2 years held a Class "A", "Class A", "Class C", Class "B" or "Class B" license or permit or a manager's or operator's license).

Where was the privilege obtained? (Town) \_\_\_\_\_  
City Village

As required by WI Statutes Section 125.17(6), have you completed the alcohol awareness course? Yes

If so, where? Walgreen's

Have you ever had a criminal conviction? If yes, what and where? No

Have you been convicted of any license law or ordinance regulating Fermented malt beverages or intoxicating liquors? No

If so, name of court: \_\_\_\_\_

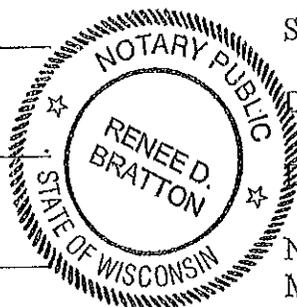
STATE OF WISCONSIN  
DANE COUNTY

Mike Windels Mike Windels, being first duly sworn on oath says that (s)he is the person who made and signed the foregoing application for an operator's license; that all the statements made by the applicant are true.

X Mike Windels  
Applicant sign here

X 7/21/16  
Date of Application

Date of Board Approval \_\_\_\_\_



Subscribed and sworn to before me this 21

Day of July, 2016

Dane County, Wis.

Notary Public: Renee D. Bratton  
My Commission Expires: 4/9/17



## Cross Plains Police Department

---

Date: July 22, 2016

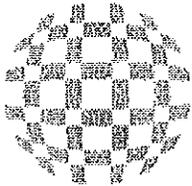
To: Village Administrator Matthew Schuenke

Ref: Operator's License Application

On July 22, 2016 I received an Application for an Operator's License from a Michael W. Windels. A review of Mr. Windels' arrest and conviction record was completed in accordance with Village Ordinance 41.09 (b). The results of that review indicate Mr. Windels has no arrest or convictions in contrast with Village ordinance 41.09(c).

Michael W. Windels therefore meets the criteria set forth in Village Ordinance 41.09(c) to receive an operator's license.

Thomas J. Janssen  
Chief of Police



Walgreens Boots Alliance

Walgreens



Alliance for  
Healthcare

*This certifies that*

**MICHAEL WINDELS**

*has completed*

**Sale of Alcoholic Beverages Policy: Company / Venta de Bebidas Alcohólicas: Reconocimiento de la Política**  
*by Walgreens*

Date: 3/28/2016

*Wm. O. Smith*  
Divisional Vice President,  
Organization Design &  
Effectiveness

## OPERATOR'S LICENSE \$45.00

WHEREAS, the local governing body of the Village of Cross Plains, County of Dane, Wisconsin, has upon application duly made, granted and authorized the issuance of an "Operator's License" to:

Michael Windels

AND WHEREAS, the said applicant has paid to the treasurer the sum of \$45.00 as required by local ordinances and has complied with all the requirements necessary for obtaining a license,

NOW THEREFORE, An "Operator's License", pursuant to Sections 125.32 (2) and 125.68 (2) of the Wisconsin Statutes, and local ordinances, is hereby issued to the said applicant.

For the period from July 1, 2016 to June 30, 2017.

GIVEN UNDER MY HAND AND THE CORPORATE SEAL OF THE VILLAGE OF CROSS PLAINS, COUNTY OF DANE, STATE OF WISCONSIN, and THIS 22<sup>nd</sup> DAY OF August, 2016.



Mike Axon

Village of Cross Plains

LICENSSES MUST BE RETURNED AND POSTED IN A CONSPICUOUS PLACE IN THE TOWN WHERE REMITTANCE FOR TAXES AND FEES IS DUE. BEVERAGES AND WINE COOLERS ARE DRAWN REMOVED FOR SERVICE OR SALE.



# Notice of Public Hearing

Zoning and Land Regulation Committee

Public Hearing: **July 26, 2016**

Zoning Amendment:  
**A-1EX Exclusive Agriculture District to A-2(1) Agriculture District**

Acres: *1.0*  
Survey Req. *No*

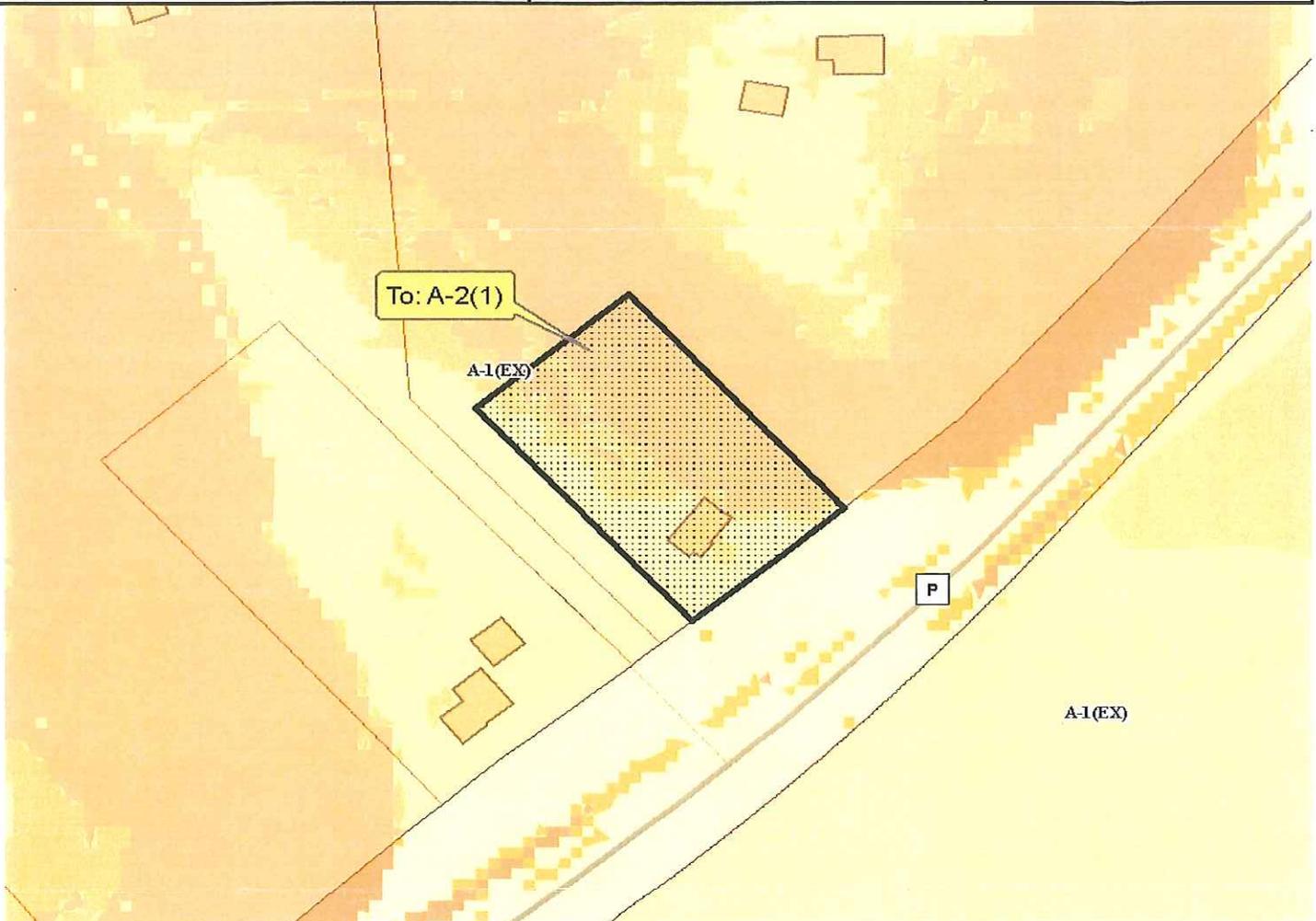
Reason:  
**Zoning compliance for existing parcel**

Petition: **Rezone 11003**

Town/sect:  
**Berry Section 25**

Applicant  
**Josh W Aeschbach**

Location:  
**5141 County Highway P**



A public hearing on this petition will be held on **July 26, 2016** at 6:30 P.M. in Room 201, City-County Building, 210 MLKJ Boulevard, Madison WI. This hearing is being held so that the Dane County Zoning and Land Regulation Committee (ZLR) may hear those persons who have an interest in the proposed change in zoning or proposed conditional use. The ZLR Committee will review the proposal against the policies of the adopted Town Comprehensive Plan and the Dane County Comprehensive Plan. Conditional Use Permits are granted or denied by the ZLR Committee and relevant Town Board. Committee recommendations on zoning district changes are referred to the County Board, which will make the final decision on approval/denial subject to County Executive signature.

Should you desire more information regarding this proposed zoning change or conditional use application, please call or visit the Dane County Zoning Division, Room 116, City-County Building, 210 MLKJ Boulevard, Madison, WI, between the hours of 7:45 AM and 4:30 PM, Monday – Friday, telephone (608) 266-4266.

This change must be acted on by the local Town Board prior to ZLR committee action. Interested persons should contact their Town Board regarding this matter as soon as possible.

**A COPY OF THIS NOTICE HAS BEEN SENT TO NEIGHBORING PROPERTY OWNERS. PLEASE SHARE THIS NOTICE WITH ANY OF YOUR NEIGHBORS THAT MAY NOT HAVE RECEIVED THIS NOTICE BY MAIL.**

Published in the Wisconsin State Journal: July 12, 2016 & July 19, 2016

ZONING & LAND REGULATION COMMITTEE

Supervisor Mary Kolar, Chair



# Notice of Public Hearing

Zoning and Land Regulation Committee

Public Hearing: **July 26, 2016**

Zoning Amendment:  
**A-2(4) Agriculture District to A-2(2) Agriculture District**

Acres: 0.84  
Survey Req. Yes

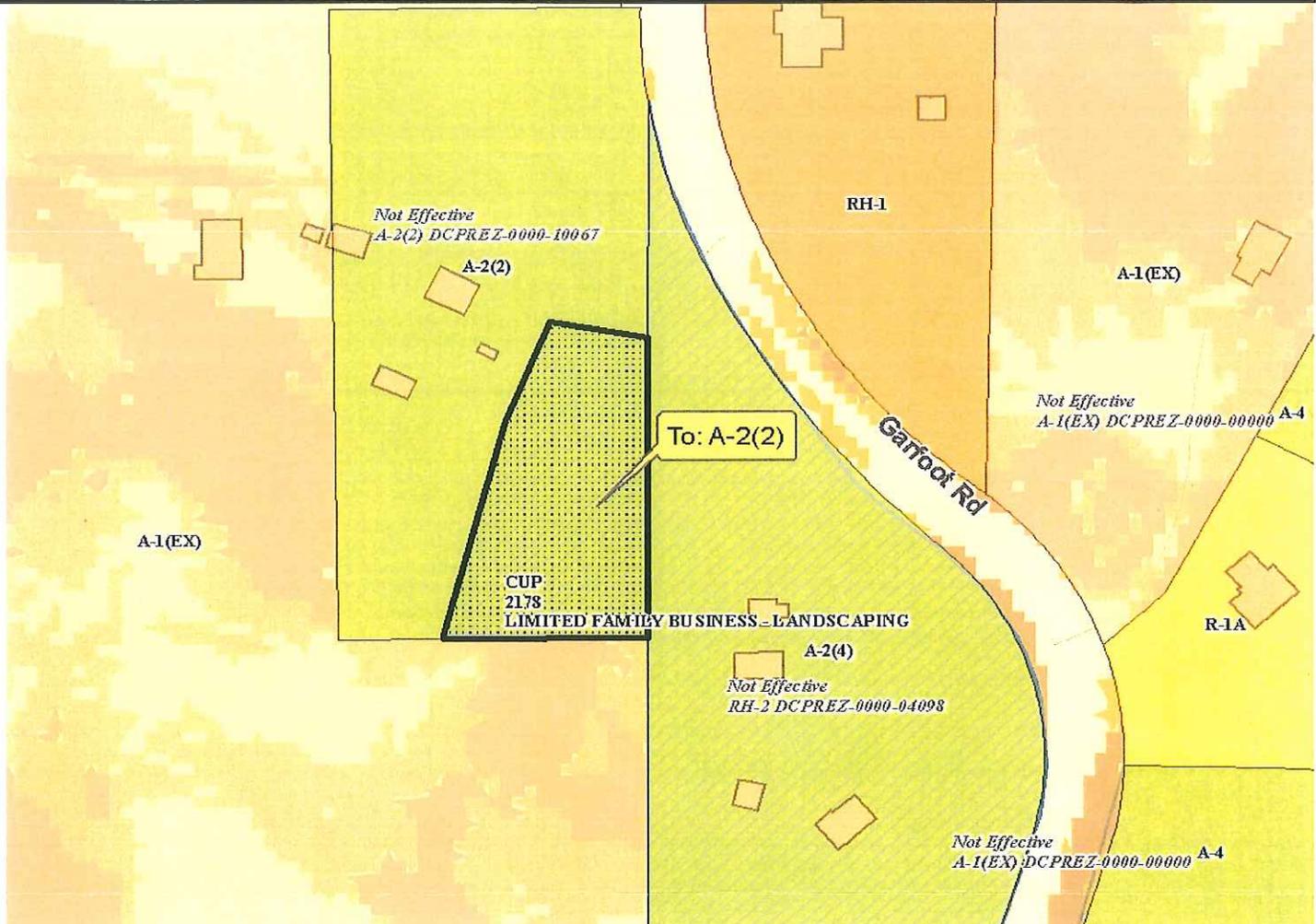
Reason:  
**Shifting of property lines between adjacent land owners**

Petition: **Rezone 11002**

Town/sect:  
**Cross Plains Section 04**

Applicant  
**Janice G Doyle**

Location:  
**4575 Garfoot Road**



A public hearing on this petition will be held on **July 26, 2016** at 6:30 P.M. in Room 201, City-County Building, 210 MLKJ Boulevard, Madison WI. This hearing is being held so that the Dane County Zoning and Land Regulation Committee (ZLR) may hear those persons who have an interest in the proposed change in zoning or proposed conditional use. The ZLR Committee will review the proposal against the policies of the adopted Town Comprehensive Plan and the Dane County Comprehensive Plan. Conditional Use Permits are granted or denied by the ZLR Committee and relevant Town Board. Committee recommendations on zoning district changes are referred to the County Board, which will make the final decision on approval/denial subject to County Executive signature.

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Published in the Wisconsin State Journal: July 12, 2016 & July 19, 2016

ZONING & LAND REGULATION COMMITTEE

Supervisor Mary Kolar, Chair



# Notice of Public Hearing

Zoning and Land Regulation Committee

Public Hearing: **July 26, 2016**

Petition: **Rezone 11000**

Zoning Amendment:  
**A-1EX Exclusive Agriculture District to A-2(1) Agriculture District**

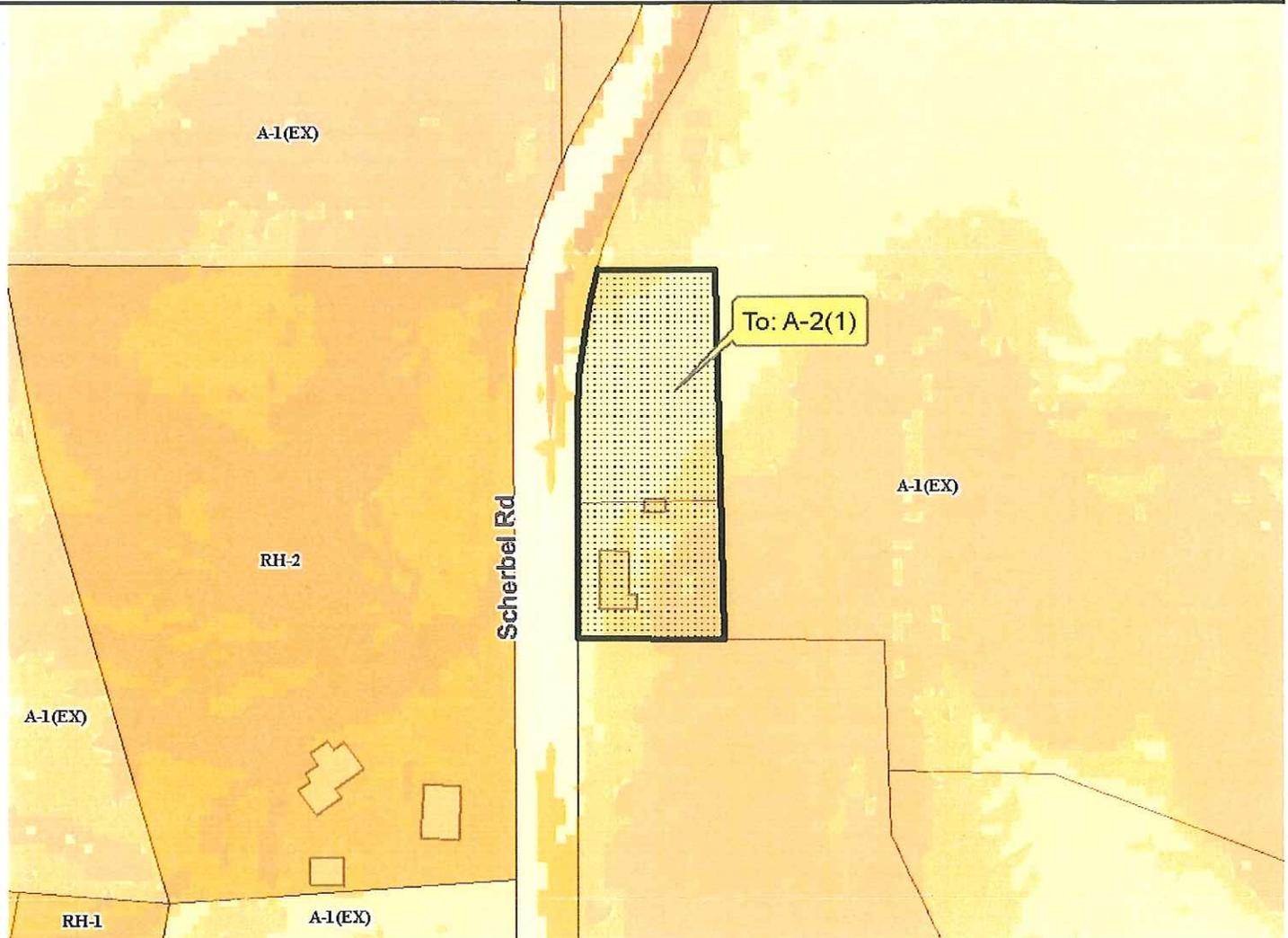
Town/sect:  
**Berry Section 32**

Acres: 1.3  
Survey Req. Yes

Applicant  
**Gary L Nelson**

Reason:  
**Creating one residential lot**

Location:  
**4924 Scherbel Road**



A public hearing on this petition will be held on **July 26, 2016** at 6:30 P.M. in Room 201, City-County Building, 210 MLKJ Boulevard, Madison WI. This hearing is being held so that the Dane County Zoning and Land Regulation Committee (ZLR) may hear those persons who have an interest in the proposed change in zoning or proposed conditional use. The ZLR Committee will review the proposal against the policies of the adopted Town Comprehensive Plan and the Dane County Comprehensive Plan. Conditional Use Permits are granted or denied by the ZLR Committee and relevant Town Board. Committee recommendations on zoning district changes are referred to the County Board, which will make the final decision on approval/denial subject to County Executive signature.

Should you desire more information regarding this proposed zoning change or conditional use application, please call or visit the Dane County Zoning Division, Room 116, City-County Building, 210 MLKJ Boulevard, Madison, WI, between the hours of 7:45 AM and 4:30 PM, Monday – Friday, telephone (608) 266-4266.

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Published in the Wisconsin State Journal: July 12, 2016 & July 19, 2016

ZONING & LAND REGULATION COMMITTEE

Supervisor Mary Kolar, Chair



**DIVISION OF BUSINESS MANAGEMENT**  
 Bureau Of Business Services  
 PO Box 7366  
 Madison, WI 53707-7366

**PROGRESS INVOICE - THIS IS NOT A FINAL BILL**  
**Southwest Region**

FOR ADDITIONAL INFORMATION CONTACT THE REGION OFFICE (608) 246-5624

**To:** MATT SCHUENKE  
 VILLAGE OF CROSS PLAINS  
 PO BOX 97  
 CROSS PLAINS WI 53528-0097

JULY 23, 2016

**Invoice: L45909**

**State Project No.:** 5310-02-70  
 SPRING GREEN - MADISON  
 CTH KP TO WESTVIEW CT/CROSS PLAINS  
 CONST/RECST & INTERSECTION MOD

**FEDERAL PROJECT NO.:** WISC 2015084  
**Local Unit ID :** 13113  
**Local Appropriation :** 373

VILLAGE OF CROSS PLAINS:	\$531,594.58
PREVIOUS PAYMENTS AND WORK CREDITS:	\$463,593.60
<b>Balance Due:</b>	<b>\$68,000.98</b>

\*\*\*\*\* BALANCE DUE - PAYMENT DUE WITHIN 30 DAYS OF RECEIPT \*\*\*\*\*

(Please refer to the above state project number and invoice number for all inquiries)  
 (Please detach the part below & return with your payment - Retain the rest for your records)

-----Detach Here-----Detach Here-----Detach Here-----

Invoice Number: L45909      **Balance Due:** \$68,000.98      **Amount Paid:** \_\_\_\_\_  
 Date: 2016-07-23

**Make Checks Payable To:**  
 WISCONSIN DEPT. OF TRANSPORTATION

**Mail To:**  
 WISCONSIN DEPT. OF TRANSPORTATION  
 Bureau of Business Services  
 P.O. Box 7366  
 Madison, WI 53707-7366

\*\*\*\*\* BALANCE DUE - PAYMENT DUE WITHIN 30 DAYS OF RECEIPT \*\*\*\*\*  
 \*\*\*\* FOR PROPER CREDIT, RETURN THIS PART WITH YOUR REMITTANCE \*\*\*\*

Category # 0010		ROADWAY ITEMS				
Including Engineering	Category To Date	Funding	Limit	Pty	%W/In Pty	Fed Appr
\$5,610,620.47	\$4,797,906.02	FEDERAL	UNLIMITED	1	80.000 %	M0E1
\$1,402,655.12	\$1,199,476.51	STATE OF WISCONSIN	UNLIMITED	1	20.000 %	
<u>\$7,013,275.59</u>	<u>\$5,997,382.53</u>					

Category # 0020		NON-PARTICIPATING PARKING				
Including Engineering	Category To Date	Funding	Limit	Pty	%W/In Pty	Fed Appr
\$46,916.36	\$40,120.39	VILLAGE OF CROSS PLAINS	UNLIMITED	1	100.000%	
<u>\$46,916.36</u>	<u>\$40,120.39</u>					

Category # 0030		DECORATIVE LIGHTING				
Including Engineering	Category To Date	Funding	Limit	Pty	%W/In Pty	Fed Appr
\$194,200.00	\$166,069.58	FEDERAL	\$194,200.00	1	50.000 %	M0E1
\$194,200.00	\$166,069.57	VILLAGE OF CROSS PLAINS	UNLIMITED	1	50.000 %	
\$64,000.00	\$54,729.42	FEDERAL	\$64,000.00	2	80.000 %	M0E1
\$16,000.00	\$13,682.35	STATE OF WISCONSIN	UNLIMITED	2	20.000 %	
\$169,877.94	\$145,270.63	VILLAGE OF CROSS PLAINS	UNLIMITED	3	100.000%	
<u>\$638,277.94</u>	<u>\$545,821.55</u>					

Category # 0040		COLORED CROSSWALK, CSS				
Including Engineering	Category To Date	Funding	Limit	Pty	%W/In Pty	Fed Appr
\$36,000.00	\$30,785.30	FEDERAL	\$36,000.00	1	80.000 %	M0E1
\$9,000.00	\$7,696.32	STATE OF WISCONSIN	UNLIMITED	1	20.000 %	
\$37,940.30	\$32,444.54	VILLAGE OF CROSS PLAINS	UNLIMITED	2	100.000%	
<u>\$82,940.30</u>	<u>\$70,926.16</u>					

Category # 0050 BREWERY CREEK B-13-799

Including Engineering	Category To Date	Funding	Limit	Pty	%W/In Pty	Fed Appr
\$526,033.96	\$449,836.43	FEDERAL	UNLIMITED	1	80.000 %	M0E1
\$131,508.49	\$112,459.11	STATE OF WISCONSIN	UNLIMITED	1	20.000 %	
<u>\$657,542.45</u>	<u>\$562,295.54</u>					

Category # 0060 STORM WATER FACILITY

Including Engineering	Category To Date	Funding	Limit	Pty	%W/In Pty	Fed Appr
\$82,659.98	\$70,686.45	FEDERAL	UNLIMITED	1	50.000 %	M0E1
\$82,659.98	\$70,686.45	VILLAGE OF CROSS PLAINS	UNLIMITED	1	50.000 %	
<u>\$165,319.96</u>	<u>\$141,372.90</u>					

DISTRIBUTION OF COSTS TO DATE

Including Engineering	Category Costs To Date	Funding	Federal Appr
\$6,513,514.41	\$5,570,013.20	FEDERAL	M0E1
\$531,594.58	\$454,591.58	VILLAGE OF CROSS PLAINS	
\$1,559,163.61	\$1,333,314.29	STATE OF WISCONSIN	
<u>\$8,604,272.60</u>	<u>\$7,357,919.07</u>		



**DIVISION OF BUSINESS MANAGEMENT**  
 Bureau Of Business Services  
 PO Box 7366  
 Madison, WI 53707-7366

**PROGRESS INVOICE - THIS IS NOT A FINAL BILL**  
**Southwest Region**

**FOR ADDITIONAL INFORMATION CONTACT THE REGION OFFICE (608) 246-5624**

To: MATT SCHUENKE  
 VILLAGE OF CROSS PLAINS  
 PO BOX 97  
 CROSS PLAINS WI 53528-0097

JULY 23, 2016

Invoice: L45910

State Project No.: 5310-02-73  
 SPRING GREEN - MADISON  
 CTRK TO WESTVIEW CT/CROSS PLAINS  
 CONST/SANITARY SEWER & WATER MAIN

Local Unit ID : 13113  
 Local Appropriation : 373

VILLAGE OF CROSS PLAINS:	\$2,547,124.27
PREVIOUS PAYMENTS AND WORK CREDITS:	\$2,243,750.37
<b>Balance Due:</b>	<b>\$303,373.90</b>

\*\*\*\*\* BALANCE DUE - PAYMENT DUE WITHIN 30 DAYS OF RECEIPT \*\*\*\*\*

(Please refer to the above state project number and invoice number for all inquiries)  
 (Please detach the part below & return with your payment - Retain the rest for your records)  
 =====Detach Here=====Detach Here=====Detach Here=====

Invoice Number: L45910      Balance Due: \$303,373.90      Amount Paid: \_\_\_\_\_  
 Date: 2016-07-23

**Make Checks Payable To:**  
 WISCONSIN DEPT. OF TRANSPORTATION

**Mail To:**  
 WISCONSIN DEPT. OF TRANSPORTATION  
 Bureau of Business Services  
 P.O. Box 7366  
 Madison, WI 53707-7366

\*\*\*\*\* BALANCE DUE - PAYMENT DUE WITHIN 30 DAYS OF RECEIPT \*\*\*\*\*  
 \*\*\*\* FOR PROPER CREDIT, RETURN THIS PART WITH YOUR REMITTANCE \*\*\*\*

Category # 0010 SANITARY SEWER & WATER MAIN

Including Engineering	Category To Date	Funding	Limit	Pty	%W/In Pty	Fed Appr
\$555,803.00	\$552,069.72	STATE OF WISCONSIN	\$555,803.00	1	100.000%	
\$2,547,124.27	\$2,530,015.46	VILLAGE OF CROSS PLAINS	UNLIMITED	2	100.000%	
<u>\$3,102,927.27</u>	<u>\$3,082,085.18</u>					

DISTRIBUTION OF COSTS TO DATE

Including Engineering	Category Costs To Date	Funding	Federal Appr
\$2,547,124.27	\$2,530,015.46	VILLAGE OF CROSS PLAINS	
\$555,803.00	\$552,069.72	STATE OF WISCONSIN	
<u>\$3,102,927.27</u>	<u>\$3,082,085.18</u>		



ICONICA

**Specific Implementation Plan  
Esser Place Mixed Use Development  
Cross Plains, Wisconsin**

Iconica  
901 Deming Way  
Madison, Wisconsin 53571  
July 25<sup>th</sup>, 2016

Matthew G. Schuenke  
Village Administrator/Clerk-Treasurer  
Village of Cross Plains  
PO Box 97, 2417 Brewery Road  
Cross Plains, WI 53528

To Whom It May Concern:

As a representative of West Gateway, Inc. I am submitting this General Development Plan for the rezoning to a PD (Planned Development District) of the following properties: 1812 through 1904 Main Street.

1. The following outlines the intended development

**Project Location:** 1900 Main Street  
Cross Plains, WI

**Zoning:** MSMU – Main Street Mixed Use  
Commercial Core District

**Building Type:** 3-Story building  
± 45 apartment units  
Underground garage  
Fully sprinklered  
Wood framed building  
5,975 SF retail

**Parking:** 46 garage parking stalls  
41 Surface parking stalls\*  
87 Total parking stalls  
\*surface parking includes  
stalls shown in municipal lot

**Site Area:** 0.98 Acres

**Density of buildings:** 42.5% of site area

**Retention ponds:** 1.3% of site area

**Site amenities:** New landscaping, trees  
and site lighting. Outdoor dining patio.

**Proposed setbacks:** 5-10' Main Street  
5' side yard setback

2. The existing property currently includes a mix of retail, restaurant and multi-family residential buildings. The surrounding neighborhood includes a mix of businesses, restaurant and retail buildings, and single and multi-family housing. The proposed mixed-use development is compatible with adjacent zoning districts and future land use goals outlined in the Village of Cross Plains Comprehensive Plan.

Maintaining the small town atmosphere of the Village of Cross Plains will be considered in designing the architectural character and scale of the proposed building. The intended

quality of building construction will provide the Village with a long-lasting attractive structure on Main Street.

At the south of the property lie the recently renovated Mill Cree Parkway and Black Earth Creek park area. The developer has engaged the services of JSD Professional Services to provide civil engineering needed for this project. An erosion and runoff control plan will be in place to protect the nearby creek and parklands.

The proposed development intends to preserve the natural features of the Village of Cross Plains. Views of Black Earth Creek are considered a great amenity for the proposed apartment units and restaurant outdoor dining patio. There are no other key features of environmental or cultural significance within the boundaries of the site.

The site is relatively flat with little slope from the east to west of the properties. There is minimal vegetation on the existing sites. The proposed development will provide comparable open space present in the existing conditions. Additional site amenities and landscaping will be included in the final site design. There is no known existing site contamination is within the areas of the property.

**3.** The project will be owned by West Gateway, Inc. The owners of West Gateway, Inc., Tom and Jim Pientka, have successfully developed and managed five properties with values ranging up to \$15 million. In addition, they have worked closely with developer clients for over twenty five years to put deals together, with the understanding that sound project decisions lead to successful investment properties. The property will be operated by a 3<sup>rd</sup> party operator. This private development will not have common area property. The members of this development have the financial backing to guarantee the loan.

**4.** The following is a description of the number of retail tenant and apartment units to be constructed at this time. Final unit mix may change:

- (11) Studio units
- (19) 1 Bedroom units
- (15) 2 Bedroom units

The unit design of the 2 bedroom units will be intended to attract families. The one bedroom and studio unit design will be intended to attract young professionals.

Approximately 25% of the site will remain open for surface parking, landscaping, site amenities and retention ponds.

**5.** The following briefly describes the proposed phasing of the development:

Existing Building Demolition	September 2016
Ground Breaking	October 2016
Substantial Completion	August 2017

**6.** We are requesting a waiver from Section 4.17(4)(A)(6) requiring a vehicular and pedestrian traffic analysis that shows routes, trip rates, intersections and how these patterns relate to present patterns in the area of the subject property.

- o The proposed development improves the existing conditions by eliminating curb cuts along Main Street/Highway 14 from the existing two.
- o The proposed development improves upon the existing conditions by increasing the setback from the street. Currently some of the buildings encroach beyond the property line. The proposed new building will be setback from the street to provide space for a sidewalk and site amenities.
- o There will be no on-street parking or curb cuts from Main Street/Highway 14 along the property. All vehicular traffic to the building will be from the Mill Creek Parkway, which is only accessible by turning off of Highway 14 from the east or west of the property. It can be presumed that any traffic analysis of the site will indicate that vehicular and pedestrian routes will utilize Main Street/Highway 14 because there are no other available alternatives to access this area.

**7.** We are requesting a change in zoning for the property from Main Street Mixed Use (MSMU) to Planned Unit (PU). A change in the zoning is necessary due to the unique dimensions and location of this property. The following table outlines which restrictions of the MSMU zoning are recommended to be modified for this project:

	MSMU Regulations	Proposed PU
Maximum Density	8 units per acre	45 apartments, 4 commercial tenants
Maximum Street Setback	10 feet on Mill Creek Parkway	32' Maximum setback.
Maximum Side Setback	0 feet or 10 feet	59 feet
Maximum Principal Building Height	35 feet	45 feet
Minimum Pavement Setback	5 feet from side, 10 feet from right of way or rear	2' from rear property line, 4' from right of way

We are proposing an increased maximum density for this project. As a condition of this project the Village has requested additional retail space within their newly formed district. In an effort to keep rents for the commercial spaces suppressed we need a density of 45 units to supplement the retail income and make the project financially feasible.

We are proposing modifications to the Mill Creek Parkway, side yard and pavement setbacks. The MSMU setback limitations are difficult to meet considering the unique shape and access points of this site. The increased maximum side yard setback for the east property line allows for access to an underground parking garage as well as a sidewalk connecting Main Street and Mill Creek Parkway.

We are proposing a higher maximum building height for this project. The commercial spaces on the first floor require higher ceilings than standard apartments, therefore the floor-to-floor height is increased. The typical parapet height is currently proposed to be 38' above grade and additional higher rooflines provide façade articulation.

**8. We are requesting a variance from the following Main Street Design Guidelines**

E2 Parking Areas Abutting a public right-of-way have a 6-ft. planted landscape buffer (or equal to the building setback, whichever is greater).

- We are proposing colored concrete adjacent to the Main Street city sidewalk to provide a pedestrian connection from the west parking lot and sidewalk.
- We are proposing a landscape area between our rear parking lot and Mill Creek Parkway which varies from 4'-5" to 5'-0". This area will be planted with sod and not screened by landscape plantings.

K1 Building Height at or below 35 feet

- We are proposing a higher building parapet (ranging between 38' to 42') to allow for taller ceilings within the first floor commercial areas and variation along the roof line.

N3 Commercial Buildings: 25% clear glass on ground floor façade & a minimum of 2 ft. is maintained between the glass and any interior dividers

- Due to the mix of commercial and residential uses on the ground floor of the proposed building, we are proposing a total of 22% glazing on the Main Street façade.

In summary, we believe that this proposed development will be a great addition to the Village of Cross Plains. We look forward to working with the Village to develop a project that will become an amenity to the community.

Sincerely,



Jenny Dechant

Enclosure

Cc: Tom Pientka and Jim Pientka, Iconica, West Gateway Inc.

**ESSER PLACE MIXED-USE**

1900 MAIN STREET  
CROSS PLAINS, WI

WEST GATEWAY, INC.  
901 DEMING WAY, SUITE 102  
MADISON, WI 53717

**ISSUE DATES:**  
GDP DRAFT SUB: 05-31-16  
SIP DRAFT SUB: 07-05-16  
SIP SUB: 07-25-16

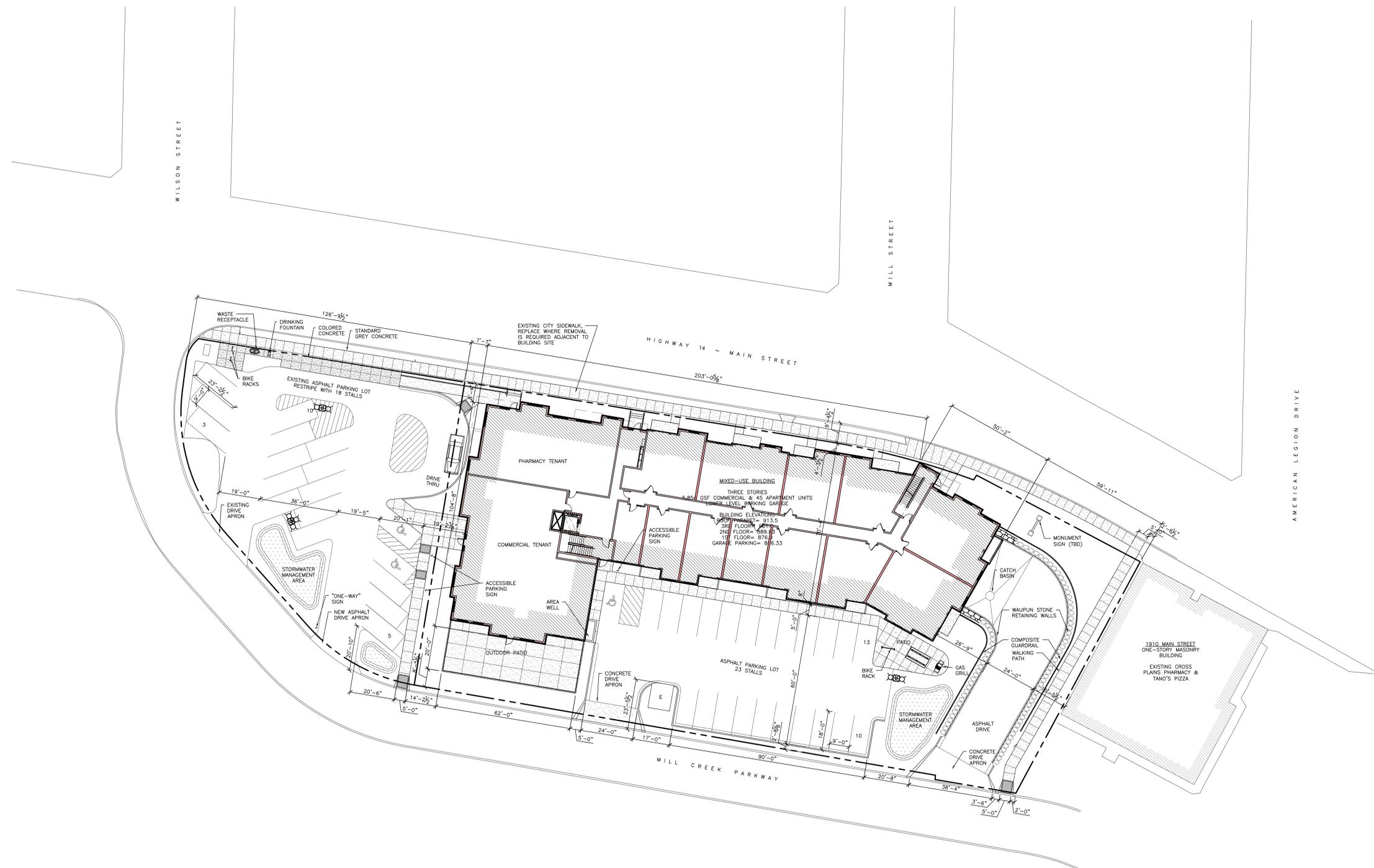
**RF/ISI DATE:**

**Schematic Design Phase:**  
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PROJECT #: 20140490  
SHEET NUMBER

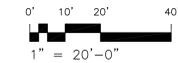
**A100**



DEVELOPMENT SUMMARY			
<b>BASEMENT LEVEL:</b> 46 PARKING STALLS 25 TENANT STORAGE LOCKERS BUILDING TRASH ROOM, ELECTRICAL, GAS AND WATER SERVICE ROOMS	<b>FIRST FLOOR:</b> (1) UNIT A - STUDIO (2) UNIT A1 - STUDIO (2) UNIT B - 1 BEDROOM (1) UNIT B1 - 1 BEDROOM (1) UNIT B2 - 1 BEDROOM (2) UNIT C - 2 BEDROOM (1) UNIT D - 1 BEDROOM + DEN (1) UNIT E1 - 2 BEDROOM + DEN 11 UNITS TOTAL 2,179 GSF RETAIL TENANT SPACE 3,796 GSF COMMERCIAL TENANT SPACE	<b>SECOND FLOOR SUMMARY:</b> (2) UNIT A - STUDIO (2) UNIT A1 - STUDIO (3) UNIT B - 1 BEDROOM (1) UNIT B1 - 1 BEDROOM (1) UNIT B2 - 1 BEDROOM (4) UNIT C - 2 BEDROOM (1) UNIT D - 1 BEDROOM + DEN (1) UNIT E - 2 BEDROOM + DEN (1) UNIT E1 - 2 BEDROOM (1) UNIT E2 - 2 BEDROOM 17 UNITS TOTAL 10 TENANT STORAGE LOCKERS	<b>THIRD FLOOR SUMMARY:</b> (2) UNIT A - STUDIO (2) UNIT A1 - STUDIO (3) UNIT B - 1 BEDROOM (1) UNIT B1 - 1 BEDROOM (1) UNIT B2 - 1 BEDROOM (4) UNIT C - 2 BEDROOM (1) UNIT D - 1 BEDROOM + DEN (1) UNIT E - 2 BEDROOM + DEN (1) UNIT E1 - 2 BEDROOM (1) UNIT E2 - 2 BEDROOM 17 UNITS TOTAL 10 TENANT STORAGE LOCKERS
<b>BUILDING SQUARE FOOTAGE:</b> 17,727 SF BASEMENT LEVEL 17,727 SF FIRST FLOOR LEVEL 17,596 SF SECOND FLOOR LEVEL 17,596 SF THIRD FLOOR LEVEL 70,646 SF TOTAL 5,975 SF TOTAL COMMERCIAL 64,671 SF TOTAL RESIDENTIAL	<b>APARTMENT UNIT SUMMARY:</b> (5) UNIT A - STUDIO (6) UNIT A1 - STUDIO (8) UNIT B - 1 BEDROOM (3) UNIT B1 - 1 BEDROOM (3) UNIT B2 - 1 BEDROOM (10) UNIT C - 2 BEDROOM (3) UNIT D - 1 BEDROOM + DEN (2) UNIT E - 1 BEDROOM + DEN (3) UNIT E1 - 2 BEDROOM + DEN (2) UNIT E2 - 2 BEDROOM 45 UNITS TOTAL	<b>PARKING SUMMARY:</b> 41 SURFACE PARKING STALLS 45 UNDERGROUND PARKING STALLS 87 TOTAL STALLS PROVIDED 1.5 PER MULTI-FAMILY RES. UNIT 45@1.5 = 67.5 RESIDENTIAL 1 PER 3000SF COMMERCIAL AREA 5,975/300 = 19.9 87 STALLS TOTAL REQUIRED PER ZONING ORDINANCE NOTE: BICYCLE PARKING FACILITIES PROVIDED AND SHARED PARKING WITH RESIDENTIAL + RETAIL USES WILL BE IMPLEMENTED	<b>SITE SUMMARY:</b> 15,894 SF IMPERVIOUS SURFACE AREA (38%) 550 SF RETENTION PONDS (1.3%) 17,727 SF BUILDING FOOTPRINT (42.5%) 41,673 SF TOTAL SITE AREA (LOT 1)



**1** ARCHITECTURAL SITE PLAN  
SCALE: 1" = 20'-0"



**ESSER PLACE MIXED-USE**

1900 MAIN STREET  
CROSS PLAINS, WI  
**WEST GATEWAY, INC.**  
901 DEMING WAY, SUITE 102  
MADISON, WI 53717

**ISSUE DATES:**

GDP DRAFT SUB:	05-02-16
SD BID SET:	05-24-16
GDP DRAFT SUB:	05-31-16
SIP DRAFT SUB:	07-05-16
SIP SUB:	07-25-16

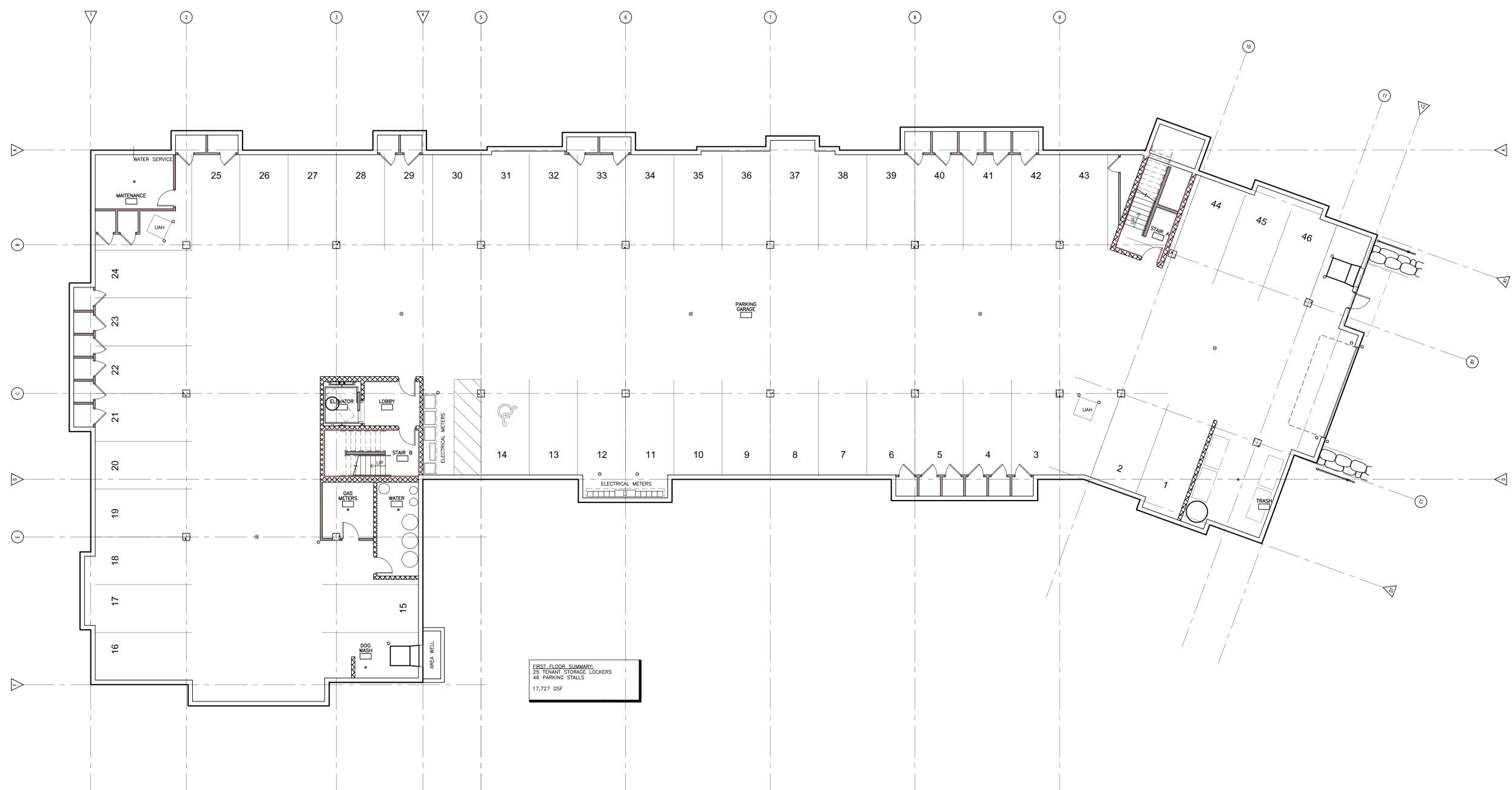
**RFI/SD DATE:**

**Schematic Design Phase:**  
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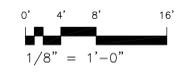
**PROJECT #:** 20140490  
**SHEET NUMBER**

**A200**



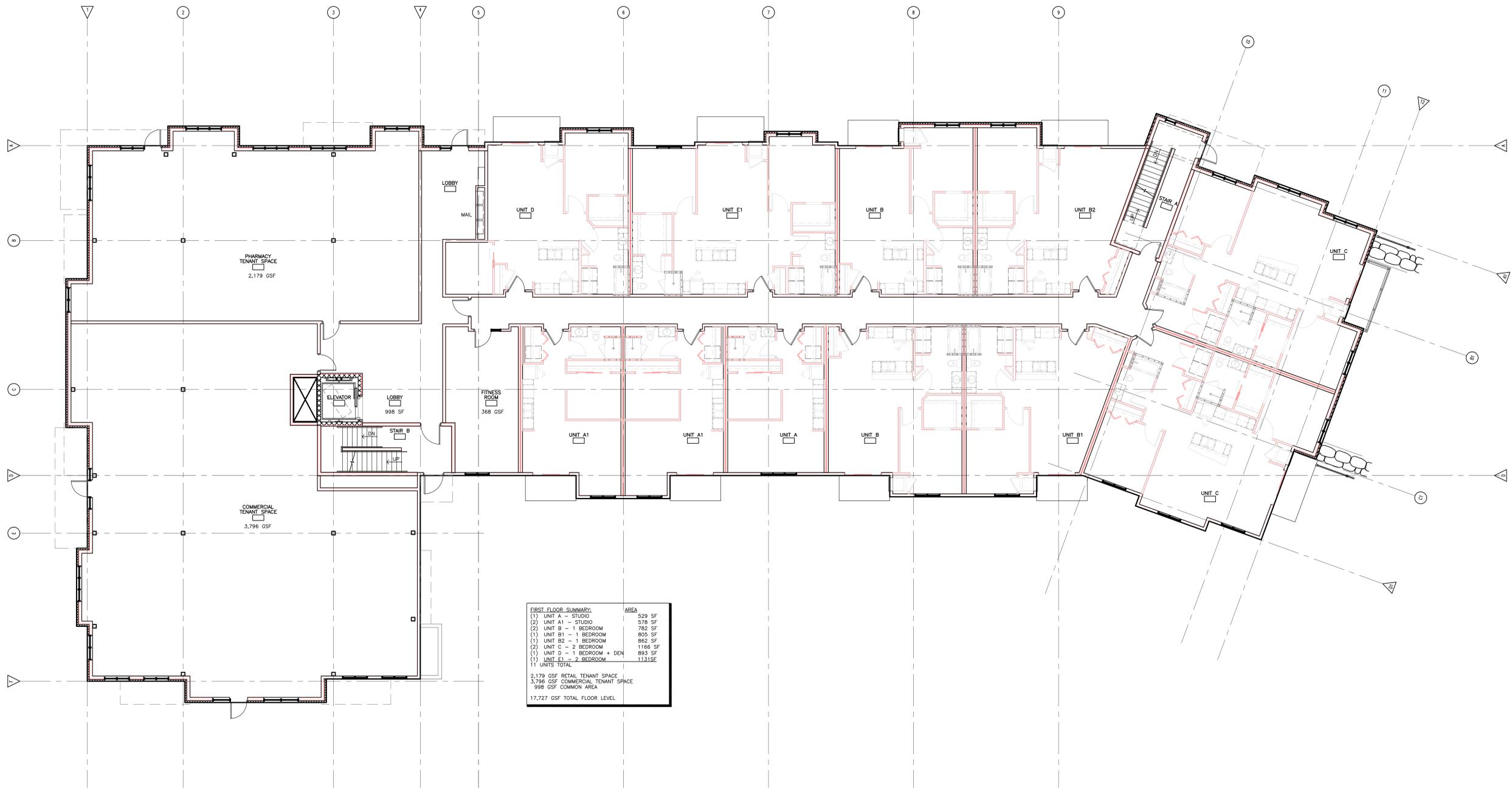
**FIRST FLOOR SUMMARY:**  
25 TENANT STORAGE LOCKERS  
46 PARKING STALLS  
17,727 GSF

**1** BASEMENT FLOOR PLAN  
A200 SCALE: 1/8" = 1'-0"



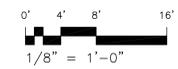
**ESSER PLACE MIXED-USE**  
1900 MAIN STREET  
CROSS PLAINS, WI

WEST GATEWAY, INC.  
901 DEMING WAY, SUITE 102  
MADISON, WI 53717



FIRST FLOOR SUMMARY:	AREA
(1) UNIT A - STUDIO	529 SF
(2) UNIT A1 - STUDIO	578 SF
(2) UNIT B - 1 BEDROOM	782 SF
(1) UNIT B1 - 1 BEDROOM	805 SF
(1) UNIT B2 - 1 BEDROOM	862 SF
(2) UNIT C - 2 BEDROOM	1166 SF
(1) UNIT D - 1 BEDROOM + DEN	893 SF
(1) UNIT E1 - 2 BEDROOM	1131 SF
11 UNITS TOTAL:	
2,179 GSF RETAIL TENANT SPACE	
3,796 GSF COMMERCIAL TENANT SPACE	
998 GSF COMMON AREA	
<b>17,727 GSF TOTAL FLOOR LEVEL</b>	

**1** FIRST FLOOR PLAN  
A201 SCALE: 1/8" = 1'-0"



**ISSUE DATES:**

GDP DRAFT SUB: 05-02-16
SD BID SET: 05-24-16
GDP DRAFT SUB: 05-31-16
SIP DRAFT SUB: 07-05-16
SIP SUB: 07-25-16

**RF/SD DATE:**

**Schematic Design Phase:**  
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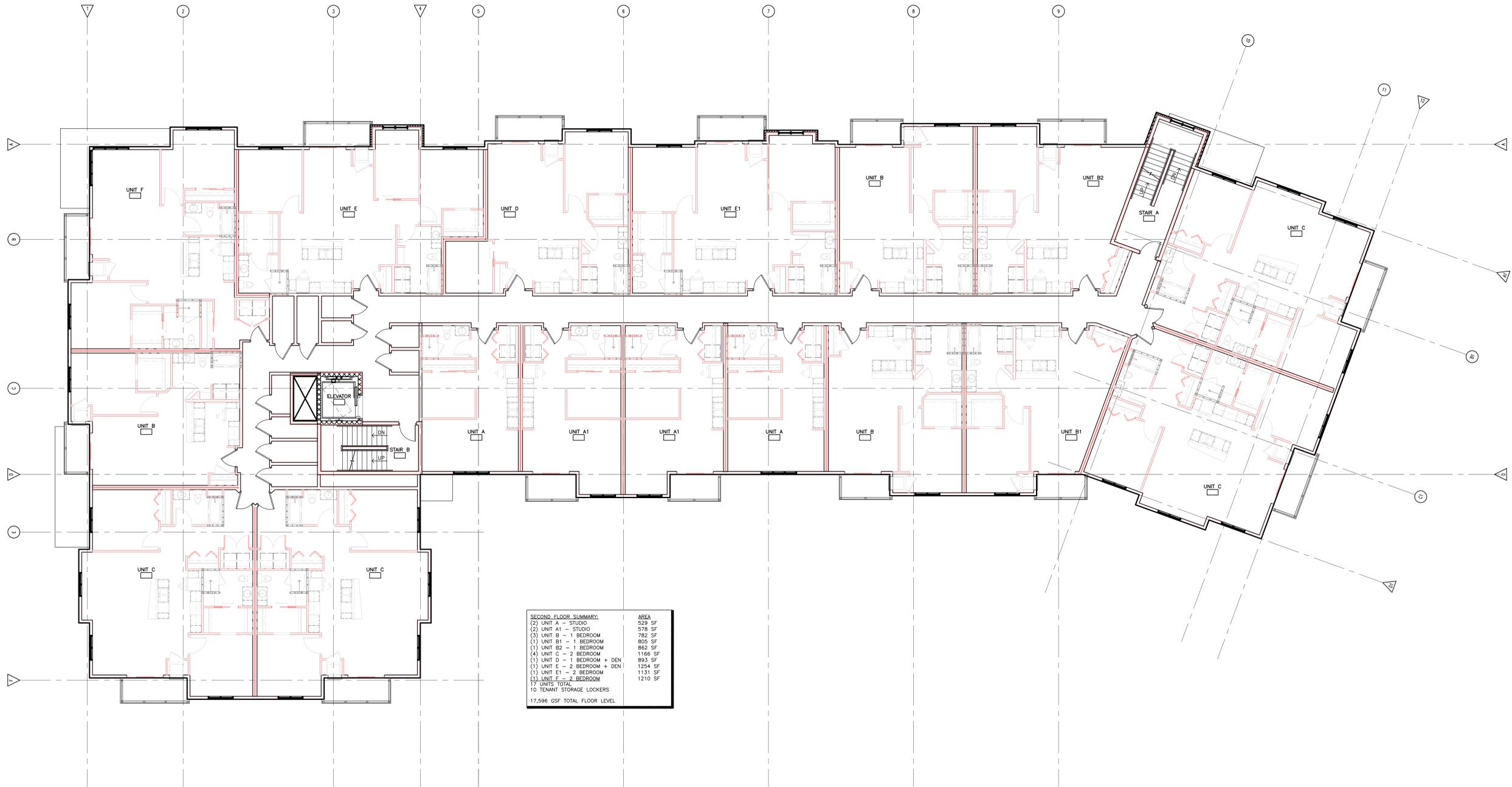
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SHEET NUMBER

**A201**

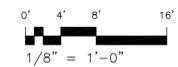
**ESSER PLACE MIXED-USE**  
1900 MAIN STREET  
CROSS PLAINS, WI

WEST GATEWAY, INC.  
901 DEMING WAY, SUITE 102  
MADISON, WI 53717



SECOND FLOOR SUMMARY:	AREA
(2) UNIT A - STUDIO	529 SF
(2) UNIT A1 - STUDIO	578 SF
(3) UNIT B - 1 BEDROOM	782 SF
(1) UNIT B1 - 1 BEDROOM	805 SF
(1) UNIT B2 - 1 BEDROOM	862 SF
(4) UNIT C - 2 BEDROOM	1166 SF
(1) UNIT D - 1 BEDROOM + DEN	893 SF
(1) UNIT E - 2 BEDROOM + DEN	1254 SF
(1) UNIT E1 - 2 BEDROOM	1131 SF
(1) UNIT F - 2 BEDROOM	1210 SF
17 UNITS TOTAL	
10 TENANT STORAGE LOCKERS	
17,596 GSF TOTAL FLOOR LEVEL	

**1** SECOND FLOOR PLAN  
A202 SCALE: 1/8" = 1'-0"



**ISSUE DATES:**

GDP DRAFT SUB: 05-02-16  
SD BID SET: 05-24-16  
GDP DRAFT SUB: 05-31-16  
SIP DRAFT SUB: 07-05-16  
SIP SUB: 07-25-16

**RF/ISI DATE:**

**Schematic Design Phase:**

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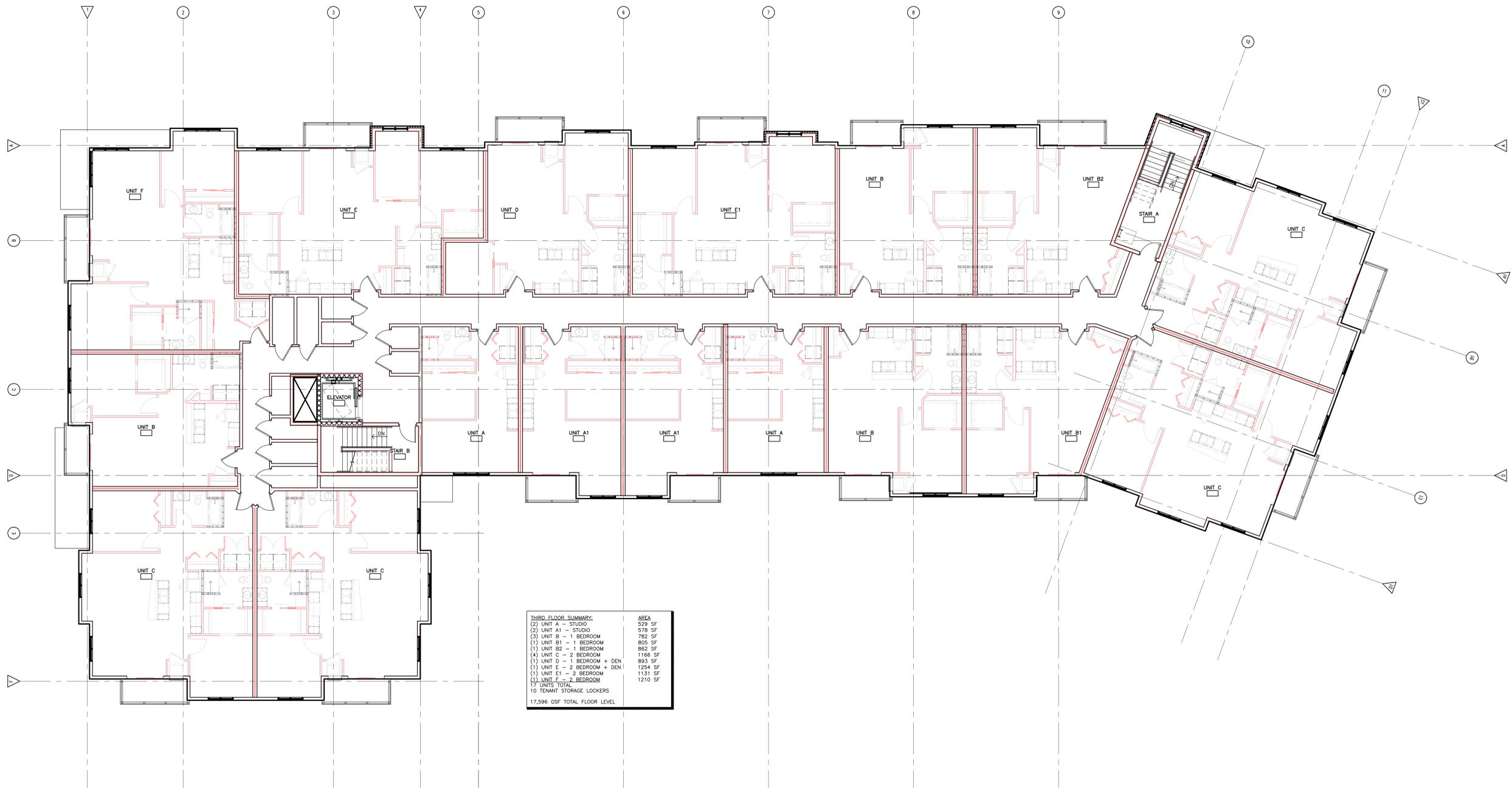
PROJECT #: 20140490  
SHEET NUMBER

**A202**

**ESSER PLACE MIXED-USE**

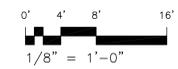
1900 MAIN STREET  
CROSS PLAINS, WI

**WEST GATEWAY, INC.**  
901 DEMING WAY, SUITE 102  
MADISON, WI 53717



THIRD FLOOR SUMMARY:	AREA
(2) UNIT A - STUDIO	529 SF
(2) UNIT A1 - STUDIO	578 SF
(3) UNIT B - 1 BEDROOM	782 SF
(1) UNIT B1 - 1 BEDROOM	805 SF
(1) UNIT B2 - 1 BEDROOM	862 SF
(4) UNIT C - 2 BEDROOM	1166 SF
(1) UNIT D - 1 BEDROOM + DEN	893 SF
(1) UNIT E - 2 BEDROOM + DEN	1254 SF
(1) UNIT E1 - 2 BEDROOM	1131 SF
(1) UNIT F - 2 BEDROOM	1210 SF
17 UNITS TOTAL	
10 TENANT STORAGE LOCKERS	
17,596 GSF TOTAL FLOOR LEVEL	

**1** THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



**ISSUE DATES:**

GDP DRAFT SUB:	05-02-16
SD BID SET:	05-24-16
GDP DRAFT SUB:	05-31-16
SIP DRAFT SUB:	07-05-16
SIP SUB:	07-25-16

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PROJECT #: 20140490  
SHEET NUMBER

**A203**



WEST EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"  
0' 4' 8' 16'  
1/8" = 1'-0"



EAST EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"  
0' 4' 8' 16'  
1/8" = 1'-0"



SOUTH EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"  
0' 4' 8' 16'  
1/8" = 1'-0"

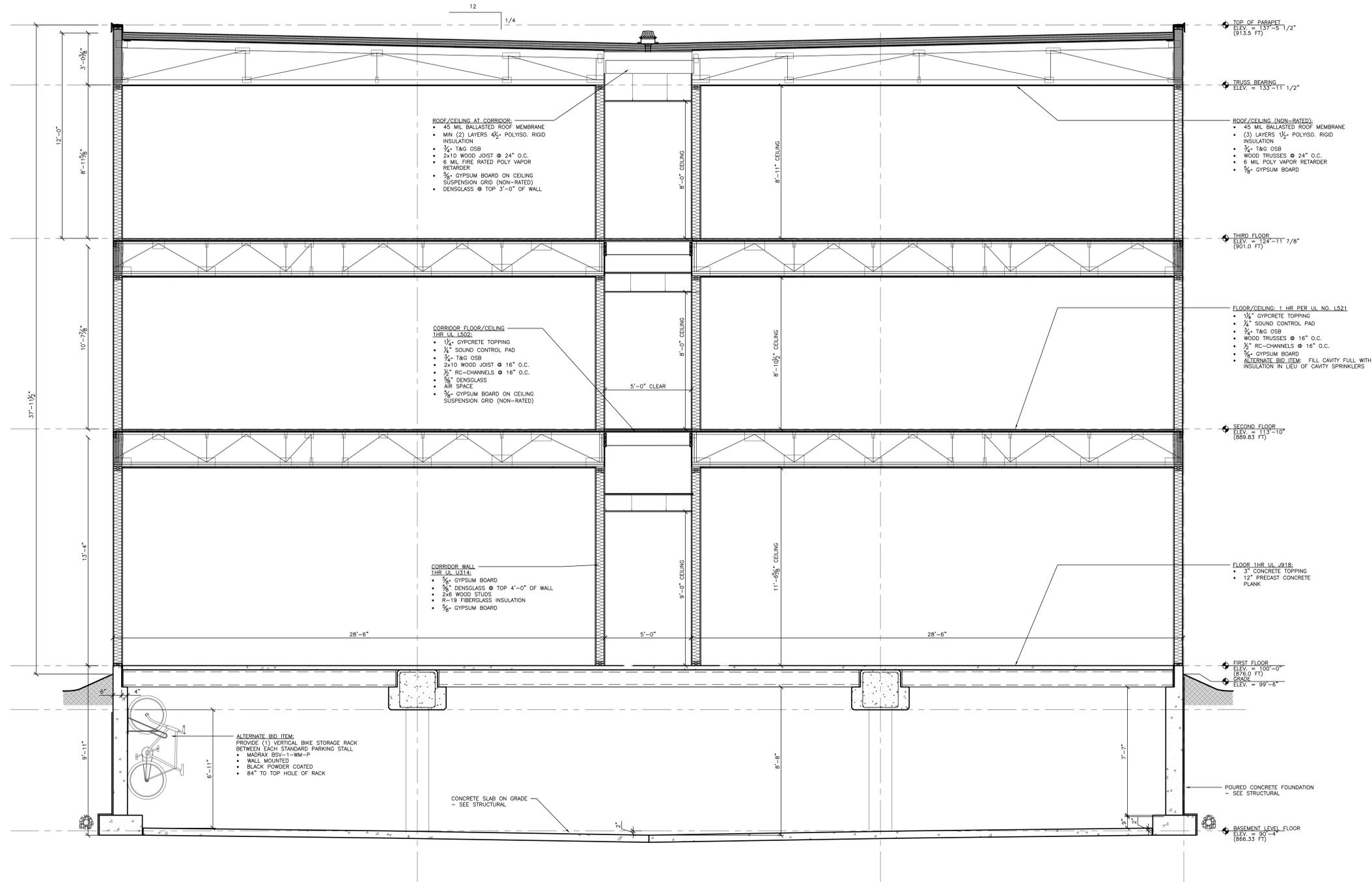


NORTH EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"  
0' 4' 8' 16'  
1/8" = 1'-0"

EXTERIOR MATERIAL KEY		
HATCH	COLOR	REMARKS
	BRICK COLOR TBD	MORTAR - GREY MASONRY SILLS & COPING - LIMESTONE
	COLOR TBD	
	4" EXPOSURE LP SMARTSIDE COLORS VARY	540 SERIES LP TRIM COLOR - WHITE
	7" EXPOSURE LP SMARTSIDE COLORS VARY	540 SERIES LP TRIM COLOR - WHITE

**ESSER PLACE MIXED-USE**  
1900 MAIN STREET  
CROSS PLAINS, WI

**WEST GATEWAY, INC.**  
901 DEMING WAY, SUITE 102  
MADISON, WI 53717



**1 BUILDING SECTION**  
A401 SCALE: 3/8" = 1'-0"

**ISSUE DATES:**

GDP DRAFT SUB:	05-02-16
SD BID SET:	05-24-16
GDP DRAFT SUB:	05-31-16
SIP DRAFT SUB:	07-05-16
SIP SUB:	07-25-16

**RFI/SI DATE:**

**Schematic Design Phase:**  
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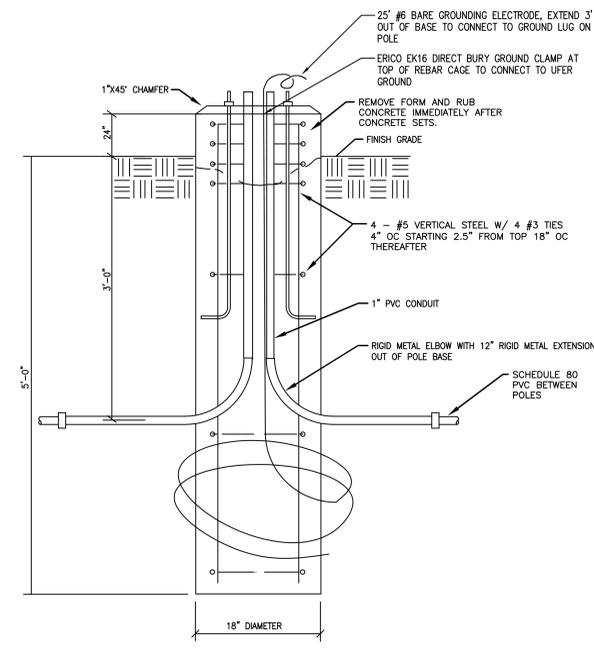
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**PROJECT #:** 20140490  
**SHEET NUMBER**

**A401**

EXTERIOR LIGHTING POWER CALCULATION												
BUILDING TYPE: HOUSING ZONE: 2												
Description	Code	Area (SF)	Length (LF)	Allowable (W)	Light Fixtures							
					ID	# Fixtures	Watts /Fixture	Total Watts	ID	# Fixtures	Watts /Fixture	Total Watts
BASE SITE ALLOWANCE	600	W	1	600								
PARKING LOT & DRIVES	0.0600	W/SF	21,957	1317	A	2	232	464	D	3	20	60
MAIN ENTRY	3	W/LF	12	36	B	1	232	232	F	5	14	70
OTHER DOORS	12	W/LF	27	324								
ENTRY CANOPY	0.25	W/SF	0	0								
WALKWAYS < 10' WIDE	0.7	W/LF	235	165								
WALKWAYS < 10' WIDE	0.7	W/LF	20	14								
TOTALS				2442				DESIGN TOTAL	1242			
	2442	>	1242		EXTERIOR COMPLIES WITH THE ENERGY CODE							

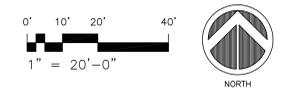
LIGHT FIXTURE SCHEDULE									
ID	Size	Series	Manufacturer	Model #	Voltage	Lamps	Mounting	Remarks	
A	15" x 40"	LED AREA LIGHT	LITHONIA	DSK2 LED 100C 700 40K T3M MVOLT SPA HS DBLXD POLE: SSA 15 4C DM19AS FBC DBL	120	LED, 232W, 4000K, 26936L, 70CRI	15' POST		
B	15" x 40"	LED AREA LIGHT	LITHONIA	DSK2 LED 100C 700 40K T3M MVOLT SPA HS DBLXD POLE: SSA 15 4C DM19AS FBC DBL	120	LED, 232W, 4000K, 26997L, 70CRI	15' POST	10' TILT UP	
C	15" x 40"	LED AREA LIGHT	LITHONIA	DSK2 LED 100C 700 40K T3M MVOLT WBA HS DBLXD	120	LED, 232W, 4000K, 26936L, 70CRI	WALL, 15'	10' TILT UP	
D	6.5" x 8.75"	LED FULL CUTOFF WALL LIGHT	RAB	SLIM 18N (CUSTOM COLOR - BLACK)	120	LED, 20W, 4000K, 1855L, 82CRI	WALL, 10'		
F	6.5" x 8.75"	LED FULL CUTOFF WALL LIGHT	RAB	SLIM 12N (CUSTOM COLOR - BLACK)	120	LED, 14W, 4000K, 1372L, 82CRI	WALL, 8'		
G	6"ø	LED RECESSED DOWN LIGHT	GOYAM	EVO 30/20 6AR WD LS 120 E210	120	LED, 23.2W, 4000K, 2056L, 80CRI	CANOPY		



**2 POLE BASE DETAIL**  
 E100 SCALE: NOT TO SCALE



**1 SITE LIGHTING PLAN - PHOTOMETRICS**  
 E100 SCALE: 1" = 20'-0"



**ESSER PLACE MIXED-USE**  
 1900 MAIN STREET  
 CROSS PLAINS, WI

**WEST GATEWAY, INC.**  
 901 DEMING WAY, SUITE 102  
 MADISON, WI 53717

**ISSUE DATES:**  
 SIP SUB: 07-25-16

**RFISI DATE:**

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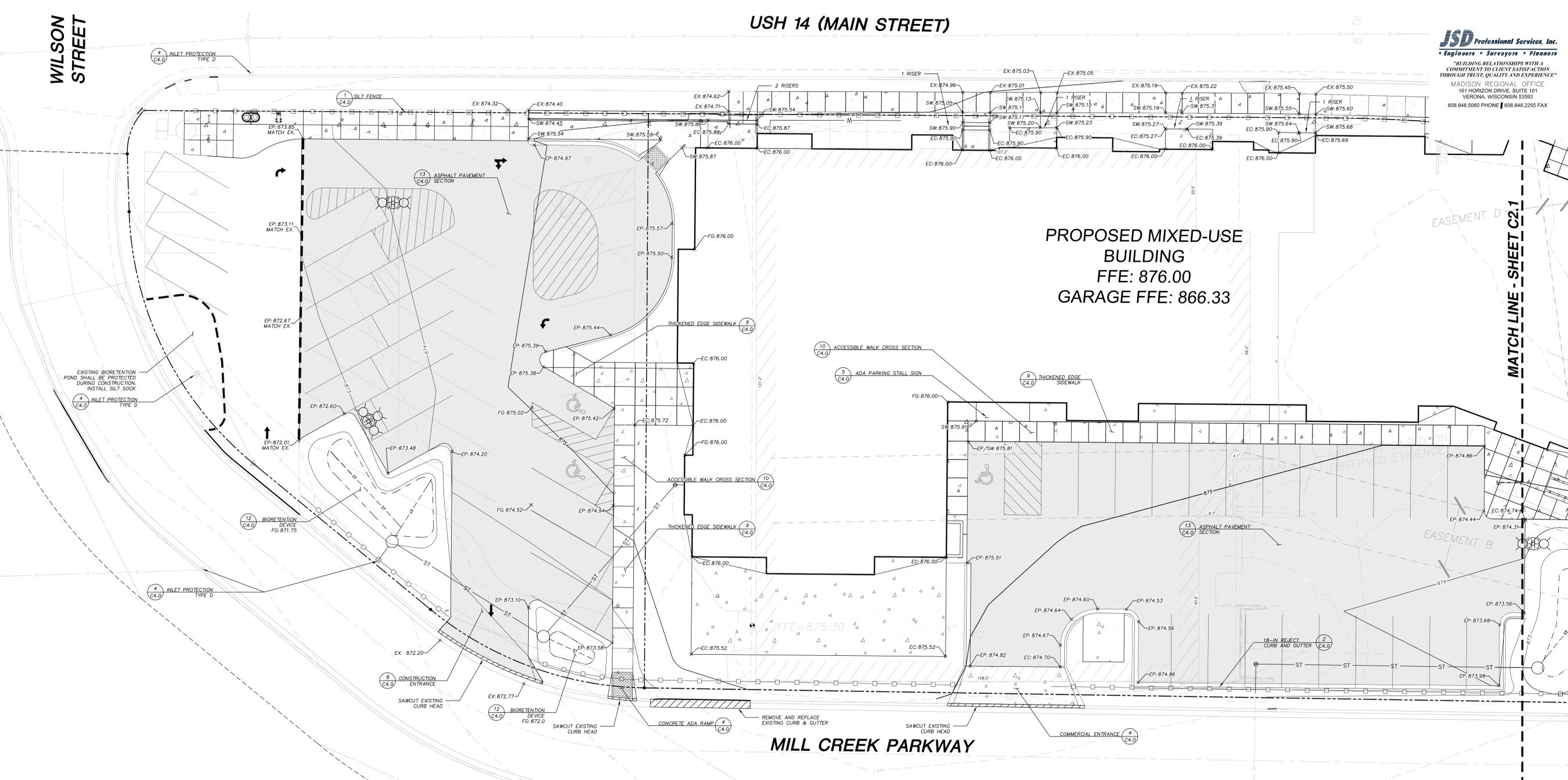
**E100**

WILSON STREET

USH 14 (MAIN STREET)

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE
MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

ICONICA
True Design-Build
901 Deming Way // Madison, WI 53717
Ph: 608.684.3500 // Fx: 608.684.3535
iconicacreatives.com



PROPOSED MIXED-USE BUILDING
FFE: 876.00
GARAGE FFE: 866.33

MATCH LINE - SHEET C2.1

MILL CREEK PARKWAY

- GENERAL NOTES:
1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE VILLAGE OF CROSS PLAINS REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

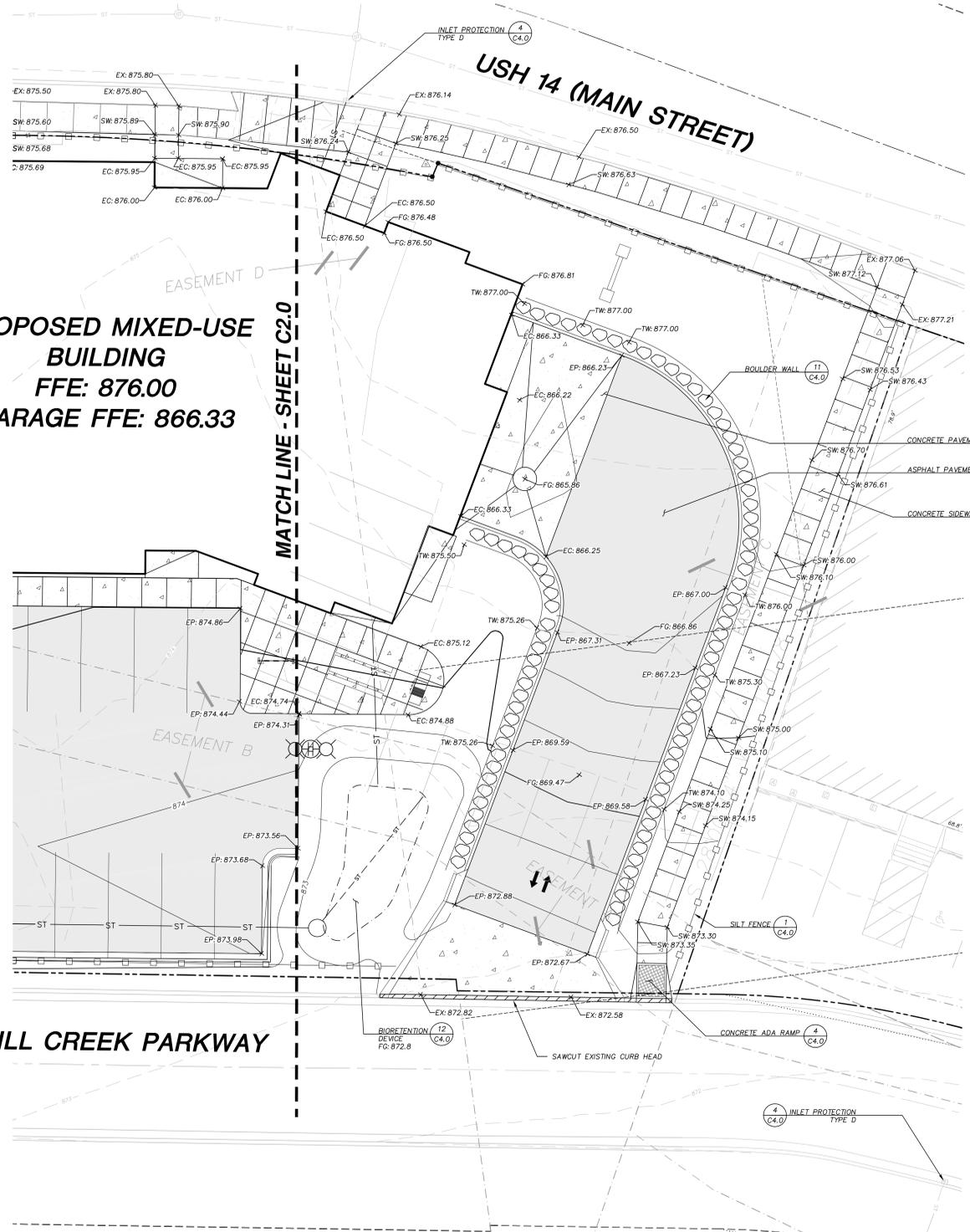
- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES:
1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: http://www.dnr.wisconsin.gov/soilwater/erosion.htm.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDRN TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
8. INSTALL TEMPORARY SEDIMENT TRAPS PER LATEST EDITION OF WDRN STORM WATER CONSTRUCTION TECHNICAL CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS NOTE 1063. SEDIMENT TRAPS SHALL BE SIZED BASED ON MEDIUM SOIL TEXTURAL CLASS. SEDIMENT TRAPS SHALL BE INSPECTED WITHIN 24 HOURS AFTER EVERY RAIN EVENT PRODUCING 0.5 INCHES OF RAIN OR MORE AND AT A MINIMUM SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES A DEPTH OF 1 FOOT OR WHEN OUTLET BECOMES CLOGGED. SEDIMENT TRAPS SHALL BE REMOVED AND THE LOCATION STABILIZED AFTER THE DISTURBED AREA DRAINING TO THE SEDIMENT TRAP IS STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION. ALL SEDIMENT SHALL BE PROPERLY DISPOSED.
9. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDRN TECHNICAL STANDARDS.
10. INSTALL STONE CHECK DAMS IN SWALE SOUTH OF THE PROPOSED GRAVEL PARKING LOT. STONE CHECK DAMS SHALL BE INSTALLED EVERY 75 FEET, AT THE INVERT OF THE SWALE. CHECK DAMS SHALL BE A MINIMUM OF 1.5 FEET IN HEIGHT ABOVE THE INVERT OF THE SWALE AND EXTENDED TO SWALE SIDE SLOPES. EACH WAY. STONE CHECK DAMS SHALL BE INSTALLED FOLLOWING FINISH GRADING OF SITE AND PRIOR TO PLACEMENT OF GRAVEL SURFACE ON PARKING LOT. TEMPORARY SEDIMENT TRAPS SHALL BE REMOVED PRIOR TO THE INSTALLATION OF SWALE STONE CHECK DAMS. REFER TO DETAIL 4/C4.0 FOR CONSTRUCTION DETAILS OF STONE CHECK DAM.
11. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
13. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS A, TYPE B EROSION MATTING WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. REFER BELOW TO "CSECR" NOTE NO. SIXTEEN (16) FOR STABILIZATION PRACTICES FOR POTENTIAL INTERIM STABILIZATION.
14. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDRN REQUIREMENTS.
15. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDRN TECHNICAL STANDARD 1068.
16. ALL SITE GRADING AND DISTURBANCE SHALL BE OUTSIDE 10' WETLAND SETBACK (BUFFER ZONE)
17. SILT FENCE LOCATION REPRESENTED ON SHEET C2.0 INDICATES DISTURBANCE LIMITS. REFER TO CSECR NOTE 14 FOR DETAILS.
18. STABILIZATION PRACTICES:
17.1. \* STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
17.2. \* THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
17.3. \* CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
17.4. \* STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
\* PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
\* TEMPORARY SEEDING, MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
\* HYDRO-MULCHING WITH A TACKIFIER
\* GEOTEXTILE EROSION MATTING
\* SODDING



LEGEND
PROPERTY LINE
RIGHT-OF-WAY
EASEMENT LINE
PROPOSED BUILDING ADDITION
EDGE OF PAVEMENT
STANDARD CURB AND GUTTER
REJECT CURB AND GUTTER
PROPOSED CONCRETE
PROPOSED ASPHALT PAVEMENT
PROPOSED ASPHALT PAVEMENT-HEAVY DUTY
PROPOSED 1 FOOT CONTOUR
PROPOSED 5 FOOT CONTOUR
SILT FENCE
SAWCUT
SPOT ELEVATION
EP - EDGE OF PAVEMENT
FG - FINISH GRADE
EC - EDGE OF CONCRETE
TS - TOP OF STEP
BS - BOTTOM OF STEP
SOM - SOW ELEVATION
GRADE BREAK
DRAINAGE DIRECTION

ISSUE DATES:
SIP DRAFT SUB: 07-05-16
SIP SUB: 07-25-16
RF/IS/DATE:
Schematic Design Phase:
This drawing indicates the scale and relationship of the project components. This drawing is not for construction.
PROJECT #: 20140490
C-2.0
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PRELIMINARY
NOT FOR CONSTRUCTION
GRADING AND EROSION CONTROL PLAN



**PROPOSED MIXED-USE BUILDING**  
**FFE: 876.00**  
**GARAGE FFE: 866.33**

**MATCH LINE - SHEET C2.0**

**MILL CREEK PARKWAY**

**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- PROPOSED BUILDING ADDITION
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT-STANDARD DUTY
- PROPOSED ASPHALT PAVEMENT-HEAVY DUTY
- PROPOSED 1 FOOT CONTOUR
- 876
- 875
- PROPOSED 5 FOOT CONTOUR
- SILT FENCE
- CONSTRUCTION LIMITS
- INLET PROTECTION, TYPE D
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FG - FINISH GRADE
- EC - EDGE OF CONCRETE
- TS - TOP OF SLOPE
- BS - BOTTOM OF STEP
- RIM - RIM ELEVATION
- GRADE BREAK
- DRAINAGE DIRECTION

**CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES:**

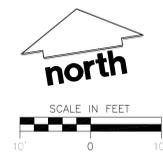
1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES' EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
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9. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDR TECHNICAL STANDARDS.
10. INSTALL STONE CHECK DAMS IN SWALE SOUTH OF THE PROPOSED GRAVEL PARKING LOT. STONE CHECK DAMS SHALL BE INSTALLED EVERY 75 FEET AT THE INVERT OF THE SWALE. CHECK DAMS SHALL BE A MINIMUM OF 15 FEET IN HEIGHT ABOVE THE INVERT OF THE SWALE AND EXTENDED TO SWALE SIDE SLOPES. EACH SWALE CHECK DAM SHALL BE INSTALLED FOLLOWING FINISH GRADING OF SITE AND PRIOR TO PLACEMENT OF GRAVEL SURFACE ON PARKING LOT. TEMPORARY SEDIMENT TRAPS SHALL BE REMOVED PRIOR TO THE INSTALLATION OF SWALE STONE CHECK DAMS. REFER TO DETAIL 4/C4.0 FOR CONSTRUCTION DETAILS OF STONE CHECK DAM.
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 \* TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)  
 \* HYDRO-MULCHING WITH A TACKIFIER  
 \* GEOTEXTILE EROSION MATTING  
 \* SODDING

**GENERAL NOTES:**

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE VILLAGE OF CROSS PLAINS REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

**GRADING AND SEEDING NOTES**

1. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
7. THE CONTRACTOR SHALL NOTIFY THE VILLAGE OF CROSS PLAINS TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
8. IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
9. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.



**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
**GRADING AND EROSION CONTROL PLAN**

**JSD Professional Services, Inc.**  
 Engineers • Surveyors • Planners  
 BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE™  
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**ESSER PLACE MIXED-USE**  
 1900 MAIN STREET  
 CROSS PLAINS, WI

**WEST GATEWAY, INC.**  
 901 DEMING WAY, SUITE 102  
 MADISON, WI 53717

**ISSUE DATES:**  
 SIP DRAFT SUB: 07-05-16  
 SIP SUB: 07-25-16

**RF/ISI DATE:**

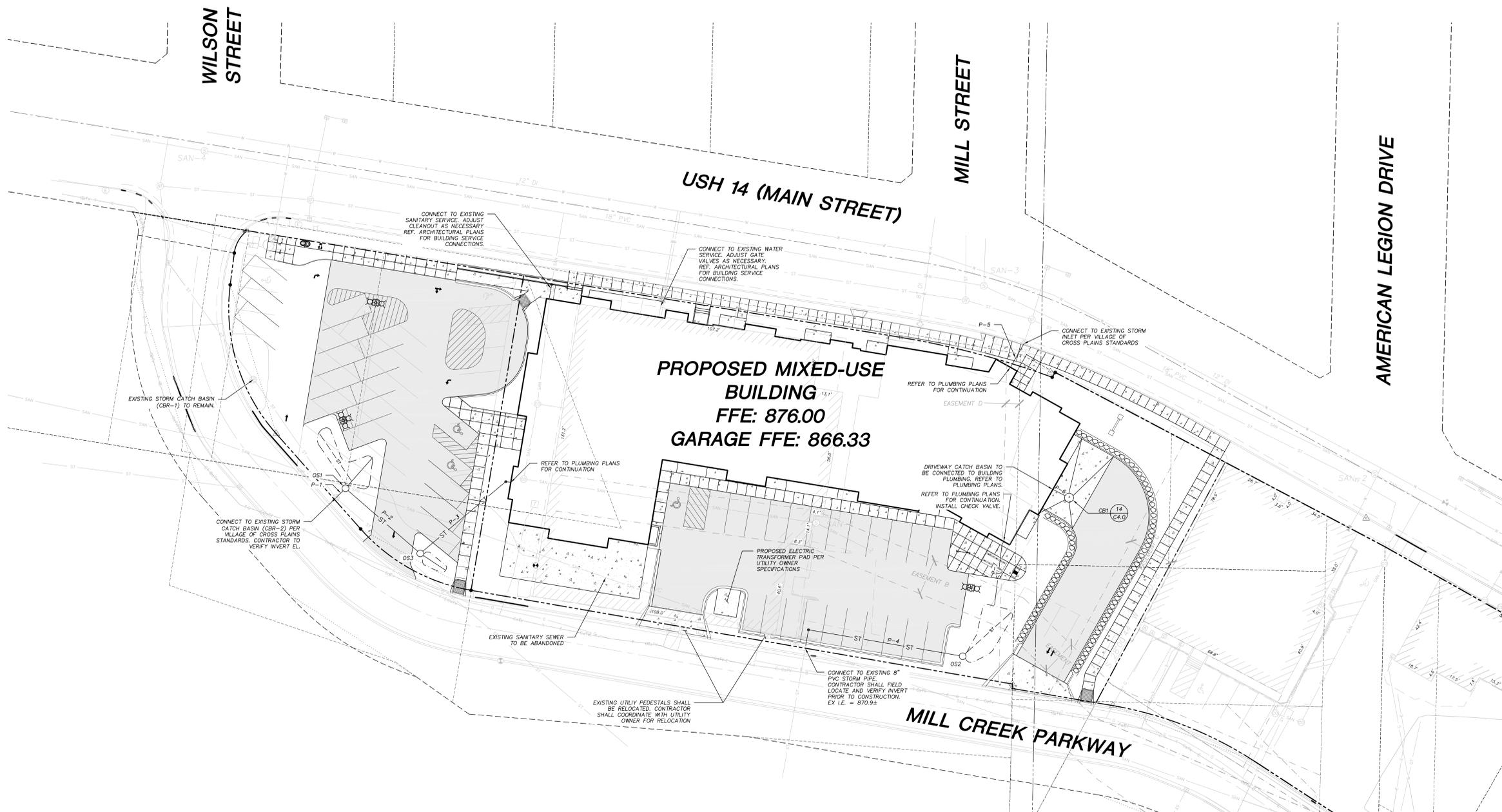
**Schematic Design Phase:**  
 This drawing indicates the scale and relationship of the project components. This drawing is not for construction.

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**PROJECT #:** 20140490

**C-2.1**

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- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

**UTILITY NOTES:**

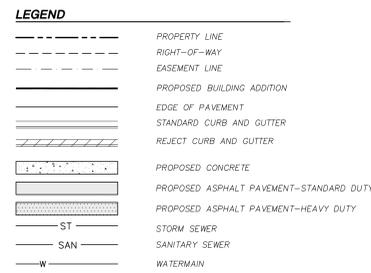
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REVISION MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDSPS, AND WWRP.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS; ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL CONTACT THE CITY OF PEWAUKEE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
- CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE VILLAGE OF CROSS PLAINS WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.
- ALL WATER MAIN MUST BE CAPPED AT EVERY 2,000 FOOT INTERVAL. WATER MAIN MUST BE FILLED AND SAFE WATER TESTED PRIOR TO FILLING AND FLUSHING ANY ADDITIONAL 2,000 FOOT PIPE SEGMENTS, PER VILLAGE OF CROSS PLAINS WATER & SEWER UTILITY WATER MAIN INSTALLATION SEQUENCE.
  - INSTALL WATER MAIN - MUST LEAVE A GAP AT THE EXISTING MAIN.
  - FILL WATER MAIN (PRESSURE TEST THE WATER MAIN. CONTRACTOR OPTION)
  - OBTAIN A SAFE WATER SAMPLE
  - TAP SERVICES: TAPS MUST BE MADE UNDER SYSTEM PRESSURE
  - PRESSURE TEST MAIN
  - MAKE WET CONNECTION TO EXISTING WATER MAIN
  - CONNECTION WILL ALSO BE REQUIRED WHEN THE FOLLOWING CONDITIONS ARE MET: WATER MAIN INSTALLATION UP TO 2000' AND/OR 30 DAYS OF INACTIVITY OF WATER MAIN INSTALLATION, WHICH EVER COMES FIRST.
- ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
- ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
- ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(8)(B)4.A.
- ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6' OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
- ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPARATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENCLOSING THE TOP AND SIDES OF WATER MAIN.

**PROPOSED STORM SEWER STRUCTURES SCHEDULE**

LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	GRATE
OS3	870.00	872.50	2.50	36" DIA CATCH BASIN	LIGHT DUTY, IN-BELL GRATE
OS1	868.43	872.25	3.82	36" DIA CATCH BASIN	LIGHT DUTY, IN-BELL GRATE
OS2	871.20	873.30	2.10	36" DIA CATCH BASIN	LIGHT DUTY, IN-BELL GRATE
CBI	863.19	865.86	2.67	36" DIA CATCH BASIN	TYPE C GRATE

**PROPOSED STORM SEWER PIPE SCHEDULE**

PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT	DISCHARGE	SLOPE	PIPE SIZE & TYPE
P-1	OST	EX CBR-2	6	868.43	868.40	0.50%	12"HDPE
P-2	OS3	OST	44	870.00	868.43	3.56%	12"HDPE
P-3	BUILDING	OS3	50	870.60	870.10	1.00%	8"HDPE
P-4	OS2	EX 8" PVC	74	871.20	870.90	0.40%	8" PVC
P-5	BUILDING	EX INLET	12.00	871.69	871.57	1.00%	8"HDPE
P-6	CBI	BUILDING	8.00	863.19	863.11	1.00%	8" PVC
P-7	BUILDING	BIORETENTION	29.00	873.09	872.80	1.00%	8" PVC



**ESSER PLACE MIXED-USE**  
 1900 MAIN STREET  
 CROSS PLAINS, WI  
**WEST GATEWAY, INC.**  
 901 DEMING WAY, SUITE 102  
 MADISON, WI 53717

**ISSUE DATES:**

SIP DRAFT SUB: 07-05-16  
 SIP SUB: 07-25-16

**RF/IS/DATE:**

**Schematic Design Phase:**

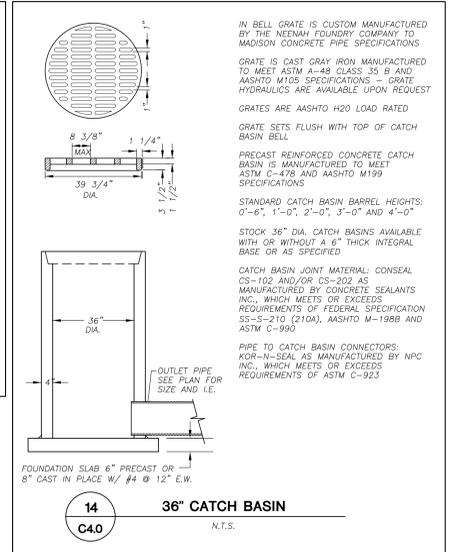
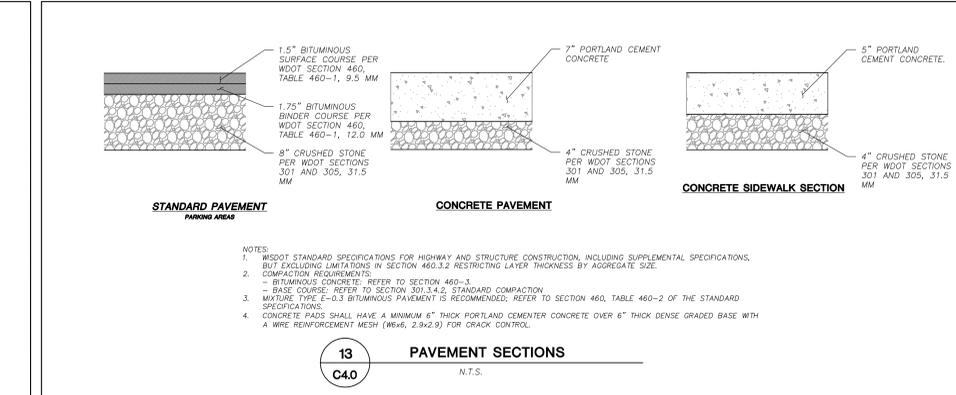
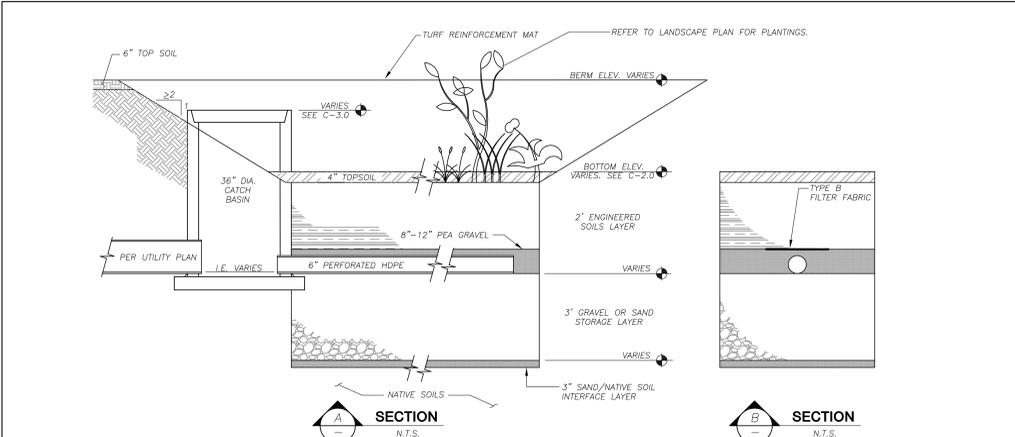
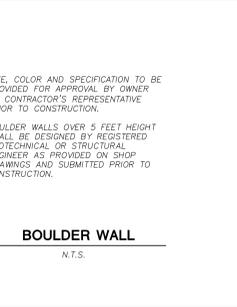
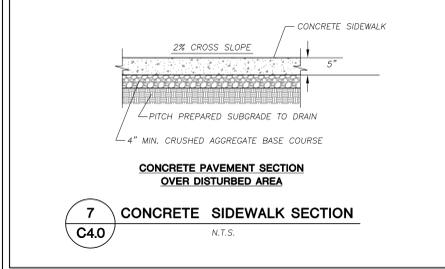
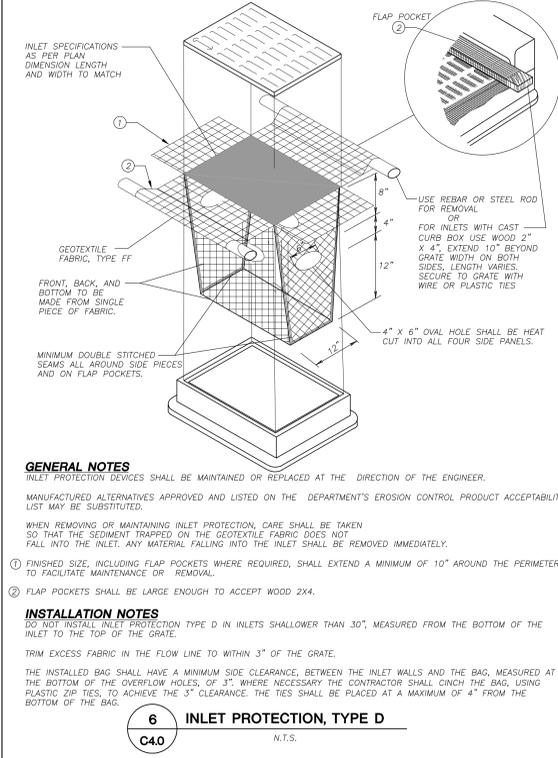
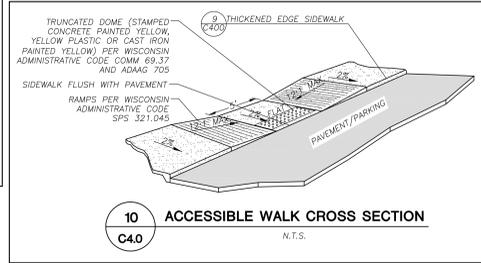
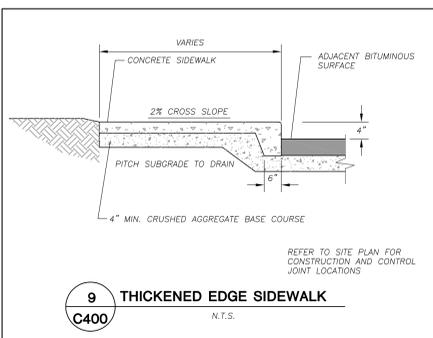
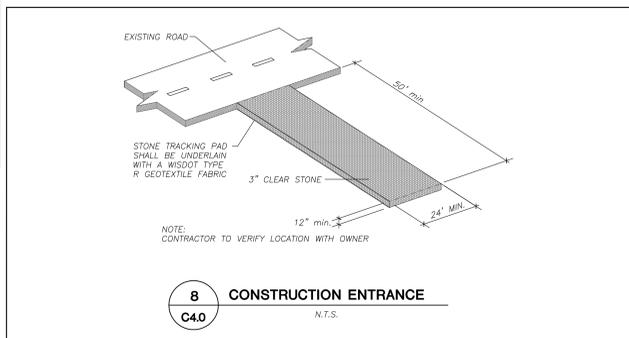
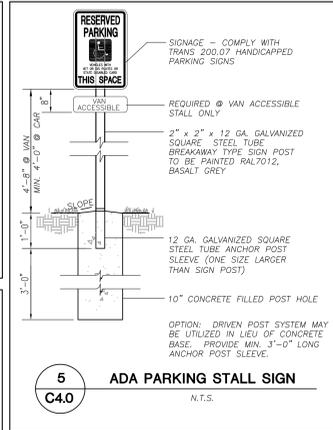
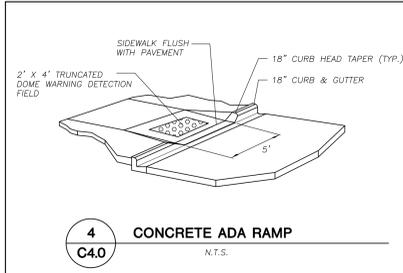
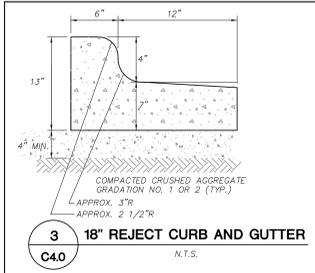
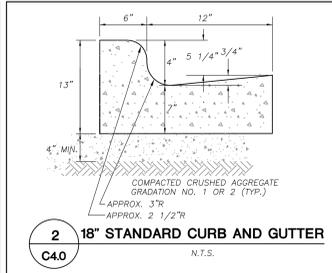
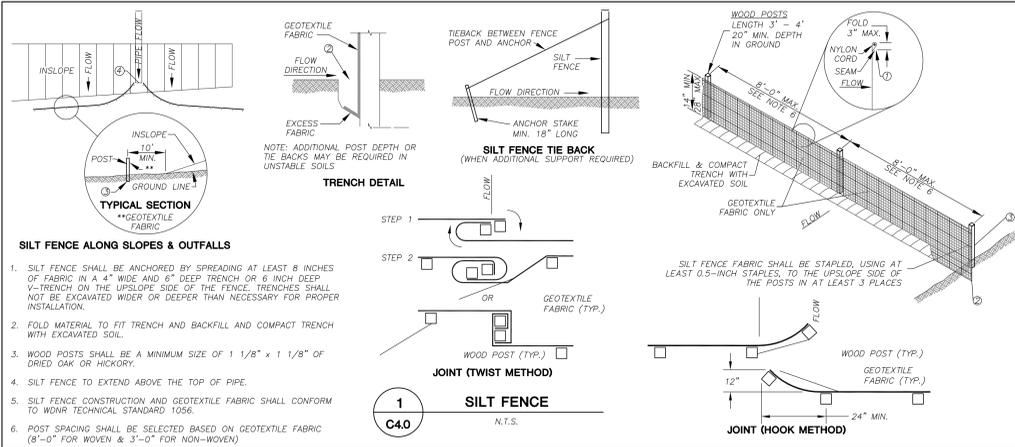
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PROJECT #: 20140490

**C-3.0**

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
**UTILITY PLAN**



**JSD Professional Services, Inc.**  
Engineers • Surveyors • Planners  
BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE.  
MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
608.848.5060 PHONE | 608.848.2255 FAX

**ICONICA**  
True Design-Build  
901 Deming Way // Madison, WI 53717  
Ph: 608.684.3500 // Fx: 608.684.3535  
iconicadesign.com

**ESSER PLACE MIXED-USE**  
1900 MAIN STREET  
CROSS PLAINS, WI  
**WEST GATEWAY, INC.**  
901 DEMING WAY, SUITE 102  
MADISON, WI 53717

**ISSUE DATES:**  
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SIP SUB: 07-25-16

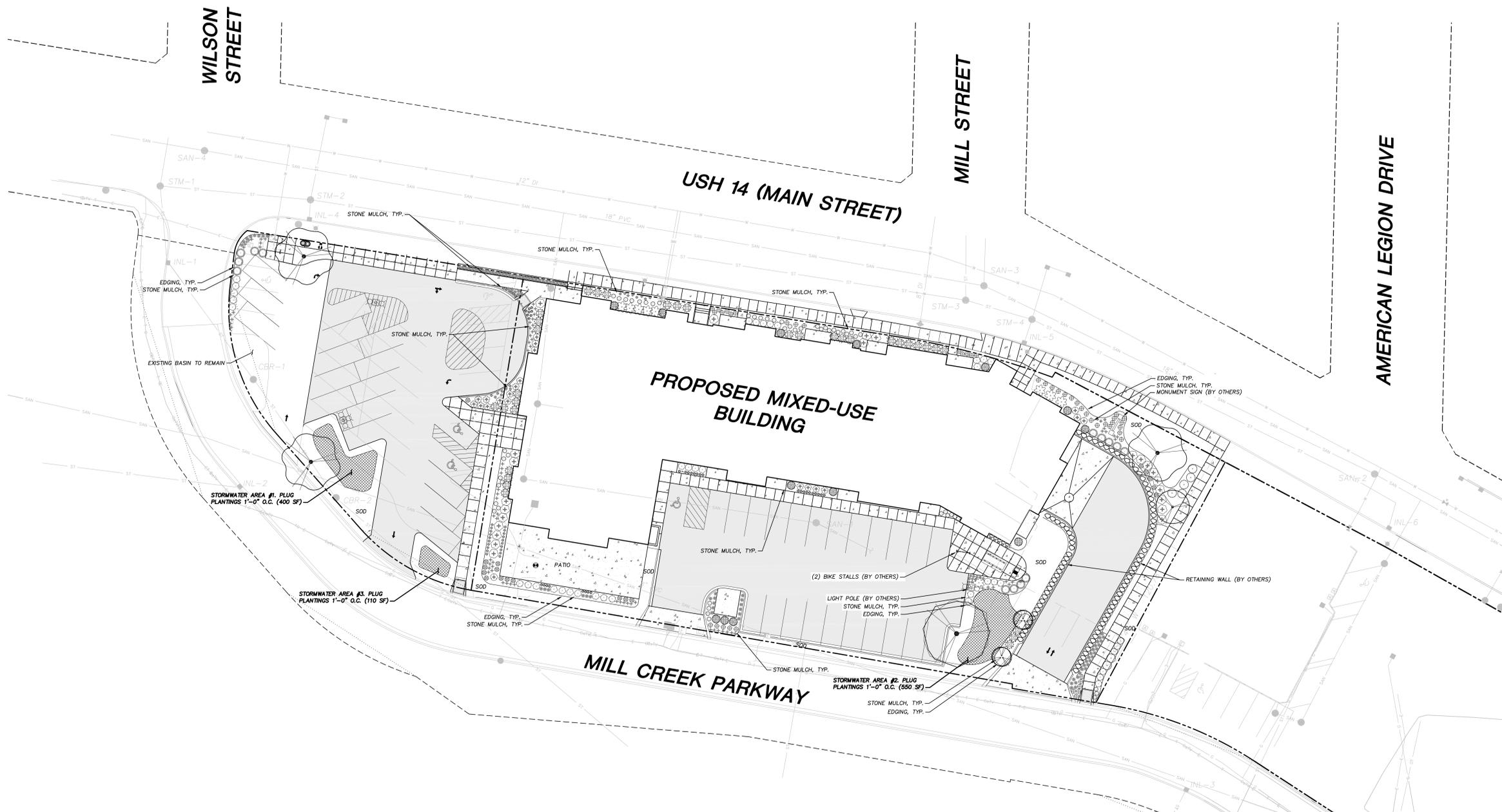
**RF/ISI DATE:**

**Schematic Design Phase:**  
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**PROJECT #:** 20140490

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
**DETAILS**  
**C-4.0**  
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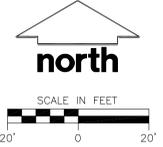
- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
  - REFER TO THE CIVIL PLAN SHEETS FOR PROPOSED FEATURES IN THE LEGEND AND NOTES.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE VILLAGE OF CROSS PLAINS STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
  - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
  - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
  - REFER TO SHEET L2.0 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.

PLANT SCHEDULE						
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	LS POINTS
	2	<i>Betula nigra</i> 'Little King'™	Fox Valley Birch	B & B	1.5" Cal	10
	3	<i>Gymnocladus dioica</i> 'Espresso-JFS'	Espresso Kentucky Coffeetree	B & B	1.5" Cal	30
	1	<i>Malus x 'Indian Magic'</i>	Indian Magic Crab Apple	B & B	1.5" Cal	10
	1	<i>Quercus muhlenbergii</i>	Chinkapin Oak	B & B	1.5" Cal	30
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	LS POINTS
	13	<i>Thuja occidentalis</i> 'Holmstrup'	Holmstrup Arborvitae	B & B	Min. 4' tall	20

PLANT SCHEDULE						
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	LS POINTS
	14	<i>Dierilla sessilifolia</i> 'LPDC Podaras'	Cool Splash Dwarf Bush Honeysuckle	3 gal	18" Min. Ht.	1
	51	<i>Forsythia viridissima</i> 'Bronxensis'	Bronx Forsythia	2 gal	18" Min. Ht.	1
	9	<i>Hydrangea paniculata</i> 'SMHPLOF'	Quick Fire Hydrangea	2 gal	Min. 24" tall	3
	18	<i>Juniperus squamata</i> 'Blue Star'	Blue Star Juniper	3 gal	Min 12" Ht.	3
	14	<i>Juniperus x pfitzeriana</i> 'Sea Green'	Sea Green Juniper	5 gal	3' Ht.	3
	20	<i>Philadelphus x 'Snowbelle'</i>	Snowbelle Mack Orange	3 gal	Min. 24" tall	3
	7	<i>Physocarpus opulifolius</i> 'SMPOTW'	Tiny Wine Ninebark	3 gal	18" Min. Ht.	1
	7	<i>Symphoricarpos orbiculatus</i>	Indian Currant Coralberry	3 gal	Min. 24" tall	3
	23	<i>Syringa pubescens</i> 'Miss Kim'	Miss Kim Korean Lilac	5 gal	3' Ht.	5
	33	<i>Taxus x media</i> 'tauntonii'	Tauton Yew	5 gal	2' Ht.	2
	19	<i>Weigela florida</i> 'Minuet'	Minuet Weigela	2 gal	18" Min. Ht.	1
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	LS POINTS
	47	<i>Geranium x 'Tiny Monster'</i>	Tiny Monster Geranium	1 gal	6" Ht.	0
	51	<i>Iberis sempervirens</i>	Candytuft	1 gal	6" Ht.	0
	45	<i>Phlox paniculata</i> 'Forever Pink'	Forever Pink Phlox	1 gal	10-12" Ht.	0
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	LS POINTS
	91	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal	12-18" Ht.	0
	78	<i>Schizachyrium scoparium</i> 'The Blues'	The Blues Little Bluestem	1 gal	10-12" Ht.	0

**LEGEND (SITE PLAN)**

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT-STANDARD DUTY
	POLYETHYLENE EDGING
	STORMWATER AREA PLUG PLANTINGS



**Stormwater Area #1 Plug Plant Mix 400 sq. ft.**

Botanical Name	Common Name	Quantity	Spacing
<b>Permanent Grasses:</b>			
<i>Carex graysi</i>	Common Bur Sedge	30	1'-0" On Center
<i>Carex stipata</i>	Common Fox Sedge	40	1'-0" On Center
<i>Panicum virgatum</i>	Switch Grass	40	1'-0" On Center
<i>Spartina pectinata</i>	Prairie Cord Grass	40	1'-0" On Center
<b>Forbs:</b>			
<i>Aster novae-angliae</i>	New England Aster	20	1'-0" On Center
<i>Asclepias incarnata</i>	Swamp Milkweed	20	1'-0" On Center
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	20	1'-0" On Center
<i>Eryngium yuccifolium</i>	Rattlesnake Master	10	1'-0" On Center
<i>Eupatorium maculatum</i>	Spotted Joe-Pye Weed	20	1'-0" On Center
<i>Liatris spicata</i>	Marsh Blazing Star	10	1'-0" On Center
<i>Lobelia cardinalis</i>	Cardinal Flower	20	1'-0" On Center
<i>Monarda fistulosa</i>	Wild Bergamot	20	1'-0" On Center
<i>Penstemon digitalis</i>	Foxglove Beardtongue	10	1'-0" On Center
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	20	1'-0" On Center
<i>Ratibida pinnata</i>	Yellow Coneflower	20	1'-0" On Center
<i>Rudbeckia hirta</i>	Black-Eyed Susan	20	1'-0" On Center
<i>Veronicastrum virginianum</i>	Culver's Root	20	1'-0" On Center
<i>Zizia aurea</i>	Golden Alexanders	20	1'-0" On Center
<b>TOTAL</b>		<b>400</b>	

**Stormwater Area #2 Plug Plant Mix 550 sq. ft.**

Botanical Name	Common Name	Quantity	Spacing
<b>Permanent Grasses:</b>			
<i>Carex graysi</i>	Common Bur Sedge	50	1'-0" On Center
<i>Carex stipata</i>	Common Fox Sedge	50	1'-0" On Center
<i>Panicum virgatum</i>	Switch Grass	50	1'-0" On Center
<i>Spartina pectinata</i>	Prairie Cord Grass	50	1'-0" On Center
<b>Forbs:</b>			
<i>Aster novae-angliae</i>	New England Aster	20	1'-0" On Center
<i>Asclepias incarnata</i>	Swamp Milkweed	20	1'-0" On Center
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	20	1'-0" On Center
<i>Eryngium yuccifolium</i>	Rattlesnake Master	20	1'-0" On Center
<i>Eupatorium maculatum</i>	Spotted Joe-Pye Weed	20	1'-0" On Center
<i>Liatris spicata</i>	Marsh Blazing Star	20	1'-0" On Center
<i>Lobelia cardinalis</i>	Cardinal Flower	20	1'-0" On Center
<i>Monarda fistulosa</i>	Wild Bergamot	30	1'-0" On Center
<i>Penstemon digitalis</i>	Foxglove Beardtongue	30	1'-0" On Center
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	30	1'-0" On Center
<i>Ratibida pinnata</i>	Yellow Coneflower	30	1'-0" On Center
<i>Rudbeckia hirta</i>	Black-Eyed Susan	30	1'-0" On Center
<i>Veronicastrum virginianum</i>	Culver's Root	30	1'-0" On Center
<i>Zizia aurea</i>	Golden Alexanders	30	1'-0" On Center
<b>TOTAL</b>		<b>550</b>	

**Stormwater Area #3 Plug Plant Mix 110 sq. ft.**

Botanical Name	Common Name	Quantity	Spacing
<b>Permanent Grasses:</b>			
<i>Carex graysi</i>	Common Bur Sedge	10	1'-0" On Center
<i>Carex stipata</i>	Common Fox Sedge	10	1'-0" On Center
<i>Panicum virgatum</i>	Switch Grass	10	1'-0" On Center
<i>Spartina pectinata</i>	Prairie Cord Grass	10	1'-0" On Center
<b>Forbs:</b>			
<i>Aster novae-angliae</i>	New England Aster	10	1'-0" On Center
<i>Asclepias incarnata</i>	Swamp Milkweed	10	1'-0" On Center
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	10	1'-0" On Center
<i>Eryngium yuccifolium</i>	Rattlesnake Master	10	1'-0" On Center
<i>Eupatorium maculatum</i>	Spotted Joe-Pye Weed	10	1'-0" On Center
<i>Liatris spicata</i>	Marsh Blazing Star	10	1'-0" On Center
<i>Lobelia cardinalis</i>	Cardinal Flower	10	1'-0" On Center
<b>TOTAL</b>		<b>110</b>	

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**WEST GATEWAY, INC.**  
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 MADISON, WI 53717

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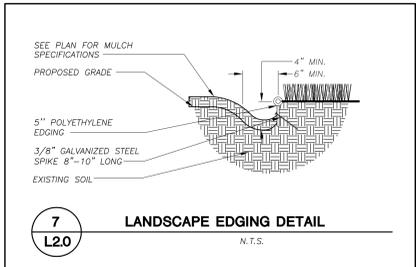
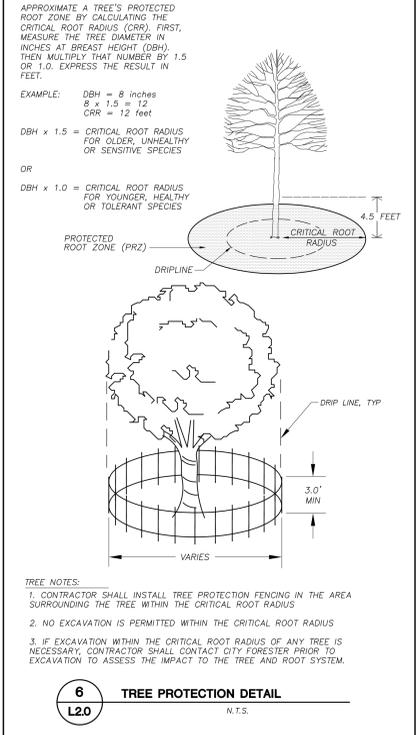
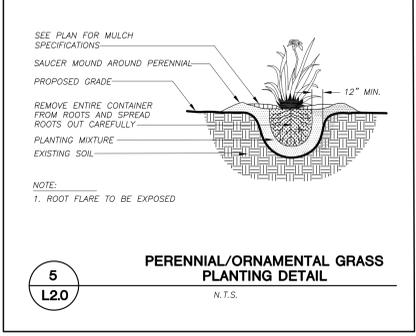
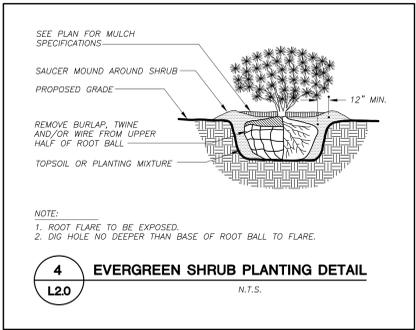
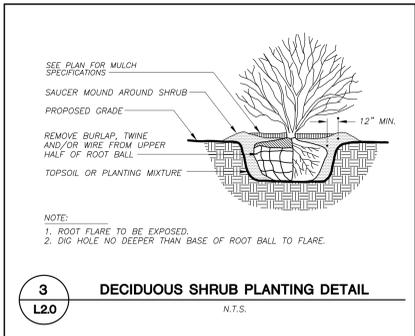
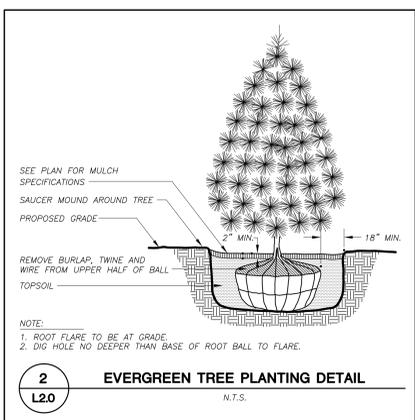
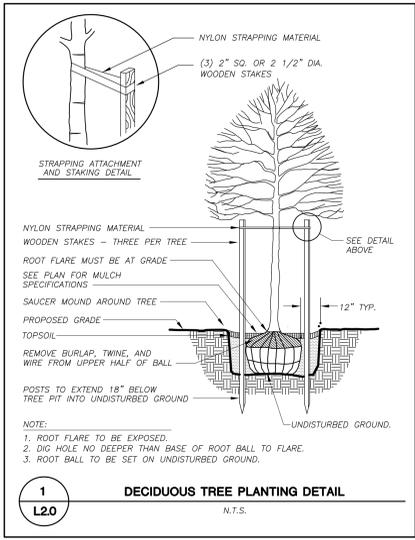
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PROJECT #: 20140490

**L-1.0**



POINT REQUIREMENT	PAVED AREA REQUIREMENT			
Zoning Main Street Mixed Use	26,944 Sq. Ft. of Pavement			
Calculation 1:	Greater of 80 Landscape Points per 20 Stalls or 80 Points per 10,000 Sq. Ft. of Paved Area			
Calculation 1 Formula:	(26,944 Sq. Ft. of Paved Area / 10,000 Sq. Ft.) x 80 Points = 215.5 OR (42 stalls / 20) x 80 points = 168			
Total Points Required:	216 Points			
Total Points Provided:	886 Points			
Code of Ordinances:	Min. 30% of Points to be Tall Trees, Min. 40% of Points to be Shrubs			
		<b>Total Points =</b>	<b>886</b>	

**LANDSCAPE NOTES AND SPECIFICATIONS**

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE VILLAGE OF CROSS PLAINS REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5344 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004). PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL: PLANTING SOIL SHALL MEET THESE REQUIREMENTS:
  - PLANTING AREAS = 24"
  - TREE PITS = SEE DETAILS
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 1/4" IN DIAMETER, AND PLANTING SOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- MATERIALS - STONE MULCH: LANDSCAPE PLANTING AREAS LABELED ON PLAN SHALL RECEIVE WASHED STONE MULCH SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. TREE PARKING ISLANDS SHALL RECEIVE STONE MULCH SPREAD TO A CONSISTENT DEPTH OF THREE INCHES. WASHED STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL STORMWATER AREAS SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. SHREDDED HARDWOOD BARK MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SOODED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5" DIAMETER WASHED STONE MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULATE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - WEED BARRIER FABRIC: ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS: SOD ALL AREAS SPECIFIED ON PLAN PER THESE NOTES: TURFGRASS SOD: CLASS OF TURFGRASS SOD SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF 80 INCH, PLUS OR MINUS 25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT IT CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITH A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 3 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- PLUG PLANTINGS TO BE INSTALLED 1'-0" ON CENTER MIXING SPECIES INTEGRALLY IN FLATS OF 20 AT A TIME. REFER TO WDNR TECHNICAL STANDARDS FOR ROOTSTOCK AND PLUG PLANTINGS FOR BIOTENTATION BASIS.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A30D. PRUNE TREES IN ACCORDANCE WITH N.A.S. GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDS AREAS AND SOODED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 60 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

**ESSER PLACE MIXED-USE**  
 1900 MAIN STREET  
 CROSS PLAINS, WI

**WEST GATEWAY, INC.**  
 901 DEMING WAY, SUITE 102  
 MADISON, WI 53717

ISSUE DATES:	
SIP DRAFT SUB:	07-05-16
CHECK SET:	07-21-16
SIP SUB:	07-25-16

RF/ISI DATE:

**Schematic Design Phase:**  
 This drawing indicates the scale and relationship of the project components. This drawing is not for construction.

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PROJECT #: 20140490

**L-2.0**



EXTERIOR LIGHTING SUBMITTAL

**Esser Place**

**20140490**

Date: July 25<sup>th</sup>, 2016

Reviewer: Matthew G. Schuenke  
Village Administrator/Clerk-Treasurer  
Village of Cross Plains  
PO Box 97, 2417 Brewery Road  
Cross Plains, WI 53528

Submitted By: Iconica, Inc.  
901 Deming Way  
Madison, Wisconsin 53717





# D-Series Size 2 LED Area Luminaire

d#series



Catalog Number

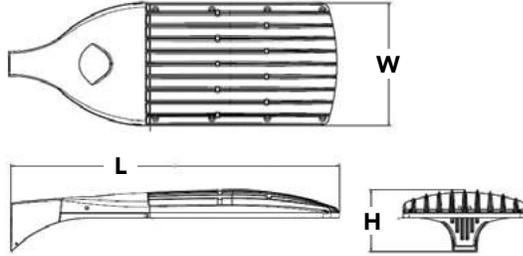
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

## Specifications

- EPA:** 1.1 ft<sup>2</sup> (0.10 m<sup>2</sup>)
- Length:** 40" (101.6 cm)
- Width:** 15" (38.1 cm)
- Height:** 7-1/4" (18.4 cm)
- Weight (max):** 36 lbs (16.3 kg)



## Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

## Ordering Information

**EXAMPLE: DSX2 LED 80C 1000 40K T4M MVOLT SPA DDBXD**

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting		
DSX2 LED	<b>Forward optics</b>	530 530 mA	30K 3000 K	T1S Type I Short	T5VS Type V Very Short	<b>MVOLT</b> <sup>5</sup>	<b>Shipped included</b>	
	80C 80 LEDs (four engine)	700 700 mA	40K 4000 K	T2S Type II Short	T5S Type V Short			<b>SPA</b> Square pole mounting
	1000 1000 mA (1 A) <sup>2</sup>	50K 5000 K	T2M Type II Medium	T5M Type V Medium	RPA Round pole mounting			
	<b>100C</b> 100 LEDs (four engines)	1200 1200 mA <sup>2</sup> (1.2 A)	AMBPC Amber phosphor converted <sup>3</sup>	T3S Type III Short	T5W Type V Wide			WBA Wall bracket
<b>Rotated optics</b> <sup>1</sup>			<b>T3M</b> Type III Medium	BLC Backlight control <sup>2,4</sup>	SPUMBA Square pole universal mounting adaptor <sup>7</sup>			
	90C 90 LEDs		T4M Type IV Medium	LCCO Left corner cutoff <sup>4</sup>	RPUMBA Round pole universal mounting adaptor <sup>7</sup>			
			TFTM Forward Throw Medium	RCCO Right corner cutoff <sup>4</sup>		<b>Shipped separately</b>		
						KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>8</sup>		

## Control options

### Shipped installed

- PER NEMA twist-lock receptacle only (no controls)<sup>9</sup>
- PER5 Five-wire receptacle only (no controls)<sup>9,10</sup>
- PER7 Seven-wire receptacle only (no controls)<sup>9,10</sup>
- DMG 0-10V dimming driver (no controls)<sup>11</sup>
- DCR Dimmable and controllable via ROAM<sup>®</sup> (no controls)<sup>12</sup>
- DS Dual switching<sup>13,14</sup>
- PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enable at 5fc<sup>15</sup>

- PIRH1FC3V Bi-level, motion sensor, 15'-30' mounting height, ambient sensor enabled at 1fc<sup>15</sup>
- BL30 Bi-level switched dimming, 30%<sup>14,16</sup>
- BL50 Bi-level switched dimming, 50%<sup>14,16</sup>
- PNMTDD3 Part night, dim till dawn<sup>17</sup>
- PNMT5D3 Part night, dim 5 hrs<sup>17</sup>
- PNMT6D3 Part night, dim 6 hrs<sup>17</sup>
- PNMT7D3 Part night, dim 7 hrs<sup>17</sup>
- FAO Field Adjustable Output<sup>18</sup>

## Other options

### Shipped installed

- HS** House-side shield<sup>19</sup>
- SF Single fuse (120, 277, 347V)<sup>5</sup>
- DF Double fuse (208, 240, 480V)<sup>5</sup>
- L90 Left rotated optics<sup>20</sup>
- R90 Right rotated optics<sup>20</sup>
- BS Bird spikes<sup>21</sup>

## Finish (required)

- DDBXD** Dark bronze
- DBLXD** Black
- DNAXD Natural aluminum
- DWHXD White
- DDBTXD Textured dark bronze
- DBLTXD Textured black
- DNATXD Textured natural aluminum
- DWHGXD Textured white

## Controls & Shields

- DLL127F 1.5 JU Photocell - SSL twist-lock (120-277V)<sup>22</sup>
- DLL347F 1.5 CUL JU Photocell - SSL twist-lock (347V)<sup>22</sup>
- DLL480F 1.5 CUL JU Photocell - SSL twist-lock (480V)<sup>22</sup>
- DSHORT SBK U Shorting cap<sup>22</sup>
- DSX2HS 80C U House-side shield for 80 LED unit<sup>19</sup>
- DSX2HS 90C U House-side shield for 90 LED unit<sup>19</sup>
- DSX2HS 100C U House-side shield for 100 LED unit<sup>19</sup>
- PUMBA DDBXD U\* Square and round pole universal mounting bracket (specify finish)<sup>23</sup>
- KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)<sup>8</sup>
- DSX2BS U Bird spikes

## Accessories

Ordered and shipped separately.

For more control options, visit [DTL](#) and [ROAM](#) online.

## NOTES

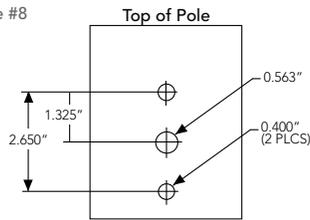
- Rotated optics option (L90 or R90) required for 90C.
- Not available in AMBPC.
- Only available with 530mA or 700mA.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Not available with BL30, BL50 or PNMT options.
- Existing drilled pole only. Available as a separate combination accessory; for retrofit use only: PUMBA (finish) U; 1.5 G vibration load rating per ANCI CT36.31.
- Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
- If ROAM<sup>®</sup> node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR. Node with integral dimming.
- DMG option for 347V or 480V requires 1000mA.
- Specifies a ROAM<sup>®</sup> enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM<sup>®</sup> deployment; must be purchased separately. Call 1-800-442-6745 or email: [sales@roomservices.net](mailto:sales@roomservices.net). N/A with DS, PIRH, PER5, PER7, BL30, BL50 or PNMT options. Node without integral dimming.

- Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with 80C 530, 90C 530, PER, PER5, PER7, DCR, BL30, BL50 or PNMT options.
- Requires an additional switched circuit.
- PIRH and PIRH1FC3V specify the [SensorSwitch SBGR-6-ODP](#) control; see [Outdoor Control Technical Guide](#) for details. Dimming driver standard. Not available with PER5 or PER7. Ambient sensor disabled when ordered with DCR. Separate on/off required.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7 or PNMT options. Not available with PIRH1FC3V.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7, BL30 or BL50. Not available with PIRH1FC3V. Separate on/off required.
- Dimming driver standard. Not available with PER5, PER7, DMG, DCR, DS, BL30, BL50 or PNMT options. PIRH or PIRH1FC3V.
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information. Separate on/off required.
- 90 LEDs (90C option) only.
- Also available as a separate accessory; see accessories information.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.
- For retrofit use only.



## Drilling

Template #8



DSX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

<b>DM19AS</b>	Single unit	<b>DM29AS</b>	2 at 90°*
<b>DM28AS</b>	2 at 180°	<b>DM39AS</b>	3 at 90°*
<b>DM49AS</b>	4 at 90°*	<b>DM32AS</b>	3 at 120°**

**Example:** SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's [POLES CENTRAL](#) to see our wide selection of poles, accessories and educational tools.

\*Round pole top must be 3.25" O.D. minimum.

\*\*For round pole mounting (RPA) only.

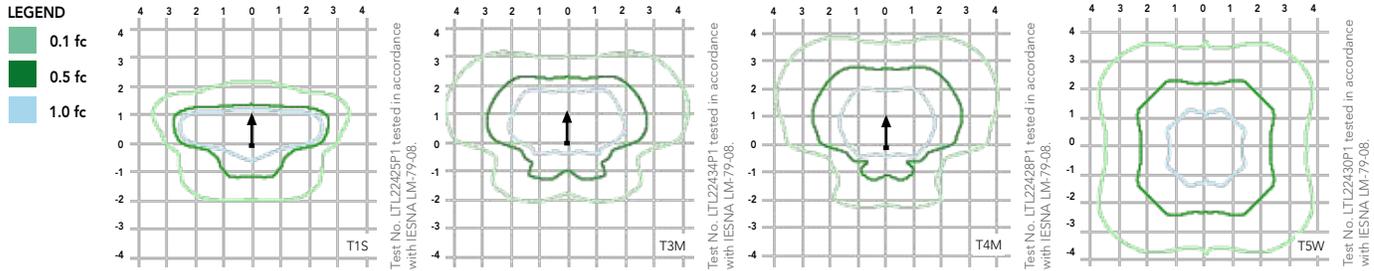
## Tenon Mounting Slipfitter\*\*

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 2 homepage](#).

Isofootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30').



## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.04
10°C / 50°F	1.02
20°C / 68°F	1.01
<b>25°C / 77°F</b>	<b>1.00</b>
30°C / 86°F	0.99
40°C / 104°F	0.97

### Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
80	530	137W	1.15	0.66	0.53	0.51	0.39	0.28
	700	188W	1.58	0.92	0.81	0.73	0.55	0.41
	1000	282W	2.37	1.35	1.18	1.04	0.83	0.61
100	530	175W	1.47	0.86	0.76	0.68	0.51	0.38
	<b>700</b>	<b>232W</b>	<b>1.95</b>	<b>1.13</b>	<b>0.99</b>	<b>0.88</b>	<b>0.67</b>	<b>0.49</b>
1000	360W	3.03	1.72	1.49	1.3	1.05	0.77	

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	DSX2 LED 80C 1200			
	1.0	0.98	0.95	0.90
	DSX2 LED 100C 1000			
	1.0	0.98	0.95	0.90
	DSX2 LED 100C 1200			
	1.0	0.97	0.94	0.88

# Performance Data

## Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics (continued)																							
LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
100C (100 LEDs)	530 mA	175 W	T1S	19,856	3	0	3	113	20,887	3	0	3	119	21,016	3	0	3	120	13,100	2	0	2	75
			T2S	20,473	3	0	3	117	21,537	3	0	3	123	21,670	3	0	3	124	12,859	2	0	2	73
			T2M	20,004	3	0	3	114	21,043	3	0	3	120	21,173	3	0	3	121	12,881	2	0	2	74
			T3S	19,979	3	0	3	114	21,017	3	0	3	120	21,147	3	0	3	121	12,853	2	0	2	73
			T3M	20,161	3	0	4	115	21,208	3	0	4	121	21,339	3	0	4	122	12,878	2	0	3	74
			T4M	20,435	3	0	4	117	21,496	3	0	4	123	21,629	3	0	4	124	12,851	2	0	2	73
			TFTM	20,129	3	0	3	115	21,175	3	0	4	121	21,306	3	0	4	122	13,088	2	0	2	75
			T5VS	21,264	4	0	1	122	22,369	4	0	1	128	22,507	4	0	1	129	13,592	3	0	1	78
			T5S	21,422	4	0	1	122	22,535	4	0	1	129	22,674	4	0	1	130	13,584	3	0	1	78
			T5M	21,459	5	0	3	123	22,574	5	0	3	129	22,713	5	0	3	130	13,520	3	0	2	77
			T5W	21,143	5	0	3	121	22,242	5	0	3	127	22,379	5	0	3	128	13,350	4	0	2	76
			BLC	19,032	2	0	3	109	20,438	2	0	3	117	20,565	2	0	3	118					
			LCCO	18,490	2	0	3	106	19,856	3	0	3	113	19,980	3	0	3	114					
			RCCO	18,490	2	0	3	106	19,856	3	0	3	113	19,980	3	0	3	114					
			T1S	25,219	3	0	3	109	26,529	3	0	3	114	26,692	3	0	3	115	16,441	2	0	2	71
			T2S	26,002	3	0	3	112	27,353	3	0	3	118	27,522	3	0	3	119	16,138	2	0	2	70
			T2M	25,407	3	0	4	110	26,727	3	0	4	115	26,892	3	0	4	116	16,165	2	0	3	70
			T3S	25,375	3	0	3	109	26,693	3	0	4	115	26,858	3	0	4	116	16,130	2	0	2	70
			T3M	25,606	3	0	4	110	26,936	3	0	4	116	27,102	3	0	4	117	16,161	2	0	3	70
			T4M	25,954	3	0	4	112	27,302	3	0	4	118	27,471	3	0	4	118	16,127	2	0	3	70
	TFTM	25,566	3	0	4	110	26,897	3	0	4	116	27,060	3	0	4	117	16,425	2	0	2	71		
	T5VS	27,007	5	0	1	116	28,410	5	0	1	122	28,586	5	0	1	123	17,058	3	0	1	74		
	T5S	27,207	5	0	2	117	28,621	5	0	2	123	28,797	5	0	2	124	17,048	3	0	1	73		
	T5M	27,255	5	0	3	117	28,671	5	0	3	124	28,848	5	0	3	124	16,967	4	0	2	73		
	T5W	26,854	5	0	4	116	28,249	5	0	4	122	28,423	5	0	4	123	16,754	4	0	2	72		
	BLC	24,229	2	0	3	104	26,018	2	0	4	112	26,181	2	0	4	113							
	LCCO	23,539	3	0	4	101	25,277	3	0	4	109	25,435	3	0	4	110							
	RCCO	23,539	3	0	4	101	25,277	3	0	4	109	25,435	3	0	4	110							
	T1S	34,490	4	0	4	96	36,281	4	0	4	101	36,505	4	0	4	101	22,196	3	0	3	62		
	T2S	35,561	4	0	4	99	37,409	4	0	4	104	37,640	4	0	4	105	21,787	3	0	3	61		
	T2M	34,747	4	0	4	97	36,552	4	0	4	102	36,778	4	0	4	102	21,824	3	0	3	61		
	T3S	34,704	3	0	4	96	36,507	4	0	4	101	36,732	4	0	4	102	21,776	3	0	3	60		
	T3M	35,019	4	0	5	97	36,838	4	0	5	102	37,065	4	0	5	103	21,819	3	0	3	61		
	T4M	35,495	4	0	5	99	37,339	4	0	5	104	37,569	4	0	5	104	21,773	3	0	3	60		
	TFTM	34,964	3	0	5	97	36,781	3	0	5	102	37,008	3	0	5	103	22,175	3	0	3	62		
	T5VS	36,936	5	0	1	103	38,855	5	0	1	108	39,095	5	0	1	109	23,029	4	0	1	64		
	T5S	37,209	5	0	2	103	39,142	5	0	2	109	39,384	5	0	2	109	23,016	4	0	1	64		
	T5M	37,274	5	0	4	104	39,211	5	0	4	109	39,453	5	0	4	110	22,906	4	0	2	64		
	T5W	36,726	5	0	4	102	38,634	5	0	4	107	38,872	5	0	4	108	22,619	4	0	2	63		
	BLC	31,996	3	0	4	89	34,358	3	0	4	95	34,573	3	0	4	96							
	LCCO	31,085	3	0	4	86	33,380	3	0	4	93	33,588	3	0	4	93							
	RCCO	31,085	3	0	4	86	33,380	3	0	4	93	33,588	3	0	4	93							
	T1S	37,667	4	0	4	94	39,623	4	0	4	99	39,868	4	0	4	100							
	T2S	38,837	4	0	4	97	40,855	4	0	4	102	41,107	4	0	4	103							
	T2M	37,948	4	0	5	95	39,919	4	0	5	100	40,166	4	0	5	100							
	T3S	37,901	4	0	4	95	39,869	4	0	4	100	40,116	4	0	4	100							
	T3M	38,244	4	0	5	96	40,231	4	0	5	101	40,480	4	0	5	101							
	T4M	38,765	4	0	5	97	40,778	4	0	5	102	41,030	4	0	5	103							
	TFTM	38,185	3	0	5	95	40,169	4	0	5	100	40,417	4	0	5	101							
	T5VS	40,338	5	0	1	101	42,434	5	0	1	106	42,696	5	0	1	107							
	T5S	40,637	5	0	2	102	42,748	5	0	2	107	43,012	5	0	2	108							
	T5M	40,708	5	0	4	102	42,823	5	0	4	107	43,087	5	0	4	108							
	T5W	40,109	5	0	5	100	42,192	5	0	5	105	42,453	5	0	5	106							
	T1S	37,667	4	0	4	94	39,623	4	0	4	99	39,868	4	0	4	100							
	T2S	38,837	4	0	4	97	40,855	4	0	4	102	41,107	4	0	4	103							
	T2M	37,948	4	0	5	95	39,919	4	0	5	100	40,166	4	0	5	100							
	T3S	37,901	4	0	4	95	39,869	4	0	4	100	40,116	4	0	4	100							
	T3M	38,244	4	0	5	96	40,231	4	0	5	101	40,480	4	0	5	101							
	T4M	38,765	4	0	5	97	40,778	4	0	5	102	41,030	4	0	5	103							
	TFTM	38,185	3	0	5	95	40,169	4	0	5	100	40,417	4	0	5	101							
	T5VS	40,338	5	0	1	101	42,434	5	0	1	106	42,696	5	0	1	107							
	T5S	40,637	5	0	2	102	42,748	5	0	2	107	43,012	5	0	2	108							
	T5M	40,708	5	0	4	102	42,823	5	0	4	107	43,087	5	0	4	108							
	T5W	40,109	5	0	5	100	42,192	5	0	5	105	42,453	5	0	5	106							

### FEATURES & SPECIFICATIONS

#### INTENDED USE

The sleek design of the D-Series Area Size 2 reflects the embedded high performance LED technology. It is ideal for applications like car dealerships and large parking lots adjacent to malls, transit stations, grocery stores, home centers, and other big-box retailers.

#### CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.1 ft<sup>2</sup>) for optimized pole wind loading.

#### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

#### OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K, or 5000 K (70 CRI) configurations. The D-Series Size 2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

#### ELECTRICAL

Light engine configurations consist of 80, 90 or 100 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L90/100,000 hrs at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

#### INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 2 to withstand up to a 2.0 G vibration load rating per ANSI C136.31. The D-Series Size 2 utilizes the AERIS™ series pole drilling pattern (Template #8). NEMA photocontrol receptacle is available.

#### LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D670,857 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org](http://www.designlights.org) to confirm which versions are qualified.

#### WARRANTY

5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



# D-Series Size 2 LED Area Luminaire

d#series



Catalog Number

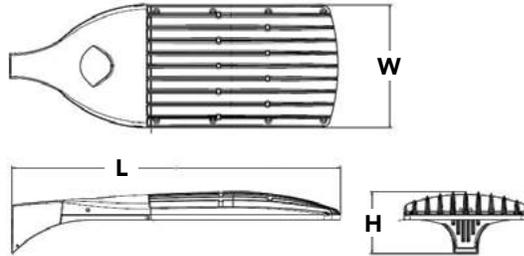
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Hit the Tab key or mouse over the page to see all interactive elements.

## Specifications

- EPA:** 1.1 ft<sup>2</sup> (0.10 m<sup>2</sup>)
- Length:** 40" (101.6 cm)
- Width:** 15" (38.1 cm)
- Height:** 7-1/4" (18.4 cm)
- Weight (max):** 36 lbs (16.3 kg)



## Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

## Ordering Information

**EXAMPLE: DSX2 LED 80C 1000 40K T4M MVOLT SPA DDBXD**

DSX2 LED		Drive current		Color temperature		Distribution				Voltage		Mounting	
<b>DSX2 LED</b>	<b>Forward optics</b>	530	530 mA	30K	3000 K	T1S	Type I Short	T5VS	Type V Very Short	<b>MVOLT<sup>5</sup></b>	<b>Shipped included</b>		
	80C 80 LEDs (four engine)	<b>700</b>	<b>700 mA</b>	<b>40K</b>	<b>4000 K</b>	T2S	Type II Short	T5S	Type V Short	120 <sup>5</sup>	<b>SPA</b>	<b>Square pole mounting</b>	
		1000	1000 mA (1 A) <sup>2</sup>	50K	5000 K	T2M	Type II Medium	T5M	Type V Medium	208 <sup>5</sup>	RPA	Round pole mounting	
	<b>100C</b> 100 LEDs (four engines)	1200	1200 mA <sup>2</sup> (1.2 A)	AMBPC	Amber phosphor converted <sup>3</sup>	T3S	Type III Short	T5W	Type V Wide	240 <sup>5</sup>	WBA	Wall bracket	
	<b>Rotated optics<sup>1</sup></b>					T3M	Type III Medium	BLC	Backlight control <sup>2,4</sup>	277 <sup>5</sup>	SPUMBA	Square pole universal mounting adaptor <sup>7</sup>	
	90C 90 LEDs					<b>T4M</b>	Type IV Medium	LCCO	Left corner cutoff <sup>2,4</sup>	347 <sup>6</sup>	RPUMBA	Round pole universal mounting adaptor <sup>7</sup>	
						<b>TFTM</b>	Forward Throw Medium	RCCO	Right corner cutoff <sup>2,4</sup>	480 <sup>6</sup>	<b>Shipped separately</b>		
											KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) <sup>8</sup>	

## Control options

### Shipped installed

- PER NEMA twist-lock receptacle only (no controls)<sup>9</sup>
- PER5 Five-wire receptacle only (no controls)<sup>9,10</sup>
- PER7 Seven-wire receptacle only (no controls)<sup>9,10</sup>
- DMG 0-10V dimming driver (no controls)<sup>11</sup>
- DCR Dimmable and controllable via ROAM<sup>®</sup> (no controls)<sup>12</sup>
- DS Dual switching<sup>13,14</sup>
- PIRH Bi-level, motion/ambient sensor, 15'-30' mounting height, ambient sensor enable at 5fc<sup>15</sup>

- PIRH1FC3V Bi-level, motion sensor, 15'-30' mounting height, ambient sensor enabled at 1fc<sup>15</sup>
- BL30 Bi-level switched dimming, 30%<sup>14,16</sup>
- BL50 Bi-level switched dimming, 50%<sup>14,16</sup>
- PNMTDD3 Part night, dim till dawn<sup>17</sup>
- PNMT5D3 Part night, dim 5 hrs<sup>17</sup>
- PNMT6D3 Part night, dim 6 hrs<sup>17</sup>
- PNMT7D3 Part night, dim 7 hrs<sup>17</sup>
- FAO Field Adjustable Output<sup>18</sup>

## Other options

### Shipped installed

- HS** House-side shield<sup>19</sup>
- SF Single fuse (120, 277, 347V)<sup>5</sup>
- DF Double fuse (208, 240, 480V)<sup>5</sup>
- L90 Left rotated optics<sup>20</sup>
- R90 Right rotated optics<sup>20</sup>
- BS Bird spikes<sup>21</sup>

## Finish (required)

- DDBXD Dark bronze
- DBLXD** Black
- DNAXD Natural aluminum
- DWHXD White
- DDBTXD Textured dark bronze
- DBLTXD Textured black
- DNATXD Textured natural aluminum
- DWHGXD Textured white

## Controls & Shields

- DLL127F 1.5 JU Photocell - SSL twist-lock (120-277V)<sup>22</sup>
- DLL347F 1.5 CUL JU Photocell - SSL twist-lock (347V)<sup>22</sup>
- DLL480F 1.5 CUL JU Photocell - SSL twist-lock (480V)<sup>22</sup>
- DSHORT SBK U Shorting cap<sup>22</sup>
- DSX2HS 80C U House-side shield for 80 LED unit<sup>19</sup>
- DSX2HS 90C U House-side shield for 90 LED unit<sup>19</sup>
- DSX2HS 100C U House-side shield for 100 LED unit<sup>19</sup>
- PUMBA DDBXD U\* Square and round pole universal mounting bracket (specify finish)<sup>23</sup>
- KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)<sup>8</sup>
- DSX2BS U Bird spikes

**Accessories**  
Ordered and shipped separately.

For more control options, visit [DTL](#) and [ROAM](#) online.

## NOTES

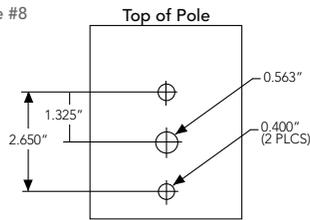
- Rotated optics option (L90 or R90) required for 90C.
- Not available in AMBPC.
- Only available with 530mA or 700mA.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Not available with BL30, BL50 or PNMT options.
- Existing drilled pole only. Available as a separate combination accessory; for retrofit use only: PUMBA (finish) U; 1.5 G vibration load rating per ANCI CT36.31.
- Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
- If ROAM<sup>®</sup> node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR. Node with integral dimming.
- DMG option for 347V or 480V requires 1000mA.
- Specifies a ROAM<sup>®</sup> enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM<sup>®</sup> deployment; must be purchased separately. Call 1-800-442-6745 or email: [sales@roomservices.net](mailto:sales@roomservices.net). N/A with DS, PIRH, PER5, PER7, BL30, BL50 or PNMT options. Node without integral dimming.

- Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with 80C 530, 90C 530, PER, PER5, PER7, DCR, BL30, BL50 or PNMT options.
- Requires an additional switched circuit.
- PIRH and PIRH1FC3V specify the [SensorSwitch SBGR-6-ODP](#) control; see [Outdoor Control Technical Guide](#) for details. Dimming driver standard. Not available with PER5 or PER7. Ambient sensor disabled when ordered with DCR. Separate on/off required.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7 or PNMT options. Not available with PIRH1FC3V.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7, BL30 or BL50. Not available with PIRH1FC3V. Separate on/off required.
- Dimming driver standard. Not available with PER5, PER7, DMG, DCR, DS, BL30, BL50 or PNMT options. PIRH or PIRH1FC3V.
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information. Separate on/off required.
- 90 LEDs (90C option) only.
- Also available as a separate accessory; see accessories information.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.
- For retrofit use only.



## Drilling

Template #8



DSX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

<b>DM19AS</b>	Single unit	<b>DM29AS</b>	2 at 90°*
<b>DM28AS</b>	2 at 180°	<b>DM39AS</b>	3 at 90°*
<b>DM49AS</b>	4 at 90°*	<b>DM32AS</b>	3 at 120°**

**Example:** SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's [POLES CENTRAL](#) to see our wide selection of poles, accessories and educational tools.

\*Round pole top must be 3.25" O.D. minimum.

\*\*For round pole mounting (RPA) only.

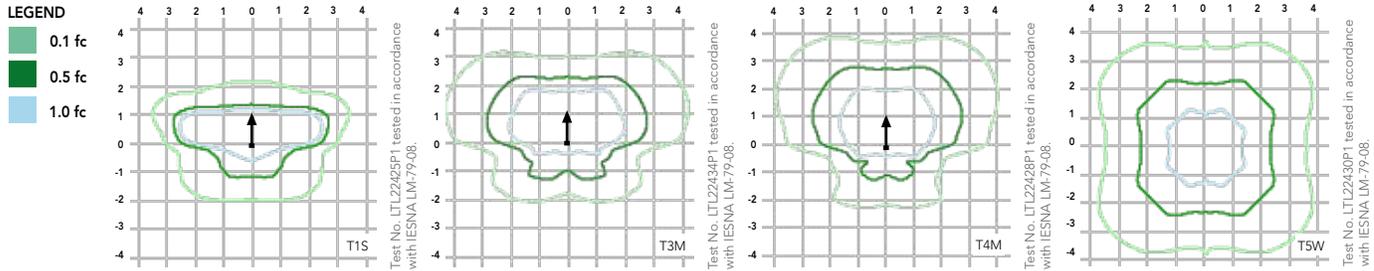
## Tenon Mounting Slipfitter\*\*

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 2 homepage](#).

Isofootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30').



## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.04
10°C / 50°F	1.02
20°C / 68°F	1.01
<b>25°C / 77°F</b>	<b>1.00</b>
30°C / 86°F	0.99
40°C / 104°F	0.97

### Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
80	530	137W	1.15	0.66	0.53	0.51	0.39	0.28
	700	188W	1.58	0.92	0.81	0.73	0.55	0.41
	1000	282W	2.37	1.35	1.18	1.04	0.83	0.61
100	530	175W	1.47	0.86	0.76	0.68	0.51	0.38
	<b>700</b>	<b>232W</b>	<b>1.95</b>	<b>1.13</b>	<b>0.99</b>	<b>0.88</b>	<b>0.67</b>	<b>0.49</b>
1000	360W	3.03	1.72	1.49	1.3	1.05	0.77	

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	DSX2 LED 80C 1200			
	1.0	0.98	0.95	0.90
	DSX2 LED 100C 1000			
	1.0	0.98	0.95	0.90
	DSX2 LED 100C 1200			
	1.0	0.97	0.94	0.88

# Performance Data

## Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics (continued)																							
LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
100C (100 LEDs)	530 mA	175 W	T1S	19,856	3	0	3	113	20,887	3	0	3	119	21,016	3	0	3	120	13,100	2	0	2	75
			T2S	20,473	3	0	3	117	21,537	3	0	3	123	21,670	3	0	3	124	12,859	2	0	2	73
			T2M	20,004	3	0	3	114	21,043	3	0	3	120	21,173	3	0	3	121	12,881	2	0	2	74
			T3S	19,979	3	0	3	114	21,017	3	0	3	120	21,147	3	0	3	121	12,853	2	0	2	73
			T3M	20,161	3	0	4	115	21,208	3	0	4	121	21,339	3	0	4	122	12,878	2	0	3	74
			T4M	20,435	3	0	4	117	21,496	3	0	4	123	21,629	3	0	4	124	12,851	2	0	2	73
			TFTM	20,129	3	0	3	115	21,175	3	0	4	121	21,306	3	0	4	122	13,088	2	0	2	75
			T5VS	21,264	4	0	1	122	22,369	4	0	1	128	22,507	4	0	1	129	13,592	3	0	1	78
			T5S	21,422	4	0	1	122	22,535	4	0	1	129	22,674	4	0	1	130	13,584	3	0	1	78
			T5M	21,459	5	0	3	123	22,574	5	0	3	129	22,713	5	0	3	130	13,520	3	0	2	77
			T5W	21,143	5	0	3	121	22,242	5	0	3	127	22,379	5	0	3	128	13,350	4	0	2	76
			BLC	19,032	2	0	3	109	20,438	2	0	3	117	20,565	2	0	3	118					
			LCCO	18,490	2	0	3	106	19,856	3	0	3	113	19,980	3	0	3	114					
			RCCO	18,490	2	0	3	106	19,856	3	0	3	113	19,980	3	0	3	114					
			T1S	25,219	3	0	3	109	26,529	3	0	3	114	26,692	3	0	3	115	16,441	2	0	2	71
	T2S	26,002	3	0	3	112	27,353	3	0	3	118	27,522	3	0	3	119	16,138	2	0	2	70		
	T2M	25,407	3	0	4	110	26,727	3	0	4	115	26,892	3	0	4	116	16,165	2	0	3	70		
	T3S	25,375	3	0	3	109	26,693	3	0	4	115	26,858	3	0	4	116	16,130	2	0	2	70		
	T3M	25,606	3	0	4	110	26,936	3	0	4	116	27,102	3	0	4	117	16,161	2	0	3	70		
	T4M	25,954	3	0	4	112	27,302	3	0	4	118	27,471	3	0	4	118	16,127	2	0	3	70		
	TFTM	25,566	3	0	4	110	26,897	3	0	4	116	27,060	3	0	4	117	16,425	2	0	2	71		
	T5VS	27,007	5	0	1	116	28,410	5	0	1	122	28,586	5	0	1	123	17,058	3	0	1	74		
	T5S	27,207	5	0	2	117	28,621	5	0	2	123	28,797	5	0	2	124	17,048	3	0	1	73		
	T5M	27,255	5	0	3	117	28,671	5	0	3	124	28,848	5	0	3	124	16,967	4	0	2	73		
	T5W	26,854	5	0	4	116	28,249	5	0	4	122	28,423	5	0	4	123	16,754	4	0	2	72		
	BLC	24,229	2	0	3	104	26,018	2	0	4	112	26,181	2	0	4	113							
	LCCO	23,539	3	0	4	101	25,277	3	0	4	109	25,435	3	0	4	110							
	RCCO	23,539	3	0	4	101	25,277	3	0	4	109	25,435	3	0	4	110							
	T1S	34,490	4	0	4	96	36,281	4	0	4	101	36,505	4	0	4	101	22,196	3	0	3	62		
	T2S	35,561	4	0	4	99	37,409	4	0	4	104	37,640	4	0	4	105	21,787	3	0	3	61		
T2M	34,747	4	0	4	97	36,552	4	0	4	102	36,778	4	0	4	102	21,824	3	0	3	61			
T3S	34,704	3	0	4	96	36,507	4	0	4	101	36,732	4	0	4	102	21,776	3	0	3	60			
T3M	35,019	4	0	5	97	36,838	4	0	5	102	37,065	4	0	5	103	21,819	3	0	3	61			
T4M	35,495	4	0	5	99	37,339	4	0	5	104	37,569	4	0	5	104	21,773	3	0	3	60			
TFTM	34,964	3	0	5	97	36,781	3	0	5	102	37,008	3	0	5	103	22,175	3	0	3	62			
T5VS	36,936	5	0	1	103	38,855	5	0	1	108	39,095	5	0	1	109	23,029	4	0	1	64			
T5S	37,209	5	0	2	103	39,142	5	0	2	109	39,384	5	0	2	109	23,016	4	0	1	64			
T5M	37,274	5	0	4	104	39,211	5	0	4	109	39,453	5	0	4	110	22,906	4	0	2	64			
T5W	36,726	5	0	4	102	38,634	5	0	4	107	38,872	5	0	4	108	22,619	4	0	2	63			
BLC	31,996	3	0	4	89	34,358	3	0	4	95	34,573	3	0	4	96								
LCCO	31,085	3	0	4	86	33,380	3	0	4	93	33,588	3	0	4	93								
RCCO	31,085	3	0	4	86	33,380	3	0	4	93	33,588	3	0	4	93								
T1S	37,667	4	0	4	94	39,623	4	0	4	99	39,868	4	0	4	100								
T2S	38,837	4	0	4	97	40,855	4	0	4	102	41,107	4	0	4	103								
T2M	37,948	4	0	5	95	39,919	4	0	5	100	40,166	4	0	5	100								
T3S	37,901	4	0	4	95	39,869	4	0	4	100	40,116	4	0	4	100								
T3M	38,244	4	0	5	96	40,231	4	0	5	101	40,480	4	0	5	101								
T4M	38,765	4	0	5	97	40,778	4	0	5	102	41,030	4	0	5	103								
TFTM	38,185	3	0	5	95	40,169	4	0	5	100	40,417	4	0	5	101								
T5VS	40,338	5	0	1	101	42,434	5	0	1	106	42,696	5	0	1	107								
T5S	40,637	5	0	2	102	42,748	5	0	2	107	43,012	5	0	2	108								
T5M	40,708	5	0	4	102	42,823	5	0	4	107	43,087	5	0	4	108								
T5W	40,109	5	0	5	100	42,192	5	0	5	105	42,453	5	0	5	106								

### FEATURES & SPECIFICATIONS

#### INTENDED USE

The sleek design of the D-Series Area Size 2 reflects the embedded high performance LED technology. It is ideal for applications like car dealerships and large parking lots adjacent to malls, transit stations, grocery stores, home centers, and other big-box retailers.

#### CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.1 ft<sup>2</sup>) for optimized pole wind loading.

#### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

#### OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K, or 5000 K (70 CRI) configurations. The D-Series Size 2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

#### ELECTRICAL

Light engine configurations consist of 80, 90 or 100 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L90/100,000 hrs at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

#### INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 2 to withstand up to a 2.0 G vibration load rating per ANSI C136.31. The D-Series Size 2 utilizes the AERIS™ series pole drilling pattern (Template #8). NEMA photocontrol receptacle is available.

#### LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D670,857 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org](http://www.designlights.org) to confirm which versions are qualified.

#### WARRANTY

5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Catalog Number	<b>A&amp;B POLES</b>
Notes	
Type	

## FEATURES & SPECIFICATIONS

**INTENDED USE** — Square straight aluminum general purpose pole for up to 35 foot mounting heights.

**CONSTRUCTION** — Shaft: Made from extruded 6063-T6 or 6061-T6 aluminum alloy, square tube is uniform in cross-section down length of shaft with no taper.

**Hand hole:** Reinforced rectangular hand hole is located 18" above base, 4" poles have 2" x 4" hand hole; 5" and 6" poles have 2.5" x 4" hand hole). Hand-hole cover plate made from aluminum alloy.

**Hardware:** Stainless steel

**Top cap:** Removable top cap provided with drill-mount poles.

**Bolt covers:** Nut cover discs provided. Optional cast aluminum base cover available.

**FINISH** — Must specify finish.

**GROUNDING** — Provision located inside hand hole rim. Grounding hardware is not included (provided by others).

**ANCHOR BOLTS** — Fabricated from carbon steel bar with minimum-yield strength of 55,000 psi. Upper portion of anchor bolt is galvanized per ASTM A-153. Each anchor bolt is furnished with two hex nuts and two flat washers.

Actual performance may differ as a result of end-user environment and application.

Note: Specifications subject to change without notice.

Anchor Base Poles

# SSA

SQUARE STRAIGHT ALUMINUM



Example: SSA 20 4C DM19 BA

### ORDERING INFORMATION

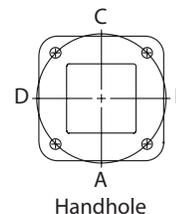
Lead times will vary depending on options selected. Consult with your sales representative.

SSA Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness	Mounting <sup>1</sup>	Options	Finish <sup>10</sup>
<b>SSA</b>	8 – 35 feet (See back page.) <b>15</b>	(See back page.) <b>4C</b>	<b>Tenon mounting</b> PT Open top T20 2-3/8" O.D. (2" NPS) T25 2-7/8" O.D. (2-1/2" NPS) T30 3-1/2" O.D. (3" NPS) <sup>2</sup> T35 4" O.D. (3-1/2" NPS) <sup>2</sup> <b>Drill mounting<sup>3</sup></b> DM19 1 at 90° DM28 2 at 180° DM28PL 2 at 180° with one side plugged DM29 2 at 90° DM39 3 at 90° DM49 4 at 90° <b>CSX/DSX/AERIS™/OMERO™ Drill mounting<sup>3</sup></b> <b>DM19AS 1 at 90°</b> DM28AS 2 at 180° DM29AS 2 at 90° DM39AS 3 at 90° DM49AS 4 at 90° <b>AERIS™ Suspend drill mounting<sup>3,4</sup></b> DMxxAST_ <b>OMERO™ Suspend drill mounting<sup>3,4</sup></b> DMxxMRT_	<b>Shipped installed</b> I/AB Less anchor bolts <b>FBC Full base cover</b> VD Vibration damper TP Tamper proof H1-18Axx Horizontal arm bracket (1 fixture) <sup>5,6</sup> FDLxx Festoon outlet less electrical <sup>5</sup> CPL12xx 1/2" coupling <sup>5</sup> CPL34xx 3/4" coupling <sup>5</sup> CPL1xx 1" coupling <sup>5</sup> NPL12xx 1/2" threaded nipple <sup>5</sup> NPL34xx 3/4" threaded nipple <sup>5</sup> NPL1xx 1" threaded nipple <sup>5</sup> EHHxx Extra handhole <sup>5,7</sup> MAEX Match existing <sup>8</sup> USPOM United States point of manufacture <sup>9</sup>	<b>Standard colors</b> DDB Dark bronze DWH White <b>DBL Black</b> DMB Medium bronze DNA Natural aluminum BA Brushed aluminum <b>Classic colors</b> DSS Sandstone DGC Charcoal gray DTG Tennis green DBR Bright red DSB Steel blue <b>Class 1 architectural anodized</b> ABL Black ADB Dark bronze ANA Natural <b>Architectural colors (powder finish)<sup>10</sup></b>

### NOTES

- When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20. The combination includes a required extra handhole.
- 3-1/2" and 4" tenons available on 5" and 6" shafts only.
- The drilling template to be used for a particular luminaire depends on the luminaire that is used. Refer to the Technical Data Section of the Outdoor Binder for Drilling Templates.
- Insert "1" or "2" to designate fixture size; e.g. DM19AST2.
- Specify location and orientation when ordering option. For 1st "x": Specify the height in feet above base of pole. Example: 5ft = 5 and 20ft = 20
- For 2nd "x": Specify orientation from handhole (A, B, C, D) Refer to the Handhole Orientation diagram on this page.
- Horizontal arm is 18" x 2-3/8" O.D. tenon standard.
- Combination of tenon-top and drill mount includes extra handhole.
- Must add original order number
- Use when mill certifications are required.
- Finish must be specified. Additional colors available; see [www.lithonia.com/archcolors](http://www.lithonia.com/archcolors) or Architectural Colors brochure (Form No. 794.3).

### HANDHOLE ORIENTATION



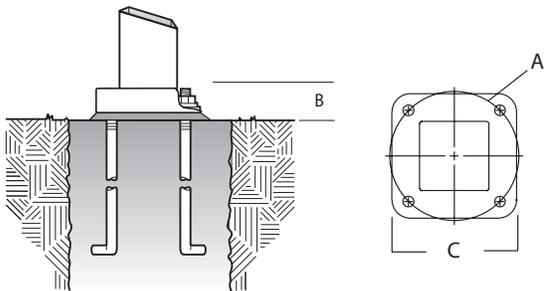
### IMPORTANT INSTALLATION NOTES:

- Do not erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use factory template.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.

# SSA Square Straight Aluminum Poles

## TECHNICAL INFORMATION

Catalog Number	Nominal mount ht. (ft)	Pole Shaft Size (in x ft)	Wall Thick (in)	EPA (ft2) with 1.3 gust								Bolt Circle (in)	Bolt Size (in. x in. x in.)	Approx. ship (lbs.)
				80 mph	Max. (lbs.)	90 mph	Max. (lbs.)	100 mph	Max. (lbs.)	110 mph	Max. (lbs.)			
SSA 8 4C	8	4.0 x 8.0	0.125	18.2	350	14.0	350	10.9	350	8.7	350	8.5-9.625	3/4 x 18 x 3	32
SSA 10 4C	10	4.0 x 10.0	0.125	13.9	260	10.5	260	8.0	260	6.2	260	8.5-9.625	3/4 x 18 x 3	37
SSA 12 4C	12	4.0 x 12.0	0.125	10.6	260	7.7	260	5.7	260	4.2	260	8.5-9.625	3/4 x 18 x 3	40
SSA 14 4C	14	4.0 x 14.0	0.125	8.3	200	5.8	200	4.1	200	2.8	200	8.5-9.625	3/4 x 18 x 3	50
SSA 15 4C	15	4.0 x 15.0	0.125	5.7	200	3.8	200	2.6	200	1.6	200	8.5-9.625	3/4 x 18 x 3	52
SSA 16 4C	16	4.0 x 16.0	0.125	4.8	200	3.1	200	1.9	200	1.0	200	8.5-9.625	3/4 x 18 x 3	54
SSA 16 4G	16	4.0 x 16.0	0.188	8.6	200	6.1	200	4.3	200	3.0	200	8.5-9.625	3/4 x 30 x 3	74
SSA 16 5G	16	5.0 x 16.0	0.188	15.8	260	11.5	260	8.5	260	6.3	200	10.5-11.5	3/4 x 30 x 3	83
SSA 18 4C	18	4.0 x 18.0	0.125	3.6	100	2.1	100	-	100	-	100	8.5-9.625	3/4 x 18 x 3	57
SSA 18 4G	18	4.0 x 18.0	0.188	6.8	150	4.6	150	3.0	150	1.8	150	8.5-9.625	3/4 x 30 x 3	80
SSA 18 5G	18	5.0 x 18.0	0.188	12.7	260	9.0	260	6.4	260	4.4	260	10.5-11.5	3/4 x 30 x 3	91
SSA 20 4C	20	4.0 x 20.0	0.125	2.1	150	-	150	-	150	-	150	8.5-9.625	3/4 x 18 x 3	62
SSA 20 4G	20	4.0 x 20.0	0.188	5.2	150	3.1	150	1.7	150	-	150	8.5-9.625	3/4 x 30 x 3	85
SSA 20 5G	20	5.0 x 20.0	0.188	10.5	150	7.1	150	4.7	150	2.9	150	10.5-11.5	3/4 x 30 x 3	107
SSA 20 6G	20	6.0 x 20.0	0.188	17.4	150	12.3	150	8.7	150	6.0	150	12-13	1 x 36 x 4	155
SSA 20 6J	20	6.0 x 20.0	0.25	24.3	260	17.8	260	13.2	260	9.7	260	12-13	1 x 36 x 4	202
SSA 25 5G	25	5.0 x 25.0	0.188	5.6	100	3.0	100	1.0	100	-	100	10.5-11.5	3/4 x 30 x 3	130
SSA 25 6G	25	6.0 x 25.0	0.188	10.1	260	6.1	260	3.3	260	1.3	260	12-13	1 x 36 x 4	180
SSA 25 6J	25	6.0 x 25.0	0.25	15.8	260	10.7	260	7.0	260	4.3	260	12-13	1 x 36 x 4	224
SSA 30 6G	30	6.0 x 30.0	0.188	4.1	260	1.1	260	-	260	-	260	12-13	1 x 36 x 4	210
SSA 30 6J	30	6.0 x 30.0	0.25	8.6	260	4.8	260	2.0	260	-	260	12-13	1 x 36 x 4	258
SSA 32 6J	32	6.0 x 32.0	0.25	6.9	150	3.2	150	-	150	-	150	12-13	1 x 36 x 4	272
SSA 35 6J	35	6.0 x 35.0	0.25	4.2	100	-	100	-	100	-	100	12-13	1 x 36 x 4	294
SSA 35 7J	35	6.75 x 35.0	0.25	7.3	150	3.0	150	-	150	-	150	14.625	1 x 36 x 4	290



**IMPORTANT:**  
These specifications are intended for general purposes only. Lithonia reserves the right to change material or design, without prior notice, in a continuing effort to upgrade its products.

POLE DATA					
Shaft base size	Bolt circle A	Bolt projection B	Base square C	Template description	Anchor bolt description
4"C	8.5" - 9.625"	3.125"	9.938"	ABTEMPLATE PJ50045	AB18-0
4"G	8.5" - 9.625"	3.125"	9.938"	ABTEMPLATE PJ50045	AB30-0
5"	10.5" - 11.5"	3.25"	11.563"	ABTEMPLATE PJ50046	AB30-0
6"	12" - 13"	4"	12.25"	ABTEMPLATE PJ50044	AB36-0
7"	14.625"	4.125"	15"	ABTEMPLATE PJ50130	AB36-0



# D-Series Size 2 LED Area Luminaire

d#series



Catalog Number

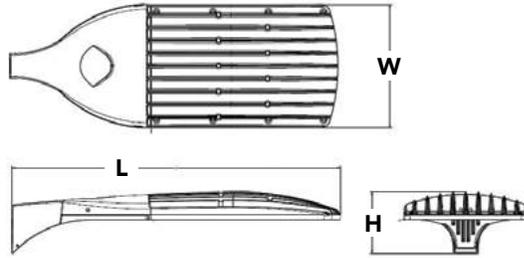
Notes

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Hit the Tab key or mouse over the page to see all interactive elements.

## Specifications

- EPA:** 1.1 ft<sup>2</sup>  
(0.10 m<sup>2</sup>)
- Length:** 40"  
(101.6 cm)
- Width:** 15"  
(38.1 cm)
- Height:** 7-1/4"  
(18.4 cm)
- Weight (max):** 36 lbs  
(16.3 kg)



## Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

## Ordering Information

**EXAMPLE: DSX2 LED 80C 1000 40K T4M MVOLT SPA DDBXD**

DSX2 LED		Drive current		Color temperature		Distribution				Voltage		Mounting		
Series	LEDs													
DSX2 LED	<b>Forward optics</b>	80C	80 LEDs (four engine)	530	530 mA	30K	3000 K	T1S	Type I Short	T5VS	Type V Very Short	MVOLT <sup>5</sup>	<b>Shipped included</b>	
		700	700 mA	40K	4000 K	T2S	Type II Short	T5S	Type V Short	120 <sup>5</sup>	SPA		Square pole mounting	
	<b>100C</b>	100 LEDs (four engines)	1000	1000 mA (1 A) <sup>2</sup>	50K	5000 K	T2M	Type II Medium	T5M	Type V Medium	208 <sup>5</sup>	RPA	Round pole mounting	
			1200	1200 mA (1.2 A)	AMBPC	Amber phosphor converted <sup>3</sup>	T3S	Type III Short	T5W	Type V Wide	240 <sup>5</sup>	<b>WBA</b>	<b>Wall bracket</b>	
<b>Rotated optics<sup>1</sup></b>		90C	90 LEDs			T3M	Type III Medium	BLC	Backlight control <sup>2,4</sup>	277 <sup>5</sup>	SPUMBA	Square pole universal mounting adaptor <sup>7</sup>		
						T4M	Type IV Medium	LCCO	Left corner cutoff <sup>2,4</sup>	347 <sup>6</sup>	RPUMBA	Round pole universal mounting adaptor <sup>7</sup>		
						<b>TFTM</b>	<b>Forward Throw Medium</b>	RCCO	Right corner cutoff <sup>2,4</sup>	480 <sup>6</sup>	<b>Shipped separately</b>			
											KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) <sup>8</sup>		

## Control options

### Shipped installed

- PER NEMA twist-lock receptacle only (no controls)<sup>9</sup>
- PER5 Five-wire receptacle only (no controls)<sup>9,10</sup>
- PER7 Seven-wire receptacle only (no controls)<sup>9,10</sup>
- DMG 0-10V dimming driver (no controls)<sup>11</sup>
- DCR Dimmable and controllable via ROAM<sup>®</sup> (no controls)<sup>12</sup>
- DS Dual switching<sup>13,14</sup>
- PIRH Bi-level, motion/ambient sensor, 15'-30' mounting height, ambient sensor enable at 5fc<sup>15</sup>

- PIRH1FC3V Bi-level, motion sensor, 15'-30' mounting height, ambient sensor enabled at 1fc<sup>15</sup>
- BL30 Bi-level switched dimming, 30%<sup>14,16</sup>
- BL50 Bi-level switched dimming, 50%<sup>14,16</sup>
- PNMTDD3 Part night, dim till dawn<sup>17</sup>
- PNMT5D3 Part night, dim 5 hrs<sup>17</sup>
- PNMT6D3 Part night, dim 6 hrs<sup>17</sup>
- PNMT7D3 Part night, dim 7 hrs<sup>17</sup>
- FAO Field Adjustable Output<sup>18</sup>

## Other options

### Shipped installed

- HS** House-side shield<sup>19</sup>
- SF Single fuse (120, 277, 347V)<sup>5</sup>
- DF Double fuse (208, 240, 480V)<sup>5</sup>
- L90 Left rotated optics<sup>20</sup>
- R90 Right rotated optics<sup>20</sup>
- BS Bird spikes<sup>21</sup>

## Finish (required)

- DDBXD Dark bronze
- DBLXD** Black
- DNAXD Natural aluminum
- DWHXD White
- DDBTXD Textured dark bronze
- DBLBXD Textured black
- DNATXD Textured natural aluminum
- DWHGXD Textured white

## Controls & Shields

Accessories	Ordered and shipped separately
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>22</sup>
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>22</sup>
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>22</sup>
DSHORT SBK U	Shorting cap <sup>22</sup>
DSX2HS 80C U	House-side shield for 80 LED unit <sup>19</sup>
DSX2HS 90C U	House-side shield for 90 LED unit <sup>19</sup>
DSX2HS 100C U	House-side shield for 100 LED unit <sup>19</sup>
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) <sup>23</sup>
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) <sup>8</sup>
DSX2BS U	Bird spikes

For more control options, visit [DTL](#) and [ROAM](#) online.

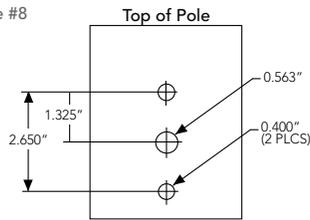
## NOTES

- 1 Rotated optics option (L90 or R90) required for 90C.
- 2 Not available in AMBPC.
- 3 Only available with 530mA or 700mA.
- 4 Not available with HS.
- 5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- 6 Not available with BL30, BL50 or PNMT options.
- 7 Existing drilled pole only. Available as a separate combination accessory; for retrofit use only: PUMBA (finish) U; 1.5 G vibration load rating per ANCI CT36.31.
- 8 Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- 9 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
- 10 If ROAM<sup>®</sup> node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR. Node with integral dimming.
- 11 DMG option for 347V or 480V requires 1000mA.
- 12 Specifies a ROAM<sup>®</sup> enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM<sup>®</sup> deployment; must be purchased separately. Call 1-800-442-6745 or email: [sales@roomservices.net](mailto:sales@roomservices.net). N/A with DS, PIRH, PER5, PER7, BL30, BL50 or PNMT options. Node without integral dimming.

- 13 Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with 80C 530, 90C 530, PER, PER5, PER7, DCR, BL30, BL50 or PNMT options.
- 14 Requires an additional switched circuit.
- 15 PIRH and PIRH1FC3V specify the [SensorSwitch SBGR-6-ODP](#) control; see [Outdoor Control Technical Guide](#) for details. Dimming driver standard. Not available with PER5 or PER7. Ambient sensor disabled when ordered with DCR. Separate on/off required.
- 16 Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7 or PNMT options. Not available with PIRH1FC3V.
- 17 Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7, BL30 or BL50. Not available with PIRH1FC3V. Separate on/off required.
- 18 Dimming driver standard. Not available with PER5, PER7, DMG, DCR, DS, BL30, BL50 or PNMT options. PIRH or PIRH1FC3V.
- 19 Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information. Separate on/off required.
- 20 90 LEDs (90C option) only.
- 21 Also available as a separate accessory; see accessories information.
- 22 Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.
- 23 For retrofit use only.

## Drilling

Template #8



DSX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

<b>DM19AS</b>	Single unit	<b>DM29AS</b>	2 at 90°*
<b>DM28AS</b>	2 at 180°	<b>DM39AS</b>	3 at 90°*
<b>DM49AS</b>	4 at 90°*	<b>DM32AS</b>	3 at 120°**

**Example:** SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's [POLES CENTRAL](#) to see our wide selection of poles, accessories and educational tools.

\*Round pole top must be 3.25" O.D. minimum.

\*\*For round pole mounting (RPA) only.

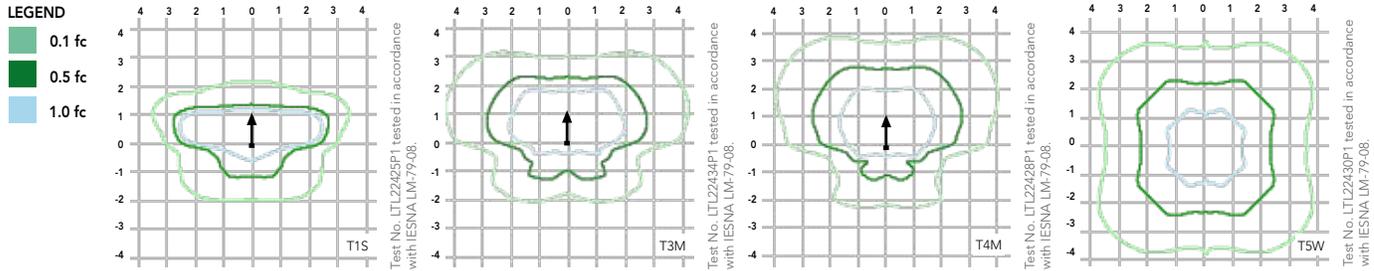
## Tenon Mounting Slipfitter\*\*

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 2 homepage](#).

Isofootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30').



## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.04
10°C / 50°F	1.02
20°C / 68°F	1.01
<b>25°C / 77°F</b>	<b>1.00</b>
30°C / 86°F	0.99
40°C / 104°F	0.97

### Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
80	530	137W	1.15	0.66	0.53	0.51	0.39	0.28
	700	188W	1.58	0.92	0.81	0.73	0.55	0.41
	1000	282W	2.37	1.35	1.18	1.04	0.83	0.61
100	530	175W	1.47	0.86	0.76	0.68	0.51	0.38
	<b>700</b>	<b>232W</b>	<b>1.95</b>	<b>1.13</b>	<b>0.99</b>	<b>0.88</b>	<b>0.67</b>	<b>0.49</b>
1000	360W	3.03	1.72	1.49	1.3	1.05	0.77	

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	DSX2 LED 80C 1200			
	1.0	0.98	0.95	0.90
	DSX2 LED 100C 1000			
	1.0	0.98	0.95	0.90
	DSX2 LED 100C 1200			
1.0	0.97	0.94	0.88	

# Performance Data

## Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics (continued)																							
LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
100C (100 LEDs)	530 mA	175 W	T1S	19,856	3	0	3	113	20,887	3	0	3	119	21,016	3	0	3	120	13,100	2	0	2	75
			T2S	20,473	3	0	3	117	21,537	3	0	3	123	21,670	3	0	3	124	12,859	2	0	2	73
			T2M	20,004	3	0	3	114	21,043	3	0	3	120	21,173	3	0	3	121	12,881	2	0	2	74
			T3S	19,979	3	0	3	114	21,017	3	0	3	120	21,147	3	0	3	121	12,853	2	0	2	73
			T3M	20,161	3	0	4	115	21,208	3	0	4	121	21,339	3	0	4	122	12,878	2	0	3	74
			T4M	20,435	3	0	4	117	21,496	3	0	4	123	21,629	3	0	4	124	12,851	2	0	2	73
			TFTM	20,129	3	0	3	115	21,175	3	0	4	121	21,306	3	0	4	122	13,088	2	0	2	75
			T5VS	21,264	4	0	1	122	22,369	4	0	1	128	22,507	4	0	1	129	13,592	3	0	1	78
			T5S	21,422	4	0	1	122	22,535	4	0	1	129	22,674	4	0	1	130	13,584	3	0	1	78
			T5M	21,459	5	0	3	123	22,574	5	0	3	129	22,713	5	0	3	130	13,520	3	0	2	77
			T5W	21,143	5	0	3	121	22,242	5	0	3	127	22,379	5	0	3	128	13,350	4	0	2	76
			BLC	19,032	2	0	3	109	20,438	2	0	3	117	20,565	2	0	3	118					
			LCCO	18,490	2	0	3	106	19,856	3	0	3	113	19,980	3	0	3	114					
			RCCO	18,490	2	0	3	106	19,856	3	0	3	113	19,980	3	0	3	114					
			T1S	25,219	3	0	3	109	26,529	3	0	3	114	26,692	3	0	3	115	16,441	2	0	2	71
			T2S	26,002	3	0	3	112	27,353	3	0	3	118	27,522	3	0	3	119	16,138	2	0	2	70
			T2M	25,407	3	0	4	110	26,727	3	0	4	115	26,892	3	0	4	116	16,165	2	0	3	70
			T3S	25,375	3	0	3	109	26,693	3	0	4	115	26,858	3	0	4	116	16,130	2	0	2	70
			T3M	25,606	3	0	4	110	26,936	3	0	4	116	27,102	3	0	4	117	16,161	2	0	3	70
			T4M	25,954	3	0	4	112	27,302	3	0	4	118	27,471	3	0	4	118	16,127	2	0	3	70
	TFTM	25,566	3	0	4	110	26,897	3	0	4	116	27,060	3	0	4	117	16,425	2	0	2	71		
	T5VS	27,007	5	0	1	116	28,410	5	0	1	122	28,586	5	0	1	123	17,058	3	0	1	74		
	T5S	27,207	5	0	2	117	28,621	5	0	2	123	28,797	5	0	2	124	17,048	3	0	1	73		
	T5M	27,255	5	0	3	117	28,671	5	0	3	124	28,848	5	0	3	124	16,967	4	0	2	73		
	T5W	26,854	5	0	4	116	28,249	5	0	4	122	28,423	5	0	4	123	16,754	4	0	2	72		
	BLC	24,229	2	0	3	104	26,018	2	0	4	112	26,181	2	0	4	113							
	LCCO	23,539	3	0	4	101	25,277	3	0	4	109	25,435	3	0	4	110							
	RCCO	23,539	3	0	4	101	25,277	3	0	4	109	25,435	3	0	4	110							
	T1S	34,490	4	0	4	96	36,281	4	0	4	101	36,505	4	0	4	101	22,196	3	0	3	62		
	T2S	35,561	4	0	4	99	37,409	4	0	4	104	37,640	4	0	4	105	21,787	3	0	3	61		
	T2M	34,747	4	0	4	97	36,552	4	0	4	102	36,778	4	0	4	102	21,824	3	0	3	61		
	T3S	34,704	3	0	4	96	36,507	4	0	4	101	36,732	4	0	4	102	21,776	3	0	3	60		
	T3M	35,019	4	0	5	97	36,838	4	0	5	102	37,065	4	0	5	103	21,819	3	0	3	61		
	T4M	35,495	4	0	5	99	37,339	4	0	5	104	37,569	4	0	5	104	21,773	3	0	3	60		
	TFTM	34,964	3	0	5	97	36,781	3	0	5	102	37,008	3	0	5	103	22,175	3	0	3	62		
	T5VS	36,936	5	0	1	103	38,855	5	0	1	108	39,095	5	0	1	109	23,029	4	0	1	64		
	T5S	37,209	5	0	2	103	39,142	5	0	2	109	39,384	5	0	2	109	23,016	4	0	1	64		
	T5M	37,274	5	0	4	104	39,211	5	0	4	109	39,453	5	0	4	110	22,906	4	0	2	64		
	T5W	36,726	5	0	4	102	38,634	5	0	4	107	38,872	5	0	4	108	22,619	4	0	2	63		
	BLC	31,996	3	0	4	89	34,358	3	0	4	95	34,573	3	0	4	96							
	LCCO	31,085	3	0	4	86	33,380	3	0	4	93	33,588	3	0	4	93							
	RCCO	31,085	3	0	4	86	33,380	3	0	4	93	33,588	3	0	4	93							
	T1S	37,667	4	0	4	94	39,623	4	0	4	99	39,868	4	0	4	100							
	T2S	38,837	4	0	4	97	40,855	4	0	4	102	41,107	4	0	4	103							
	T2M	37,948	4	0	5	95	39,919	4	0	5	100	40,166	4	0	5	100							
	T3S	37,901	4	0	4	95	39,869	4	0	4	100	40,116	4	0	4	100							
	T3M	38,244	4	0	5	96	40,231	4	0	5	101	40,480	4	0	5	101							
	T4M	38,765	4	0	5	97	40,778	4	0	5	102	41,030	4	0	5	103							
	TFTM	38,185	3	0	5	95	40,169	4	0	5	100	40,417	4	0	5	101							
	T5VS	40,338	5	0	1	101	42,434	5	0	1	106	42,696	5	0	1	107							
	T5S	40,637	5	0	2	102	42,748	5	0	2	107	43,012	5	0	2	108							
	T5M	40,708	5	0	4	102	42,823	5	0	4	107	43,087	5	0	4	108							
	T5W	40,109	5	0	5	100	42,192	5	0	5	105	42,453	5	0	5	106							

### FEATURES & SPECIFICATIONS

#### INTENDED USE

The sleek design of the D-Series Area Size 2 reflects the embedded high performance LED technology. It is ideal for applications like car dealerships and large parking lots adjacent to malls, transit stations, grocery stores, home centers, and other big-box retailers.

#### CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.1 ft<sup>2</sup>) for optimized pole wind loading.

#### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

#### OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K, or 5000 K (70 CRI) configurations. The D-Series Size 2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

#### ELECTRICAL

Light engine configurations consist of 80, 90 or 100 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L90/100,000 hrs at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

#### INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 2 to withstand up to a 2.0 G vibration load rating per ANSI C136.31. The D-Series Size 2 utilizes the AERIS™ series pole drilling pattern (Template #8). NEMA photocontrol receptacle is available.

#### LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D670,857 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org](http://www.designlights.org) to confirm which versions are qualified.

#### WARRANTY

5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



12, 18 and 26 Watt SLIM wallpacks are ultra efficient and deliver impressive light distribution with a compact low-profile design that's super easy to install as a downlight or uplight.

Color: Bronze

Weight: 4.5 lbs

<b>Project:</b>	<b>Type:</b>	<b>D</b>
<b>Prepared By:</b>	<b>Date:</b>	

Driver Info		LED Info	
Type:	Constant Current	Watts:	18W
120V:	0.18A	Color Temp:	4000K
208V:	0.11A	Color Accuracy:	82 CRI
240V:	0.09A	L70 Lifespan:	100000
277V:	0.08A	Lumens:	1,855
Input Watts:	20W	Efficacy:	93 LPW
Efficiency:	90%		

## Technical Specifications

### Listings

#### UL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

#### ADA Compliant:

SLIM™ is ADA Compliant.

#### Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

#### IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

#### DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.  
DLC Product Code: P0000171P

### Construction

#### IP Rating:

Ingress Protection rating of IP66 for dust and water.

#### Cold Weather Starting:

The minimum starting temperature is -40°C/-40°F

#### Ambient Temperature:

Suitable for use in 40°C (104°F) ambient temperatures

#### Thermal Management:

Superior heat sinking with internal Air-Flow fins.

#### Housing:

Precision die-cast aluminum housing.

#### Mounting:

Heavy-duty mounting bracket with hinged housing for easy installation.

#### Recommended Mounting Height:

Up to 14 ft.

#### Lens:

Tempered glass lens.

#### Reflector:

Specular thermoplastic.

#### Gaskets:

High-temperature silicone

#### Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

#### Green Technology:

Mercury and UV free, and RoHS compliant.

### LED Characteristics

#### LED:

Multi-chip, long-life LED.

#### Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

#### Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

#### Color Stability:

LED color temperature is warrantied to shift no more than 200K in CCT over a 5 year period.

#### Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines for the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011.

### Electrical

#### Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz., 4KV surge protection, 500mA, 100-240VAC 0.3-0.15 Amps, 277VAC 0.15 Amps, Power Factor 99%.

#### THD:

10.4% at 120V

### Other

#### HID Replacement Range:

The SLIM18 can be used to replace 100W MH based on delivered lumens.

#### California Title 24:

SLIM18 complies with 2013 California Title 24 building and electrical codes as a residential outdoor fixture. See SLIM18/PC for a model that complies as a commercial outdoor non-pole-mounted fixture  $\leq 30$  Watts.

## Technical Specifications (continued)

### Other

#### Patents:

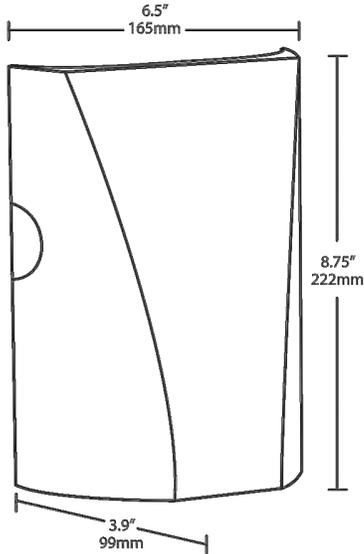
The design of the SLIM™ is protected by patents in U.S. Pat D681,864, and pending patents in Canada, China, Taiwan and Mexico.

### Optical

#### BUG Rating:

B1 U0 G0

## Dimensions



## Features

- Full cutoff, fully shielded LED wallpack
- Can be used as a downlight or uplight
- Contractor friendly features for easy installation
- 100,000-hour LED Life
- 5-Year Warranty

## Ordering Matrix

Family	Watts	Color Temp	Finish	Photocell	Dimming
<b>SLIM</b>	26 = 26W <b>18 = 18W</b> 12 = 12W	= 5000K (Cool) Y = 3000K (Warm) <b>N = 4000K (Neutral)</b>	<b>BLACK</b> = Bronze W = White	= No Photocell /PC = 120V Button /PC2 = 277V Button	= No Dimming <b>/D10 = Dimmable</b>



12, 18 and 26 Watt SLIM wallpacks are ultra efficient and deliver impressive light distribution with a compact low-profile design that's super easy to install as a downlight or uplight.

Color: Bronze

Weight: 4.5 lbs

<b>Project:</b>	<b>Type:</b>	<b>F</b>
<b>Prepared By:</b>	<b>Date:</b>	

Driver Info		LED Info	
Type:	Constant Current	Watts:	12W
120V:	0.12A	Color Temp:	4000K
208V:	0.08A	Color Accuracy:	82 CRI
240V:	0.07A	L70 Lifespan:	100000
277V:	0.06A	Lumens:	1,372
Input Watts:	14W	Efficacy:	99 LPW
Efficiency:	86%		

## Technical Specifications

### Listings

#### UL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

#### ADA Compliant:

SLIM™ is ADA Compliant.

#### Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

#### IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

### Construction

#### IP Rating:

Ingress Protection rating of IP66 for dust and water.

#### Cold Weather Starting:

The minimum starting temperature is -40°C/-40°F

#### Ambient Temperature:

Suitable for use in 40°C (104°F) ambient temperatures

#### Thermal Management:

Superior heat sinking with internal Air-Flow fins.

#### Housing:

Precision die-cast aluminum housing.

#### Mounting:

Heavy-duty mounting bracket with hinged housing for easy installation.

#### Recommended Mounting Height:

Up to 8 ft.

#### Lens:

Tempered glass lens.

#### Reflector:

Specular thermoplastic.

#### Gaskets:

High-temperature silicone

#### Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

#### Green Technology:

Mercury and UV free, and RoHS compliant.

### LED Characteristics

#### LED:

Multi-chip, long-life LED.

#### Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

#### Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

#### Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

#### Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines for the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011.

### Electrical

#### Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz., 4KV surge protection, 350mA, 100-240VAC 0.3-0.15 Amps, 277VAC 0.15Amps, Power Factor 99%.

#### THD:

10.1% at 120V

### Other

#### HID Replacement Range:

The SLIM12 can be used to replace 70W MH based on delivered lumens.

#### California Title 24:

SLIM12 complies with 2013 California Title 24 building and electrical codes as a residential outdoor fixture. See SLIM12/PC for a model that complies as a commercial outdoor non-pole-mounted fixture  $\leq 30$  Watts.

#### Patents:

The design of the SLIM™ is protected by patents in U.S. Pat D681,864, and pending patents in Canada, China, Taiwan and Mexico.

## Technical Specifications (continued)

**Other**

**Country of Origin:**

Designed by RAB in New Jersey and assembled in the USA by RAB's IBEW Local 3 workers.

**Buy American Act Compliant:**

This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

**Recovery Act (ARRA) Compliant:**

This product complies with the 52.225-21 "Required Use of American Iron, Steel, and Manufactured Goods-- Buy American Act-- Construction Materials (October 2010).

**Trade Agreements Act Compliant:**

This product is a COTS item manufactured in the United States, and is compliant with the Trade Agreements Act.

**GSA Schedule:**

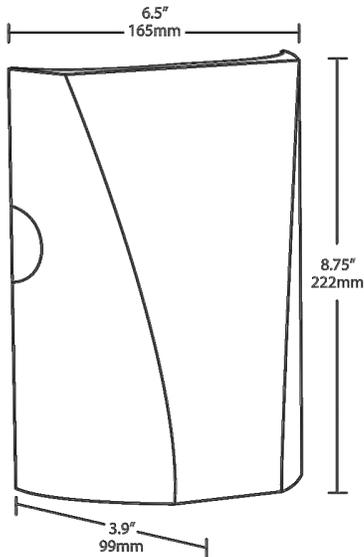
Suitable in accordance with FAR Subpart 25.4.

**Optical**

**BUG Rating:**

B1 U0 G0

### Dimensions



### Features

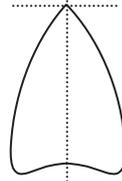
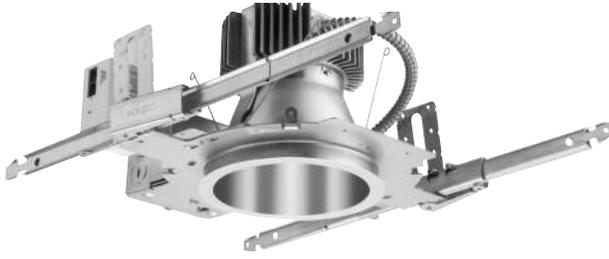
- Full cutoff, fully shielded LED wallpack
- Can be used as a downlight or uplight
- Contractor friendly features for easy installation
- 100,000-hour LED Life
- 5-Year Warranty

### Ordering Matrix

Family	Watts	Color Temp	Finish	Photocell	Dimming
<b>SLIM</b>	26 = 26W 18 = 18W <b>12 = 12W</b>	= 5000K (Cool) Y = 3000K (Warm) <b>N = 4000K (Neutral)</b>	<b>BLACK</b> = Bronze W = White	= No Photocell /PC = 120V Button /PC2 = 277V Button	= No Dimming /D10 = Dimmable



Luminaire Type:  
Catalog Number  
(autopopulated):



Gotham Architectural Downlighting  
LED Downlights

**6" Evo®  
Downlight**

Solid-State Lighting



FEATURES

**OPTICAL SYSTEM**

- Self-flanged or flangeless semi-specular, matte-diffuse or specular finishing trim
- Patented Bounding Ray™ optical design (U.S. Patent No. 5,800,050)
- 45° cutoff to source and source image
- Top-down flash characteristic
- Polycarbonate lens integral to light engine

**MECHANICAL SYSTEM**

- 16-gauge galvanized steel construction; maximum 1-1/2" ceiling thickness
- Telescopic mounting bars maximum of 32" and minimum of 15", preinstalled, 4" vertical adjustment
- Toolless adjustments post installation
- Junction box capacity: 8 (4 in, 4 out ) 12AWG rated for 90°C
- Light engine and driver accessible through aperture
- Injection molded mud ring included with flangeless trims. Ships separately. Installs independently of the mounting frame to reduce cracks in plaster due to vibration.

**ELECTRICAL SYSTEM**

- Fully serviceable and upgradeable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- Tested according to LM-79 and LM-80 standards
- Overload and short circuit protected
- 2.5 SDCM; 85 CRI typical, 90+ CRI optional

**LISTINGS**

- Fixtures are CSA certified to meet US and Canadian standards; wet location, covered ceiling

**WARRANTY**

- 5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

Note: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

ORDERING INFORMATION

**EXAMPLE: EVO 35/10 6AR MWD LSS MVOLT EZ1**

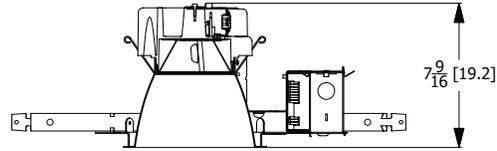
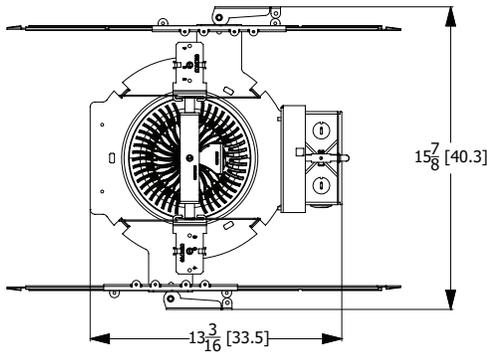
Series	Color temperature	Nominal lumen values	Aperture/Trim color	Trim Style	Distribution	Finish	Voltage
<b>EVO</b>	27/ 2700 K	10 1000 lumens	<b>6AR</b> Clear	(blank) Self-flanged	<b>MD</b> Medium (0.9 s/mh)	<b>LSS</b> Semi-specular	<b>MVOLT</b>
	<b>30/ 3000 K</b>	15 1500 lumens	<b>6PR</b> Pewter	FL Flangeless			
	35/ 3500 K	<b>20</b> 2000 lumens	<b>6WTR</b> Wheat		<b>MWD</b> Medium wide (1.0 s/mh)	<b>LD</b> Matte-diffuse	120
	40/ 4000 K	25 2500 lumens	<b>6GR</b> Gold				
		30 3000 lumens	<b>6WR</b> <sup>1</sup> White		<b>WD</b> Wide (1.2 s/mh)	<b>LS</b> Specular	277
		35 3500 lumens	<b>6BR</b> <sup>1</sup> Black				
		40 4000 lumens	<b>6WRAMF</b> <sup>1</sup> White anti-microbial				347 <sup>2</sup>
		45 4500 lumens					

Driver <sup>3</sup>	Options
<b>EZ10</b> eldoLED ECOdrive 0-10v dimming driver. Minimum dimming level 10%	<b>SF</b> Single fuse. Specify 120V or 277V.
<b>EZ1</b> eldoLED ECOdrive 0-10V dimming driver. Minimum dimming level 1%	<b>TRW</b> <sup>6</sup> White painted flange
<b>EZB</b> eldoLED SOLOdrive 0-10V dimming driver. Minimum dimming level <1%.	<b>TRBL</b> <sup>7</sup> Black painted flange
<b>EDAB</b> eldoLED SOLOdrive DALI dimming driver. Minimum dimming level <1%.	<b>EL</b> <sup>8</sup> Emergency battery pack with integral test switch
<b>EDXB</b> eldoLED POWERdrive DMX with RDM (remote device management). Minimum dimming level <1%. Includes termination resistor. Refer to <a href="#">DMXR Manual</a> .	<b>ELR</b> <sup>8</sup> Emergency battery pack with remote test switch
<b>EXA1</b> XPoint Wireless, eldoLED ECOdrive 1% dimming, 0-10V. Refer to XPoint tech sheet.	<b>NPS80EZ</b> <sup>5</sup> nLight® dimming pack controls 0-10V eldoLED drivers.
<b>EXAB</b> XPoint Wireless, eldoLED SOLOdrive <1% dimming, 0-10V. Refer to XPoint tech sheet.	<b>NPS80EZER</b> <sup>5,9</sup> nLight® dimming pack controls 0-10V eldoLED drivers. ER controls fixtures on emergency circuit.
<b>ECOS2</b> <sup>4,5</sup> Lutron® Hi-Lume® 2-wire forward-phase dimming driver. Minimum dimming level 1%. Minimum lumen 1000/Maximum lumen 3000.	<b>BGTD</b> Bodine generator transfer device. Specify 120V or 277V.
<b>ECOS3</b> <sup>4,5</sup> Lutron® Hi-Lume® 3-wire or EcoSystem® dimming driver. Minimum dimming level 1%. Minimum lumen 1000/Maximum lumen 4500.	<b>CR190</b> High CRI (90+)
	<b>CP</b> <sup>10</sup> Chicago plenum. Specify 120V or 277V.
	<b>RRL</b> RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to <a href="#">RRL</a> for complete nomenclature.



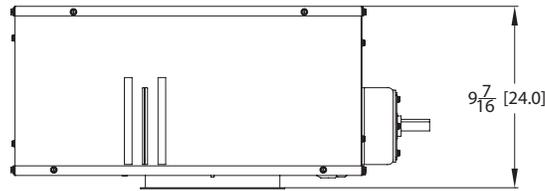
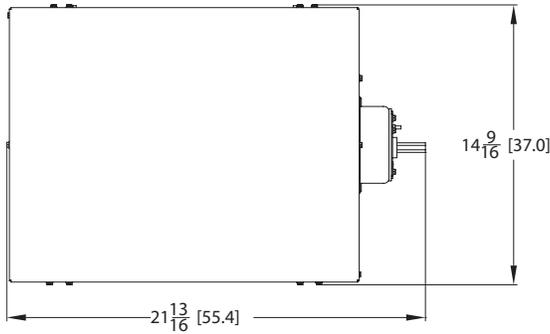
DIMENSIONAL DATA

All dimensions are inches (centimeters) unless otherwise noted.



Aperture: 6-1/4" (15.9)  
 Ceiling Opening: 7-1/8" (18.1) self-flanged  
 7-1/4" (18.4) flangeless  
 Overlap trim: 7-1/2" (19.1)

**DIMENSIONS FOR CHICAGO PLENUM**



ELECTRICAL

WATTAGE CONSUMPTION MATRIX			
LUMENS	LM ACTUAL	WATTAGE	LUMENS per WATT
1000	1,059	11.8	90.1
1500	1,572	18.5	85.0
2000	2,058	23.2	88.9
2500	2,612	29.5	88.5
3000	3,077	36.6	84.1
3500	3,591	42.1	85.3
4000	4,046	48.1	84.2
4500	4,555	46.9	97.1

EMERGENCY LUMEN OUTPUT		
LUMENS	WATTAGE	INITIAL OUTPUT
1000	9.6	1000
1500	9.6	1000
2000	9.6	1000
2500	9.6	1000
3000	9.6	1000
3500	9.6	1000
4000	9.6	1000
4500	9.6	1000

ACCESSORIES

ACCESSORIES order as separate catalog numbers (shipped separately)

- SCA6** Sloped ceiling adapter. Degree of slope must be specified (5D, 10D, 15D, 20D, 25D, 30D). Ex: SCA6 10D. Refer to [TECH-190](#).
- CTA4-8 YK** Ceiling thickness adapter (extends mounting frame to accommodate ceiling thickness up to 5"). Adds ~4" to fixture height.
- GVRT** Vandal-resistant trim accessory. Refer to [TECH-200](#).
- ISD BC** 0-10V wallbox dimmer. Refer to [ISD-BC](#).

NOTES

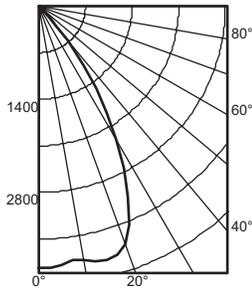
**ORDERING NOTES**

1. Not available with finishes.
2. Not available with EL or ELR options.
3. Refer to [TECH-240](#) for compatible dimmers.
4. Not available with nLight® and XPoint options.
5. Specify voltage. ECOS2 not available in 277V.
6. Not available with white reflector. Not applicable with FL option.
7. Not available with black reflector. Not applicable with FL option.
8. For dimensional changes, refer to [TECH-140](#). Not available with 347V.
9. For use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
10. ELR not available. CP & ECOS2 - 3000 lumen max. CP & ECOS3 - 4000 lumen max. CP, ECOS2/ECOS3 & EL - 2000 lumen max.

Distribution Curve      Distribution Data      Output Data      Coefficient of Utilization      Illuminance: Single Luminaire 30" Above Floor

**EVO 35/40 6AR LS**

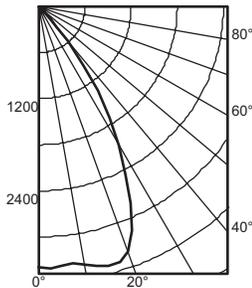
INPUT WATTS: 48.1, DELIVERED LUMENS: 4046, LM/W=84.1 , 1.03 S/MH, TEST NO. LTL27768



Ave	Lumens	Zone	Lumens	% Lamp	pf pc pw	80%			20% 70%			50%		
						50%	30%	10%	50%	30%	10%	50%	30%	10%
0	3935	0° - 30°	2904.3	71.8	0	119	119	119	116	116	116	111	111	111
5	3901	0° - 40°	3830.0	94.7	1	111	108	106	109	106	104	105	103	101
15	3944	0° - 60°	4043.4	99.9	2	103	99	96	101	98	95	98	95	93
25	3172	0° - 90°	4046.3	100.0	3	96	91	87	95	90	87	92	88	85
35	1508	90° - 180°	0.0	0.0	4	90	84	80	89	84	80	87	82	79
45	221	0° - 180°	4046.3	*100.0	5	84	78	74	83	78	74	81	77	73
55	6			*Efficiency	6	79	73	69	78	73	68	77	72	68
65	2				7	74	68	64	73	68	64	72	67	63
75	1				8	70	64	60	69	63	60	68	63	59
85	0				9	66	60	56	65	60	56	64	59	56
90	0				10	62	56	52	62	56	52	61	56	52

**EVO 35/35 6AR LS**

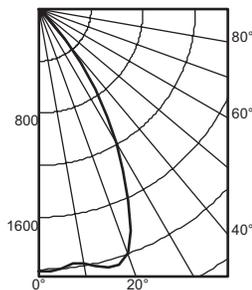
INPUT WATTS: 42.1, DELIVERED LUMENS: 3591, LM/W=85.3, 1.05 S/MH, TEST NO. LTL27767



Ave	Lumens	Zone	Lumens	% Lamp	pf pc pw	80%			20% 70%			50%		
						50%	30%	10%	50%	30%	10%	50%	30%	10%
0	3400	0° - 30°	2579.3	71.8	0	119	119	119	116	116	116	111	111	111
5	3390	0° - 40°	3399.8	94.7	1	111	108	106	109	106	104	105	103	101
15	3497	0° - 60°	3586.3	99.9	2	103	99	96	101	98	95	98	95	93
25	2830	0° - 90°	3590.5	100.0	3	96	91	87	95	90	87	92	88	85
35	1335	90° - 180°	0.0	0.0	4	90	84	80	89	84	80	87	82	79
45	193	0° - 180°	3590.5	*100.0	5	84	78	74	83	78	74	81	77	73
55	5			*Efficiency	6	79	73	69	78	72	68	77	72	68
65	2				7	74	68	64	73	68	64	72	67	63
75	1				8	70	64	60	69	63	59	68	63	59
85	1				9	66	60	56	65	60	56	64	59	55
90	1				10	62	56	52	62	56	52	61	56	52

**EVO 35/20 6AR LS**

INPUT WATTS: 23.2, DELIVERED LUMENS: 2058, LM/W=88.7, 1.02 S/MH, TEST NO. LTL27777



Ave	Lumens	Zone	Lumens	% Lamp	pf pc pw	80%			20% 70%			50%		
						50%	30%	10%	50%	30%	10%	50%	30%	10%
0	2018	0° - 30°	1498.5	72.8	0	119	119	119	116	116	116	111	111	111
5	1997	0° - 40°	1958.0	95.1	1	111	108	106	109	107	105	105	103	101
15	2053	0° - 60°	2056.6	99.9	2	103	99	96	102	98	95	98	95	93
25	1618	0° - 90°	2058.3	100.0	3	96	92	88	95	91	87	92	89	86
35	749	90° - 180°	0.0	0.0	4	90	85	81	89	84	80	87	83	79
45	105	0° - 180°	2058.3	*100.0	5	84	79	74	83	78	74	82	77	73
55	3			*Efficiency	6	79	73	69	78	73	69	77	72	68
65	1				7	74	68	64	74	68	64	72	67	64
75	0				8	70	64	60	69	64	60	68	63	60
85	0				9	66	60	56	66	60	56	65	60	56
90	0				10	62	57	53	62	56	53	61	56	53

LUMEN OUTPUT MULTIPLIER - CRI	
CRI	FACTOR
80 CRI	1
90 CRI	0.79

LUMEN OUTPUT MULTIPLIER - CCT	
CRI	FACTOR
4000 K	1.035
3500 K	1
3000 K	0.973
2700 K	0.938

LUMEN OUTPUT MULTIPLIER - TRIM FINISH						
FINISH	CLEAR (AR)	PEWTER (PR)	WHEAT (WTR)	GOLD (GR)	WHITE (WR/WRAF)	BLACK (BR)
Specular (LS)	1.00	0.88	0.83	0.95	N/A	N/A
Semi-specular (LSS)	0.95	0.84	0.79	0.90	N/A	N/A
Matte-diffuse (LD)	0.85	0.73	0.69	0.80	N/A	N/A
Paint	N/A	N/A	N/A	N/A	0.87	0.73

**PHOTOMETRY NOTES**

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 85 typical.



BUILDING MATERIALS & COLORS SUBMITAL

**Esser Place**

**20140490**

Date: July 25<sup>th</sup>, 2016

Reviewer: Matthew G. Schuenke  
Village Administrator/Clerk-Treasurer  
Village of Cross Plains  
PO Box 97, 2417 Brewery Road  
Cross Plains, WI 53528

Submitted By: Iconica, Inc.  
901 Deming Way  
Madison, Wisconsin 53717

**ESSER PLACE MIXED-USE**  
1900 MAIN STREET  
CROSS PLAINS, WI

WEST GATEWAY, INC.  
901 DEMING WAY, SUITE 102  
MADISON, WI 53717

**ISSUE DATES:**  
GDP DRAFT SUB: 05-02-16  
SIP DRAFT SUB: 07-05-16  
SIP SUB: 07-25-16

**RF/ISI DATE:**

**Schematic Design Phase:**  
This drawing indicates the scale and relationship of the project components. This drawing is **not** for construction.

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**PROJECT #:** 20140490  
**SHEET NUMBER**

**A301**



WEST EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"  
0' 4' 8' 16'  
1/8" = 1'-0"



EAST EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"  
0' 4' 8' 16'  
1/8" = 1'-0"



SOUTH EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"  
0' 4' 8' 16'  
1/8" = 1'-0"



NORTH EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"  
0' 4' 8' 16'  
1/8" = 1'-0"

EXTERIOR MATERIAL KEY		
HATCH	COLOR	REMARKS
	BRICK COLOR TBD	MORTAR - GREY MASONRY SILLS & COPING - LIMESTONE
	COLOR TBD	
	4" EXPOSURE LP SMARTSIDE COLORS VARY	S40 SERIES LP TRIM COLOR - WHITE
	7" EXPOSURE LP SMARTSIDE COLORS VARY	S40 SERIES LP TRIM COLOR - WHITE



SUSTAINABLE FEATURES NARRATIVE SUBMITAL

**Esser Place**

**20140490**

Date: July 25<sup>th</sup>, 2016

Reviewer: Matthew G. Schuenke  
Village Administrator/Clerk-Treasurer  
Village of Cross Plains  
PO Box 97, 2417 Brewery Road  
Cross Plains, WI 53528

Submitted By: Iconica, Inc.  
901 Deming Way  
Madison, Wisconsin 53717

**Sustainable Features Narrative  
Esser Place  
Cross Plains, Wisconsin**



Iconica  
901 Deming Way  
Madison, Wisconsin 53571  
July 25<sup>th</sup>, 2016

Matthew G. Schuenke  
Village Administrator/Clerk-Treasurer  
Village of Cross Plains  
PO Box 97, 2417 Brewery Road  
Cross Plains, WI 53528

To Whom It May Concern:

As a representative of West Gateway Inc., I am submitting this Sustainable Features Narrative for the Specific Development Plan for the rezoning to a PD (Planned Development District) of the following properties: 1812 through 1904 Main Street.

The following outlines the intended sustainable features of the development:

- Pedestrian pathways on site encourage pedestrians to walk to the downtown commercial district.
- Bicycle parking racks are provided on site and storage space for bicycles will be available for tenants within the underground parking garage.
- Shade trees are proposed nearby parking areas to help reduce urban heat island affect
- Storm water from the parking lot is collected in a bio retention pond to allow for infiltration before being released off site
- All exterior lighting will be high efficiency LED fixtures
- Substantial day lighting is available to each apartment unit and an open floor plan is utilized so daylight can penetrate into the main living areas.
- Each apartment unit has individual HVAC controls allowing tenants to set the temperature of their space to match their comfort level and avoid wasteful overheating or overcooling of the entire building.

Sincerely,

Jenny Dechant

Enclosure  
Cc: Tom Pientka and Jim Pientka, Iconica, West Gateway Inc.



TRANSPARENT GLASS DIAGRAM SUBMITTAL

**Esser Place**

**20140490**

Date: July 25<sup>th</sup>, 2016

Reviewer: Matthew G. Schuenke  
Village Administrator/Clerk-Treasurer  
Village of Cross Plains  
PO Box 97, 2417 Brewery Road  
Cross Plains, WI 53528

Submitted By: Iconica, Inc.  
901 Deming Way  
Madison, Wisconsin 53717



0'-10' GROUND FLOOR AREA

GLAZING

# Appendix B

## SECTION 84.167 Planned Developments.



**Purpose.** The purpose of this Section is to provide regulations which govern the procedures for the review and approval, or denial, or proposed Planned Developments.



**Initiation of Request.** Proceedings for approval of a Planned Development may be initiated by any of the following: West Gateway Inc.

- (1) An application by the owner(s) of the subject property; (Iconica Design Build)
- (2) A recommendation of the Plan Commission to the Village Board; or
- (3) By action of the Village Board.

(c) **Procedure for Planned Development Approval.** The procedure for zoning to a Planned Development (PD) district shall follow the Zoning Map Amendment procedure included in Section 84.160, except that the Planned Development procedure shall be subject to the following additional requirements.



**Pre-Application Conference.** Prior to formal petition for zoning to a PD district, the applicant shall confer with appropriate Village staff in order to establish mutual understanding as to the basic concept proposed and to ensure proper compliance with the requirements for processing. Points of discussion and conclusions reached in this stage of the process shall in no way be binding upon the applicant or the Village, but should be considered as the informal, non-binding basis for proceeding to the next step.



~~**Optional Concept Plan Review.** Upon completion of the pre-application conference, described above, the applicant may decide to prepare an optional conceptual plan for review by the Plan Commission.~~

a. At the Plan Commission meeting, the applicant shall engage in an informal discussion with the Plan Commission regarding the concept plan. Appropriate topics for discussion may include the any of the information provided in the concept plan, or other items as determined by the Plan Commission. Points of discussion and conclusions reached at this stage of the process shall be in no way be binding upon the applicant or the Village, but should be considered as the informal, non-binding basis for proceeding to the next step. The preferred procedure is for one or more iterations of Plan Commission review of the concept plan to occur prior to introduction of the formal application for rezoning, which accompanies the General Development Plan application (see (3), below).

b. The concept plan submittal shall include the following items (digital files should be submitted rather than paper copies whenever possible).

1. A location map of the subject property and its vicinity.
2. A general written description of the proposed PD, including:
  - (i) General project themes and images.

May 4th, June 1st:  
Staff Meetings

Opted for  
immediate  
consideration of  
GDP.

- (ii) The general mix of dwelling unit types and/or land uses.
- (iii) Approximate residential densities and nonresidential intensities as described by dwelling units per acre, landscaping surface ratio, and/or other appropriate measures of density and intensity.
- (iv) General treatment of natural features.
- (v) Relationship to nearby properties and public streets.
- (vi) Relationship of the project to the Comprehensive Plan.
- (vii) Description of potentially requested exceptions from the requirements of this Chapter. The purpose of this information shall be to provide the Plan Commission with information necessary to determine the relative merits of the project with respect to private versus public benefit, and to evaluate the potential adverse impacts created by making exceptions to standard zoning district requirements.

- 3. A conceptual drawing of the site plan layout, including the general locations of public streets and/or private drives.
- 4. The Plan Commission shall review the concept plan and, if accepted, shall inform the applicant to move on to the next step in the PD process, General Development Plan.

(3) **General Development Plan Review.** Upon acceptance of the Concept Plan by the Plan Commission, the applicant shall submit a General Development Plan (GDP) to the Zoning Administrator for determination of completeness. Upon determination of completeness by the Zoning Administrator, the GDP shall be placed on the Plan Commission agenda for review and recommendation. Upon recommendation of the Plan Commission, the GDP shall be reviewed by the Village Board. Upon approval of the GDP by the Village Board, the GDP shall establish the zoning for the property.

- a. The GDP submittal shall include the following items(digital files should be submitted rather than paper copies whenever possible):
  - 1. General location map of the subject site depicting:
    - (i) All lands for which the Planned Development is proposed and all other lands within 100 feet of the boundaries of the subject site.
    - (ii) Names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds.
    - (iii) Current zoning of the subject site and abutting properties, and the jurisdiction(s) that maintains that control.
    - (iv) A graphic scale and a north arrow.

Determined

Complete: July 5th

Approved by Plan

Commission: July 11th

Approved by Village

Board: July 25th

Both conditions met in SIP.

2. Generalized site plan showing the pattern or proposed land uses, including:
  - (i) General size, shape, and arrangement of lots and specific use areas.
  - (ii) Basic street pattern.
  - (iii) General site grading plan showing preliminary road grades.
  - (iv) Basic storm drainage pattern, including proposed on-site stormwater detention.
  - (v) Preliminary sanitary sewer and water system layout.
  - (vi) General location of recreational and open space areas, including designation of any such areas to be classified as common open space.
3. Statistical data, including:
  - (i) Minimum lot sizes in the development.
  - (ii) Approximate areas of all lots.
  - (iii) Density/intensity of various parts of the development.
  - (iv) Building coverage.
  - (v) Landscaping surface area ratio of all land uses.
  - (vi) Expected staging.
4. Conceptual landscaping plan, noting approximate locations of foundation, street, yard, and paving landscaping, and comparing the proposed landscaping plan to the standard landscaping requirements in Article VIII.
5. General signage plan, including all project identification signs and concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles) which are proposed to vary from Village standards or common practices.
6. General outline of property owners association, covenants, easements, and deed restrictions.
7. A written description of the proposed Planned Development, including:
  - (i) General project themes and images.
  - (ii) The general mix of dwelling unit types and/or land uses.
  - (iii) Approximate residential densities and nonresidential intensities as described by dwelling units per acre, landscaping surface area ratio, and/or other appropriate measures of density and intensity.
  - (iv) General treatment of natural features.
  - (v) General relationship to nearby properties and public streets.

- (vi) General relationship of the project to the Comprehensive Plan.
- (vii) Proposed exceptions from the requirements of this Chapter.

8. A Transportation Demand Management (TDM) Plan meeting Wisconsin Department of Transportation requirements for content and format may be required by the Village if deemed necessary by the Village Engineer.

- b. The Zoning Administrator, or by majority vote of the Village Board may waive submittal information listed above, and/or may likewise require additional information beyond that listed above.
- c. The process for review and approval of the GDP shall be identical to that for Zoning Map Amendments per Section 84.160.
- d. All portions of an approved GDP not initiated through granting of a building permit within 10 years of final Village Board approval shall expire and no additional Planned Development-based activity shall be permitted. The Village Board may allow multiple extensions via a majority vote following a public hearing. Completed portions of the GDP shall retain the GDP status.
- e. Within 12 months of GDP approval the applicant shall submit a Specific Implementation Plan. Filed July 25th.

Determined  
Complete: July 25th

(4)

**Specific Implementation Plan.** Upon completion of the GDP review process described above, the applicant shall submit a Specific Implementation Plan (SIP) to the Zoning Administrator for determination of completeness. Upon determination of completeness by the Zoning Administrator, the SIP may be placed on the Plan Commission agenda for SIP review.

Plan  
Commission: August 1st

- a. The SIP submittal shall include the following items. Note that the area included in an SIP may be only a portion of the area included in a previously approved GDP (digital files should be submitted rather than paper copies whenever possible).

Village  
Board: August 22nd



An existing conditions map of the subject site depicting the following:

See attached and Appendix A

- (i) All lands for which the Planned Development is proposed and all other lands within 100 feet of the boundaries of the subject site.
- (ii) Names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds.
- (iii) Current zoning of the subject property and all abutting properties, and the jurisdiction(s) that maintains that control.
- (iv) Existing utilities and recorded easements.

See Appendix A -  
Especially  
Landscaping Plan



- (v) All lot dimensions of the subject site.
  - (vi) A graphic scale and a north arrow.
- An SIP map of the proposed site showing at least the following:
- (i) Lot layout and the arrangements of buildings.
  - (ii) Public and private roads, driveways, walkways, and parking facilities.
  - (iii) Specific treatment and location of recreational and open space areas, including designation of any such areas to be classified as common open space.



Proposed grading plan.  
Specific landscaping plan for the subject site, specifying the location, species, and installation size of all plantings. The landscaping plans shall include a table summarizing all proposed species.



Architectural plans for any nonresidential buildings, multifamily structures, or building clusters, other than conventional single-family homes or individual lots, in sufficient detail to indicate the floor area, bulk, and visual character of such buildings.



Engineering plans for all water and sewer systems, stormwater systems, roads, parking areas, and walkways.



Signage plan for the project, including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes that are proposed to vary from Village standards or common practices.



Specific written description of the proposed SIP including:

- (i) Specific project themes and images.
- (ii) Specific mix of dwelling unit types and/or land uses.
- (iii) Specific residential densities and nonresidential intensities as described by dwelling units per acre, and landscaping surface area ratio and/or other appropriate measures of density and intensity.
- (iv) Specific treatment of natural features, including parkland.
- (v) Specific relationship to nearby properties and public streets.
- (vi) Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads; density/intensity of various parts of the development; building coverage, and landscaping

All items covered  
within Appendix A

surface area ratio of all land uses; proposed staging; and any other plans required by the Plan Commission.

- (vii) A statement of rationale as to why PD zoning is proposed. This statement shall list the standard zoning requirements that, in the applicant's opinion, would inhibit the development project and the opportunities for community betterment that are available through the proposed PD project.
- (viii) A complete list of zoning standards that would not be met by the proposed SIP and the location(s) in which such exceptions would occur. The applicant may also provide a list of zoning standards that would be more than met by the proposed PD and the location(s) of such occurrences.
- (ix) Phasing schedule, if more than one development phase is intended.



N/A

Submitted and authorized as part of Development Agreement for Tax Increment Financing.



Agreements, bylaws, covenants, and other documents relative to the operational regulations of the development and particularly providing for the permanent preservation and maintenance of common open areas and amenities.

A written description that demonstrates how the SIP is consistent with the approved GDP and any and all differences between the requirements of the approved GDP and the proposed SIP.

The applicant shall submit proof of financing capability pertaining to construction and maintenance and operation of public works elements of the proposed development.

The Zoning Administrator, or by majority vote of the Village Board may waive submittal information listed above, and/or may likewise require additional information beyond that listed above.

The process for review and approval of the SIP shall be identical to that for site plans per Section 84.164. [See Appendix C](#)

**The Plan Commission shall make recommendations to the Village Board.** The Village Board shall then review and consider approval of the SIP. All portions of an approved SIP not fully developed within 10 years of final Village Board approval shall expire, and no additional Planned Development-based activity shall be permitted. The Village Board may allow multiple extensions via a majority vote following a public hearing. Completed portions of the SIP shall retain the SIP status.

- (5) **Criteria for Approval.** In its review and action for an application for a Planned Development district, the Plan Commission and, subsequently, the Village Board shall make findings with respect to the following criteria:

Everything required has been provided.

Scheduled for Monday, August 1st

Yes, (1) noted as "Downtown" on the Future Land use map; (2) promotes a mix of retail and residential as intended within district; (3) Expands and upgrades retail and residential properties.



The proposed Planned Development project is consistent with the overall purpose and intent of this Chapter. [Meets all requirements.](#)

The proposed Planned Development project is consistent with the Village's Comprehensive Plan (it is the responsibility of the Village to determine such consistency).

The proposed Planned Development project would maintain the desired relationships between land uses, land use densities and intensities, and land use impacts in the environs of the subject site.

Adequate public infrastructure is or will be available to accommodate the range of uses being proposed for the Planned Development project, including but not limited to public sewer and water and public roads. [Hwy 14 \(Main St\) rebuilt in 2015.](#)

The proposed Planned Development project will incorporate appropriate and adequate buffers and transitions between areas of difference land uses and development densities/intensities.

The proposed Planned Development project design does not detract from areas of natural beauty surrounding the site.

The proposed architecture and character of the proposed Planned Development project is compatible with adjacent/nearby development.

The proposed Planned Development project will positively contribute to the physical appearance and functional arrangement of development in the area. [One Parcel is Vacant, One Parcel Below Avg Condition](#)

The proposed Planned Development project will produce significant benefits in terms of environmental design and significant alternative approaches to addressing development performance that relate to and more than compensate for any requested exceptions or variation of any normal standard of this Chapter.

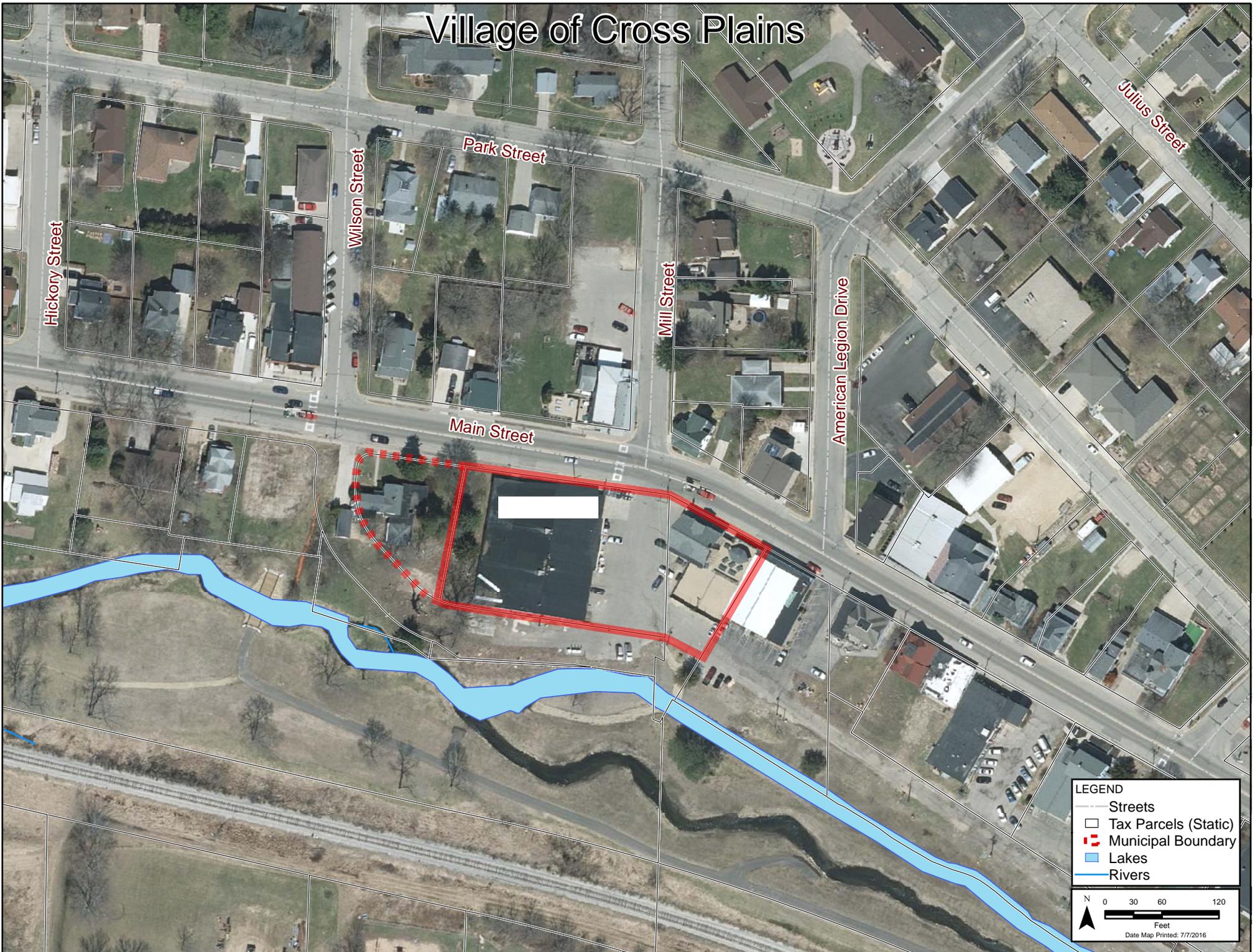
For Planned Development projects that are proposed to be developed in phases, the applicant can provide a clear timeline for development and can demonstrate that the project would be successful even if all phases were not or could not be completed.

- (6) **Changes or Alterations.** Any change of the PD plans subsequent to approval of the PD-SIP shall be submitted to the Zoning Administrator. If the Zoning Administrator determines that the change constitutes a substantial modification, the developer will be required to amend the PD-SIP, and if necessary, the PD-GDP, following the procedures set forth in this section for review and approvals. If, in the opinion of the Zoning Administrator, such changes do not constitute a substantial alteration of either the GDP or SIP, the change may be accomplished by approval of the Zoning Administrator. Such approved changes or modifications shall be documented and recorded in the official file of the Village on the PD.
- (7) **Recording.** The final PD-SIP and GDP, and all amendments thereto, shall be recorded with the Dane County Register of Deed's Office at the applicant's sole expense.

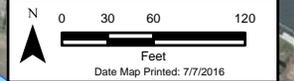
# Village of Cross Plains



# Village of Cross Plains



- LEGEND**
- Streets
  - Tax Parcels (Static)
  - Municipal Boundary
  - Lakes
  - Rivers

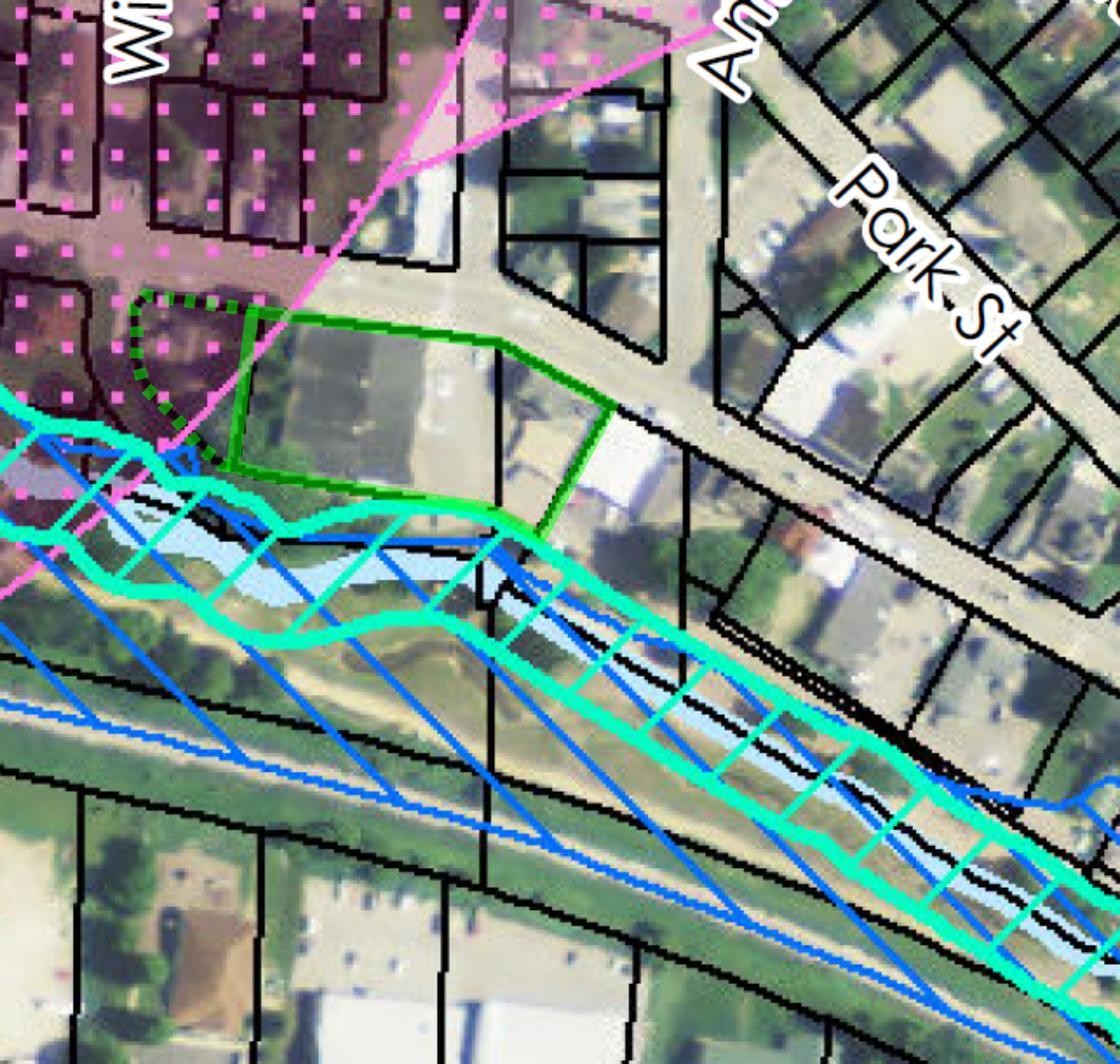




Will

Amo  
Park St

**MSMU**



Wi

Ann

Park St



**Policies and Programs**

1. Encourage neighborhood-oriented retail and service businesses in areas that will conveniently serve Village neighborhoods.
2. Require that all proposed commercial projects submit a detailed site plan, building elevations, lighting plan, grading/stormwater management plan, and signage plan prior to development approval.
3. In Neighborhood Business areas, require the use of high-quality building materials and designs that are compatible with residential areas, including residential roof materials such as shingles; generous window placements; and exterior materials such as wood, cement board, vinyl siding, brick, decorative block, stone, and other materials approved by the Plan Commission.
4. Require calm, low-key, and attractive lighting and signage that are compatible with residential areas.

*Planned Business*

**Description**

This future land use category includes large-scale commercial and office land uses, including national and regional retailers, which serve the entire community and people from nearby communities on public sewer, public water, and other urban services and infrastructure. Planned Business land uses are located south of Church Street west of Brewery Road.

**Recommended Zoning**

The Village’s PDD business planned development district or the BN neighborhood business zoning district are the most appropriate districts to implement this future land use category.

**Policies and Programs**

1. Future development in this designation will be served by the Village’s public sanitary sewer and water systems and comply with the erosion and stormwater management requirements of the Village’s subdivision ordinance.
2. Adhere to site, building, signage, landscaping, and lighting design guidelines for commercial, large scale retail, and mixed use development projects.
3. Adhere to established standards for highway access control, shared driveways, and cross access.
4. Require that all commercial projects submit and have approved detailed building elevations and site plans, showing the proposed locations of the building(s), parking, storage, loading, signage, landscaping, and lighting prior to development approval.
5. Prohibit the unscreened outdoor storage of equipment or materials, except for automobiles.
6. Consider the relationship between development in the Planned Business areas and existing and future development behind these sites. Avoid inhibiting future access to sites behind commercial properties and creating an unattractive appearance which will inhibit future development of these sites.
7. Encourage uses that are most appropriate for the Village’s Downtown areas to develop or remain in the Downtown, rather than in locations designated as Planned Business.

***Downtown*** Future Land Use Map Category

**Description**

The unique incorporation of the two hamlets into one Village created two areas of downtown character development in Cross Plains along Highway 14. These areas are intended to remain the civic, social, and commercial hub of the community. This opportunity has recently been enhanced through the revitalization planning efforts along Highway 14.



This category is intended for a mix of retail, commercial service, office, institutional, governmental, and residential (mainly upper stories) uses arranged in a pedestrian-oriented environment with on-street parking;

minimal front and side yard building setbacks; and building designs, materials, placement, and scale that are compatible with the character of existing development. The Downtown future land use category is mapped over the historic Downtown areas.

### **Recommended Zoning**

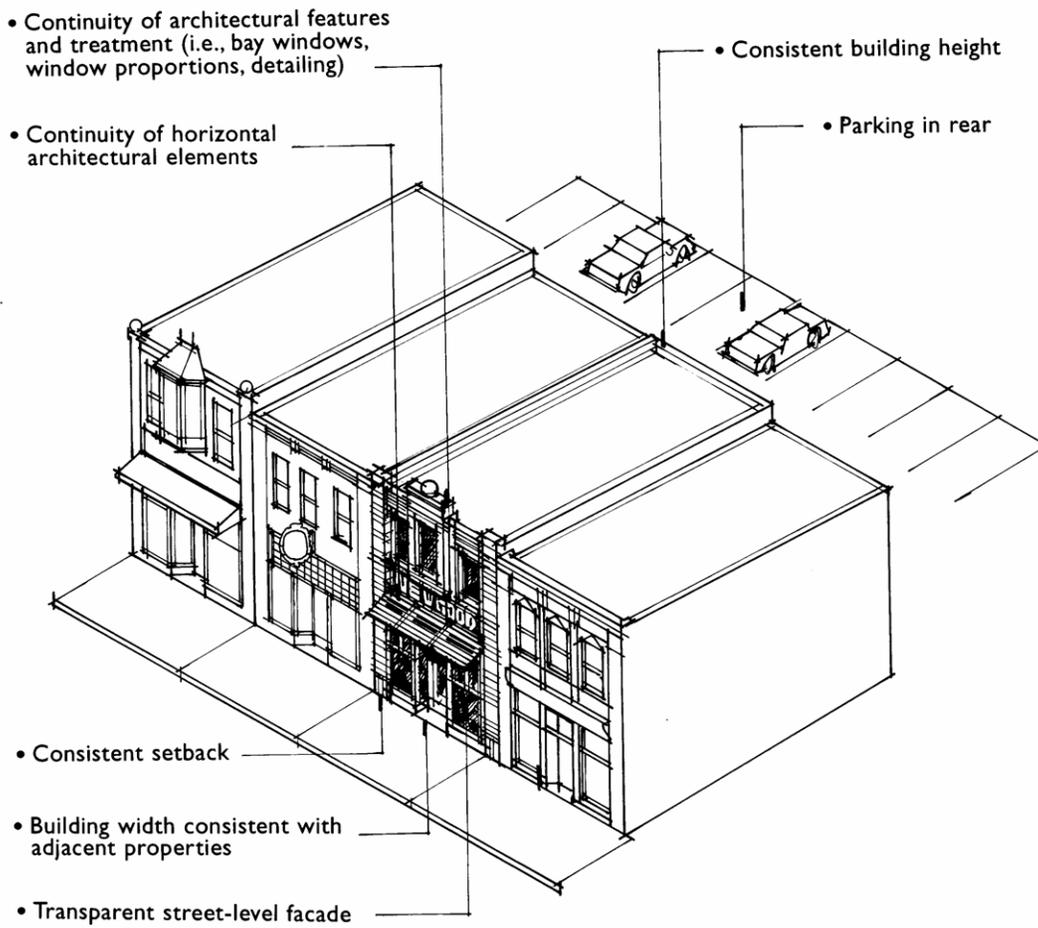
While the Village's BC(O) central business overlay zoning district will accommodate this future land use category, the Village should consider adopting a stand alone downtown zoning district to implement this future land use category.

### **Policies and Programs**

1. Follow the recommendations of the Cross Plains Downtown Revitalization Plan, which provides additional detail on desired future land uses along Highway 14 in the Village.
2. Preserve the architectural and historic character of the Downtown areas and buildings by requiring that new development, expansions, and exterior renovations comply with general design standards in the Downtown Revitalization Plan.
3. Grant development approvals only after submittal, public review, and approval or site, landscaping, building, signage, lighting, stormwater, erosion control, and utility plans.
4. Encourage commercial developments that are most appropriate for the historic Downtown areas to locate or remain there, rather than in other business districts in the Village.
5. Promote the expansion, retention, and upgrading of specialty retail, restaurants, financial services, offices, professional services, residential, and community uses through marketing, investment and incentive strategies.
6. Adopt a central business zoning district to preserve the character of Downtown areas consistent with the characteristics of Figure 17 and the guidelines identified in "Cross Plains Main Street Design Standards" including use, two story minimums, and "build to lines".



Figure 17: Appropriate Historic Downtown Development



# Appendix C

- (2) Description of the subject site by lot, block, and recorded subdivision or by metes and bounds.
  - (3) Address of the subject site.
  - (4) Type of structure.
  - (5) Existing and proposed operation or use of the structure or site.
  - (6) Number of employees.
  - (7) Zoning district within which the subject site lies.
  - (8) Additional information as may be required by the Village Engineer or Zoning Administrator.
- (d) **Review and Action by the Village Engineer/Zoning Administrator.** A land use permit shall be granted or denied by the Village Engineer or Zoning Administrator in writing within 30 days of the application, and the applicant shall post such permit in a conspicuous place at the site. Any permit issued in conflict with the provisions of the Chapter shall be null and void.
- (e) **Time Limits on Land Use Permits.** The work must begin within one year of approval and be completed within 2 years. Time limits for Conditional Use Permits and Variances may be established at the time of approval. All other permits shall meet the timelines required at the time of issuance as listed elsewhere in this Chapter.

## SECTION 84.164 Site Plan Review and Approval Procedures.

- (a) **Purpose.** The purpose of this Section is to specify the requirements and procedures for the review and approval of site plan applications. The provisions of this Section are designed to ensure that proposed land uses and development activity complies with the requirements of this Chapter.
- (b) **Applicability.** Site plan review and approval shall be required for changes to site characteristics in Subsections (d)(3) through (9) including redevelopment, expansion, and new development under 50,000 square feet and 3 to 10 unit residential development, except for the following:
- (1) Group and Large Developments.
  - (2) Residential accessory buildings, decks, and landscape features.
  - (3) Fences.
  -  Uses within a Specific Implementation Plan in a Planned Development in accordance with the procedures of Article IX, provided that the Specific Implementation Plan provides a similar level of detail and range of plans as a typical site plan submittal required under this Chapter.
- (c) **Pre-Application Conference.** Prior to formal submittal of a site plan application, it is recommended that the applicant confer with the Zoning Administrator in order to establish mutual understanding as to the basic concept proposed and to ensure proper compliance with the technical requirements and procedures for processing the site plan application. A timetable for project review may also be discussed.

The documentation provided thus far for the SIP is in full compliance with Section 84.167 within Article IX and provides the same level of detail and range as is required in Section 84.164. Both processes are identical as required by the code.

- (d) **Application.** A site plan application may be considered complete if it contains all of the following, unless specific application requirements are waived in writing by the Zoning Administrator. Maps depicting the following information shall be prepared (digital files should be submitted rather than paper copies whenever possible, if applicable).
- (1) Written description of the intended use describing in reasonable detail the following:
    - a. Existing zoning district(s) and proposed zoning district(s), if different.
    - b. Existing and proposed land uses.
    - c. Projected number of residents, employees, and/or daily customers.
    - d. Proposed number of dwelling units and density.
    - e. Demonstration of compliance with the applicable standards and requirements of this Chapter.
    - f. Demonstration of compliance with the Village's land dedication requirements per Chapter 83 Land Division and Subdivision of the Municipal Code.
    - g. Demonstration of consistency with the Comprehensive Plan.
    - h. Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.
    - i. Fencing materials (Section 84.108).
    - j. Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.
  - (2) A small location map showing the subject property and illustrating its relationship to the nearest street intersection.
  - (3) **Pre-Development Site Information.**
    - a. Legal description of the subject property.
    - b. Existing property lines and setback lines.
    - c. Existing structures and paved areas.
    - d. Existing right of way lines with bearings and dimensions clearly labeled.
    - e. Existing easements and utilities.
    - f. Existing and proposed topography with a maximum contour interval of 2 feet, except where existing ground is on a slope of less than 2 percent where one foot contours shall be shown.
    - g. The outer edges of all natural resource areas (i.e. floodplains, shorelands, wetlands, drainageways, woodlands, steep slopes).
  - (4) **Proposed Post-Development Site Information.**
    - a. Property lines and setback lines.

- b. Location of all proposed structures and use areas, including paved areas, building entrances, walks, drives, decks, patios, fences, utility poles, and drainage facilities.
  - c. Proposed right of way lines with bearings and dimensions clearly labeled.
  - d. Proposed access points onto public streets and access drives on the subject property.
  - e. Location of all pedestrian walkways.
  - f. Location and dimension of all on-site parking (and off-site provisions if they are to be employed), including a summary of the number of parking stalls provided.
  - g. Location of all proposed parking and traffic circulation areas.
  - h. Location and configuration of all visibility triangles proposed on the subject property.
  - i. Location and dimension of all loading and service areas on the subject property.
  - j. Location of all outdoor storage areas and the design of all screening devices.
  - k. Location and type of all stormwater facilities and management approach to be employed.
  - l. Location of snow storage areas, except for single family and two family residential.
  - m. Proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose.
  - n. Location, type, height, size, and lighting of all signage on the subject property.
  - o. In the legend, include the following data for the subject property: lot area, flood area, floor area ratio, impervious surface area, impervious surface ratio, and building heights.
- (5) **Detailed Landscaping Plan.** If required, a landscape plan depicting the location, type, and size at time of planting and maturity of all landscaping features as required in Article VIII.
- (6) **Grading and Erosion Control Plan.** Depicting existing and proposed grades, including retention walls and related devices, and erosion control measures per the approval of the Village Engineer.
- (7) **Elevation Drawings.**
- a. Elevations of proposed buildings or proposed remodeling of existing buildings showing finished exterior treatment.
  - b. Depict exterior materials, texture, color, and overall appearance.
  - c. Perspective renderings of the proposed project and/or photos of similar structures may also be submitted, but not in lieu of drawings showing the actual intended appearance of the building(s).

- (8) **Photometric Plan.**
  - a. Location, type, height, design, illumination power, and orientation of all exterior lighting on the subject property.
  - b. Impact of lighting across the entire property to the property lines rounding to the nearest 0.10 foot candles, and depicting an illumination limit of 0.50 foot candles. The 0.50 foot candle line cannot extend beyond the property line.
- (9) **Operational Plan.**
  - a. Describe the proposed hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation.
  - b. Procedures for snow removal, except for single and two family residential.
- (e) **Review and Approval.**
  - (1) The Zoning Administrator shall determine whether the site plan application is complete and fulfills the requirements of this Chapter. If the application is determined to be incomplete, the Zoning Administrator shall notify the applicant.
  - (2) The Zoning Administrator shall coordinate review with the Village’s Development Review Team.
  - (3) The Zoning Administrator shall review and approve or deny the site plan.

**SECTION 84.165 Downtown Design Overlay Review.**

- (a) **Purpose and Scope.** These districts are intended to implement the urban design recommendations of the Comprehensive Plan by preserving and enhancing the aesthetic qualities (historical and visual) of the community, and by attaining a consistent visually pleasing image for various portions of the Village. As emphasized by said plan, these districts are designed to forward both aesthetic and economic objectives of the Village by controlling the site design and appearance of development within the district in a manner which is consistent with sound land use, urban design, and economic revitalization principles. The application of these standards will ensure the long-term progress and broad participation toward these principles.
- (b) **Definitions.**
  - (1) **Cornice.** The topmost projecting portion of the entablature, or top portion of a building. This term also refers to any “crowning” projection of a building.
  - (2) **Header.** A brick laid so that the end only appears on the face of the wall, as opposed to a stretcher, which is a brick laid so that the side only appears.
  - (3) **Kickplate.** A horizontal area on the facade of a building located between the sidewalk/entrance pavement and the lowest storefront windows.

# CITY OF CROSS PLAINS

## MILL CREEK PARKWAY STREETSCAPE 60% CONSTRUCTION SET



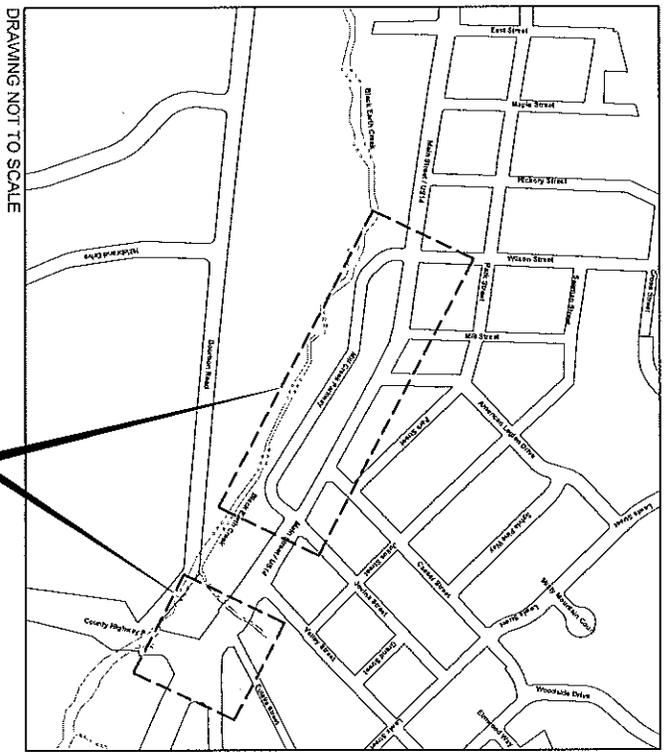
**INDEX OF SHEETS**

COVER	TITLE SHEET
SHEET NO. 610	GENERAL NOTES
SHEET NO. 611	STREETSCHEDULE PLANS
SHEET NO. 612	DETAILS AND SCHEDULES
SHEET NO. 613	ELECTRICAL PLANS

**CONVENTIONAL SIGNS**

ELECTRIC	— E —
GAS	— G —
STORM SEWER	— SS —
SANITARY SEWER	— SAN —
WATER	— W —
OVERHEAD ELECTRIC	— OH —
POWER POLE	— P —
ADA COMPLIANT RAMP W/	— R —
DETECTABLE WARNING FIELD	— DW —
UTILITY	— U —

**DIGESTOR HOTLINE**  
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www.DiggetHotline.com



DRAWING NOT TO SCALE

APPROXIMATE PROJECT LOCATION SCOPE

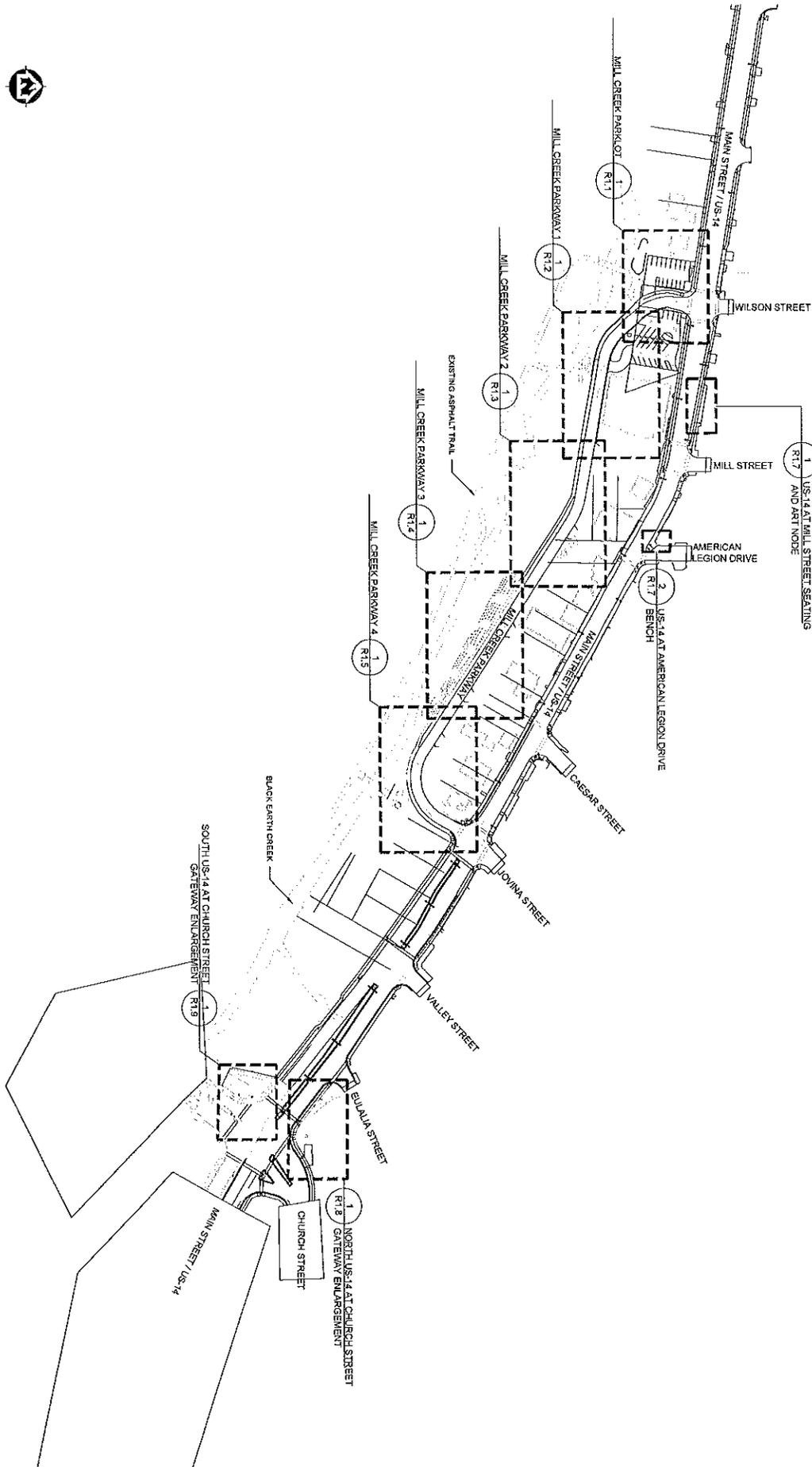
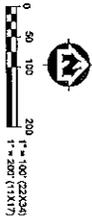


**ORIGINAL PLANS  
DESIGNED BY:**

**MSA**  
ARCHITECTURAL ENGINEERING & ENVIRONMENTAL  
1521 W. Center Avenue, Madison, WI 53716  
(608) 261-1100  
www.msa-engineers.com

**GENERAL NOTES**

- 1) BACKGROUND DRAWING INFORMATION DERIVED FROM WISCONSIN PERMITS. CONTRACTORS SHALL VERIFY THE ACCURACY OF ALL INFORMATION AND NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCIES.
- 2) SURVEY DATA BUILT TO DEPARTMENT OF TRANSPORTATION DRAWINGS FOR USE IN ARE AVAILABLE REVIEW OF USH 14 MAIN STREET DRAWING SPECIFICATIONS.
- 3) ELECTRICAL DRAWINGS PROVIDED ARE FOR REFERENCE PURPOSES ONLY AND SHALL BE USED TO LOCATE EXISTING UTILITIES AND CONDUIT DATE TO BE DETERMINED BY THE CLIENT.
- 4) STATION POINTS AROUND MILL CREEK PARKWAY ARE USED FOR EXISTING CENTERLINE BENCHMARKS. DIMENSIONS FOR TREES AND OBJECTS ARE TAKEN FROM BACK OF CURB.
- 5) THE CONTRACTOR IS RESPONSIBLE FOR LOCATING, PROTECTING AND MARKING ALL EXISTING UTILITIES.



R1.0

NO.	DATE	REVISION	BY
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02220218	06/22/2016	BTW	
62220216	06/22/2016	SMM	

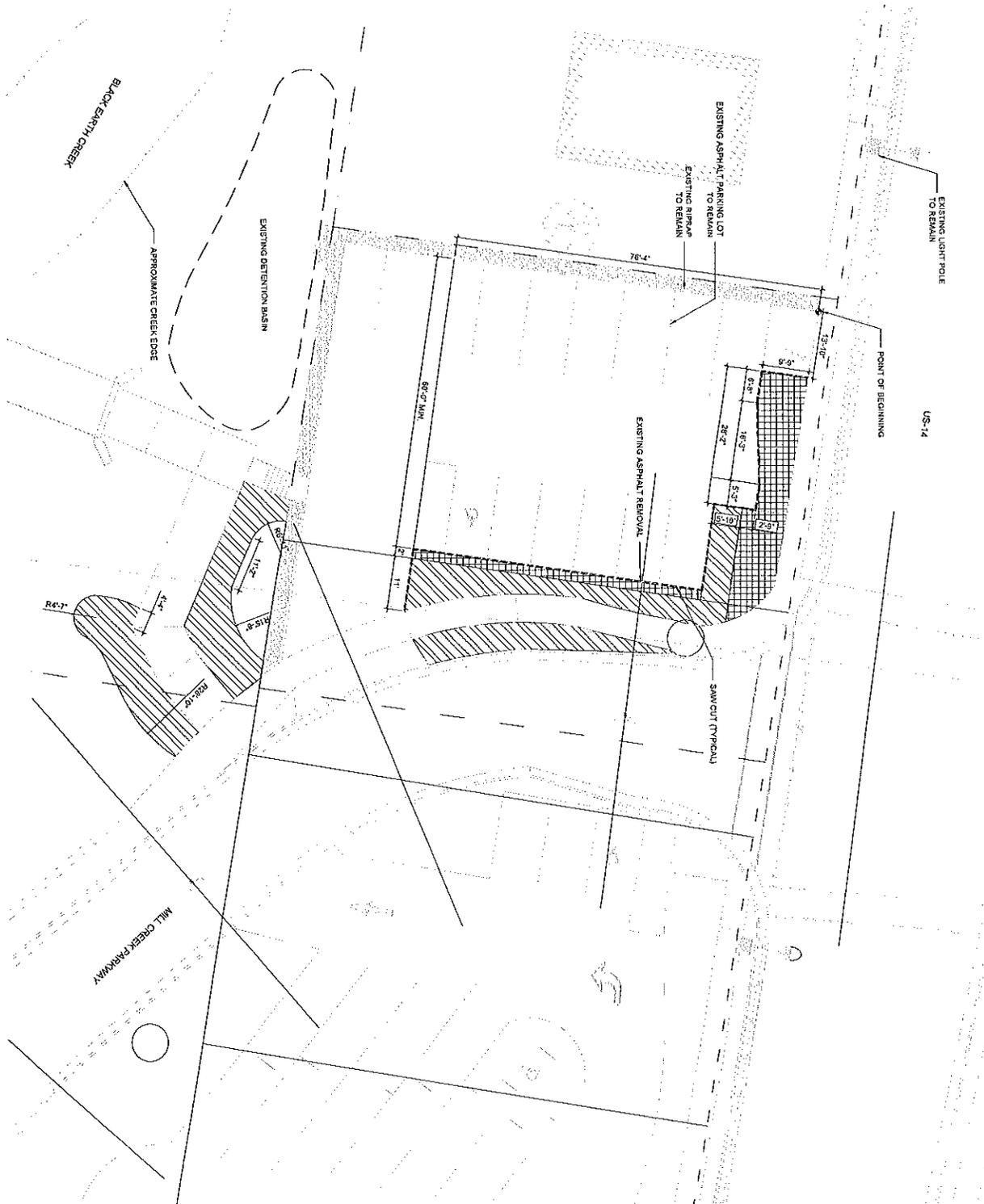
OVERVIEW - REMOVALS  
 VILLAGE OF CROSS PLAINS  
 MILL CREEK PARKWAY STREETScape  
 CROSS PLAINS, WISCONSIN

**MSA**  
 PROFESSIONAL SERVICES

ARCHITECTURE | ENGINEERING | ENVIRONMENTAL  
 PLANNING | PLANNING | SURVEYING  
 4321 West College Avenue, Appleton, WI 54914  
 (920) 542-2500 | FAX (920) 542-2501  
 Web Address: www.msa-usa.com  
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- LEGEND**
-  EXISTING DECIDUOUS SHADE TREE
  -  LAMINUM REMOVAL
  -  ASPHALT REMOVAL
  -  SAW CUT
  -  TREE PROTECTION



R1.1	MILL CREEK PARKING LOT - REMOVALS		PROJECT#	03535021	SCALE	AS SHOWN	NO.	DATE	REVISION	BY
	VILLAGE OF CROSS PLAINS		DATE	7/15/2016	OF	8	BY			
	MILL CREEK PARKWAY STREETSCAPE		PROJECT	7/15/2016	BY	SMW				
	CROSS PLAINS, WISCONSIN		DATE	7/15/2016	BY	SMW				

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 4311 W. College Avenue, Appleton, WI 54912  
 (920) 542-2041 (800) 558-6000 Fax: (920) 757-2403  
 Web Address: www.msaapp.com  
 E-Mail: info@msaapp.com



- LEGEND**
- EXISTING DECIDUOUS SHADE TREE
  - LAMNIFLOR REMOVAL
  - ASPHALT REMOVAL
  - SAW CUT
  - TREE PROTECTION

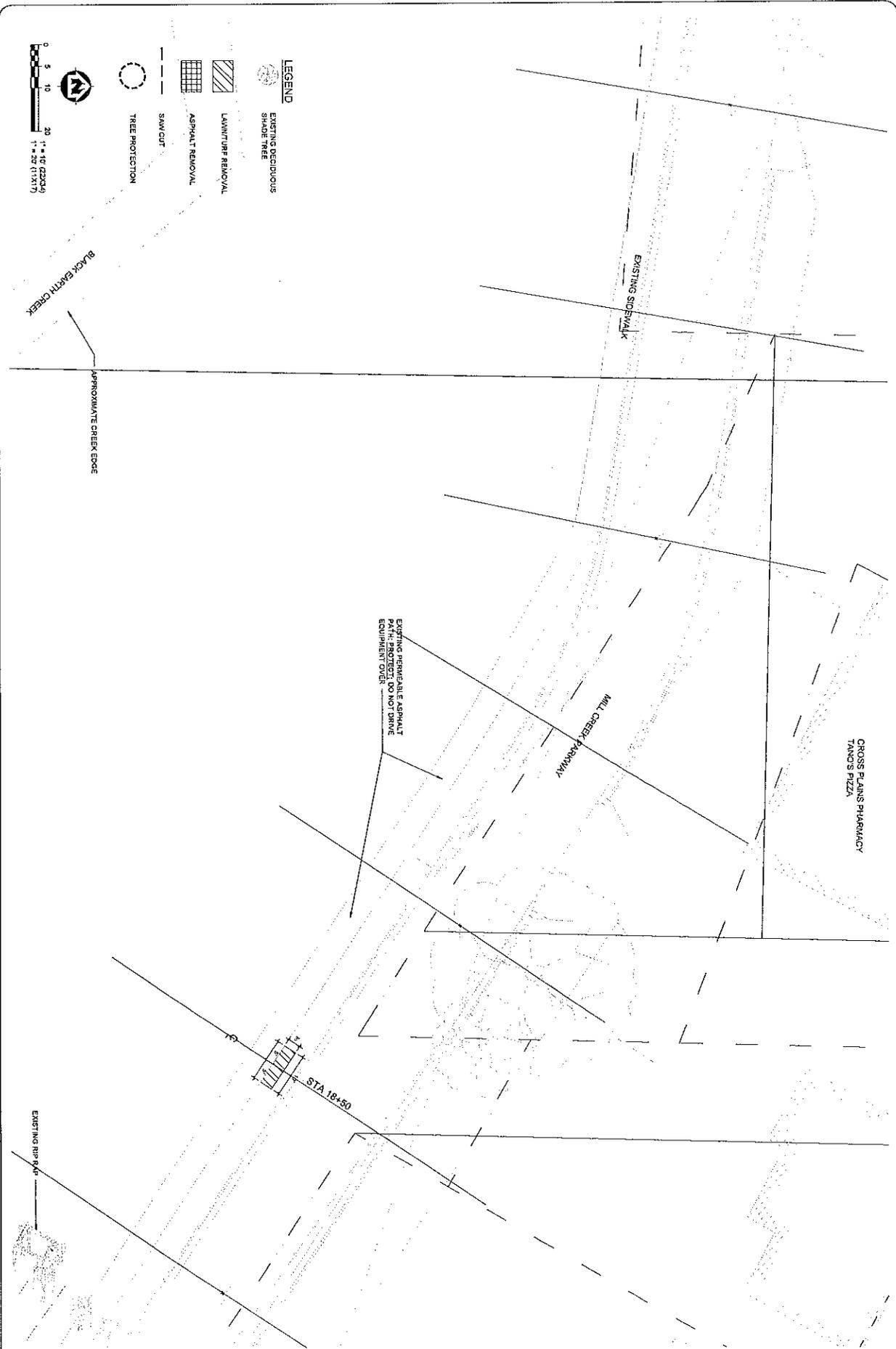


**NO REMOVALS  
THIS SHEET**

ACE TRUE VALUE

<b>RT.2</b> MILL CREEK PARKWAY 1 - REMOVALS VILLAGE OF CROSS PLAINS MILL CREEK PARKWAY STREETSCAPE CROSS PLAINS, WISCONSIN	PROJECT NO. 03535021	SCALE AS SHOWN	NO.	DATE	REVISION	BY
	DATE 7/15/2016	DRAWN BY BTM				
	DATE 7/15/2016	CHECKED BY SMM				

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 4321 W. College Avenue Appleton, WI 54911  
 (920) 545-2000 | FAX (920) 545-2000 | www.msa-pe.com



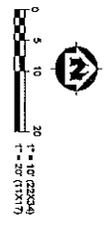
**LEGEND**

- EXISTING DECIDUOUS SHADE TREE
- LAWN/TURF REMOVAL
- ASPHALT REMOVAL
- SAW CUT
- TREE PROTECTION

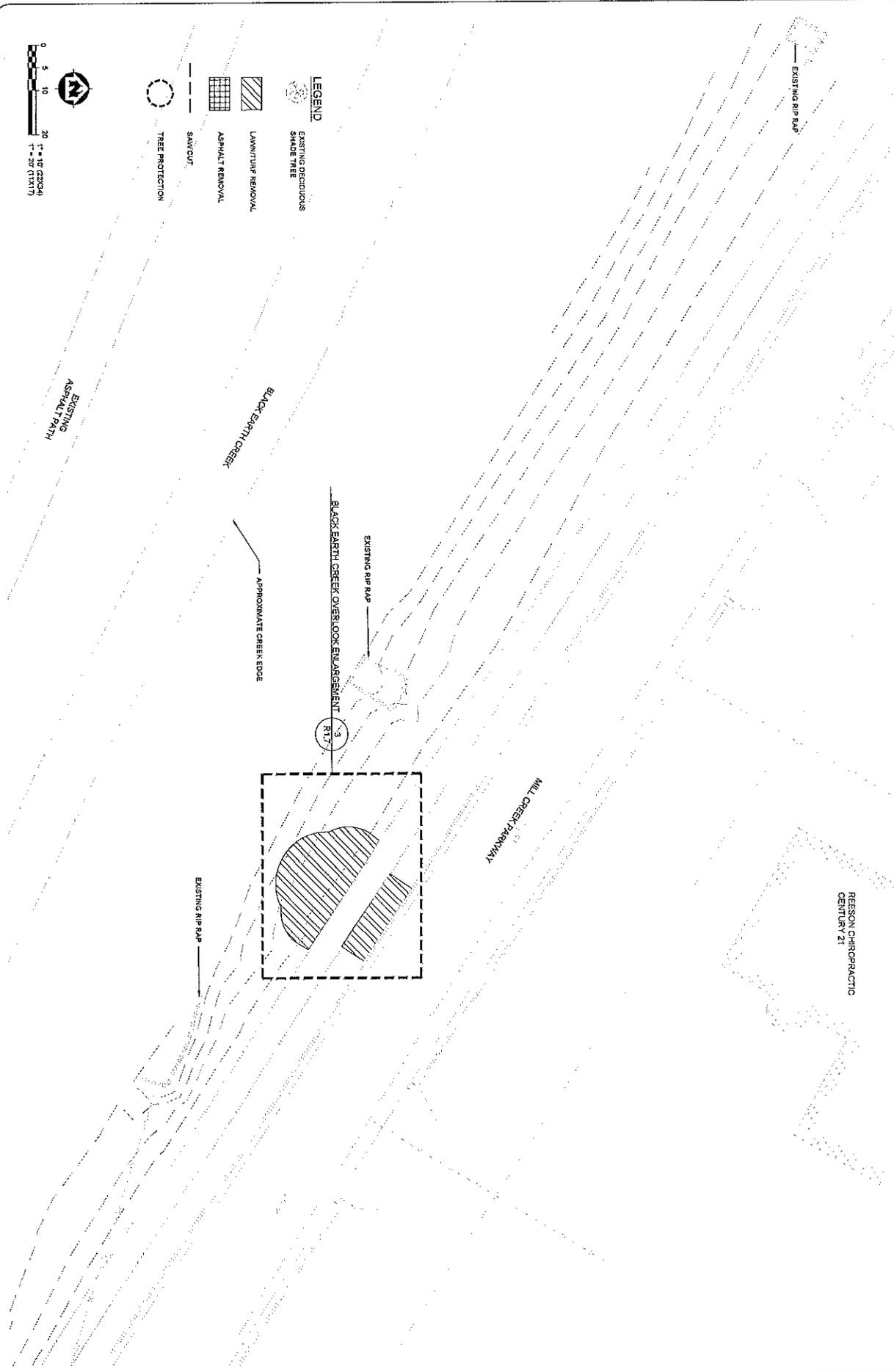
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 1" = 10' (22X29)

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	VILLAGE OF CROSS PLAINS MILL CREEK PARKWAY STREETSCAPE CROSS PLAINS, WISCONSIN	ISSUE DATE 7/15/2016	DATE BY BTB				
		DATE BY SMA					

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 PLANNING | LANDSCAPE SURVEYING  
 4321 W. College Avenue Appleton, WI 54912  
 (920) 245-2282 (Fax) (920) 245-2240  
 Web Address: www.msa-pe.com



- LEGEND**
-  EXISTING OCCASIONAL SHADE TREE
  -  LAMINUM REMOVAL
  -  ASPHALT REMOVAL
  -  SAW CUT
  -  TREE PROTECTION

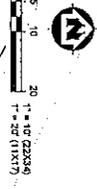


RTA	MILL CREEK PARKWAY 3 - REMOVALS		03535021	SCALE AS SHOWN	DATE	REVISION	BY
	VILLAGE OF CROSS PLAINS MILL CREEK PARKWAY STREETSCAPE CROSS PLAINS, WISCONSIN		7/15/2016	BTM			
			7/15/2016	SMH			

**MSA**  
CONSULTANTS P.A.

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PLANNING | PLANNING | SURVEYING

4321 W. College Avenue, Appleton, WI 54914  
(920) 545-2003 (800) 555-0069 Fax: (920) 757-4401  
Web Address: www.msa-ps.com

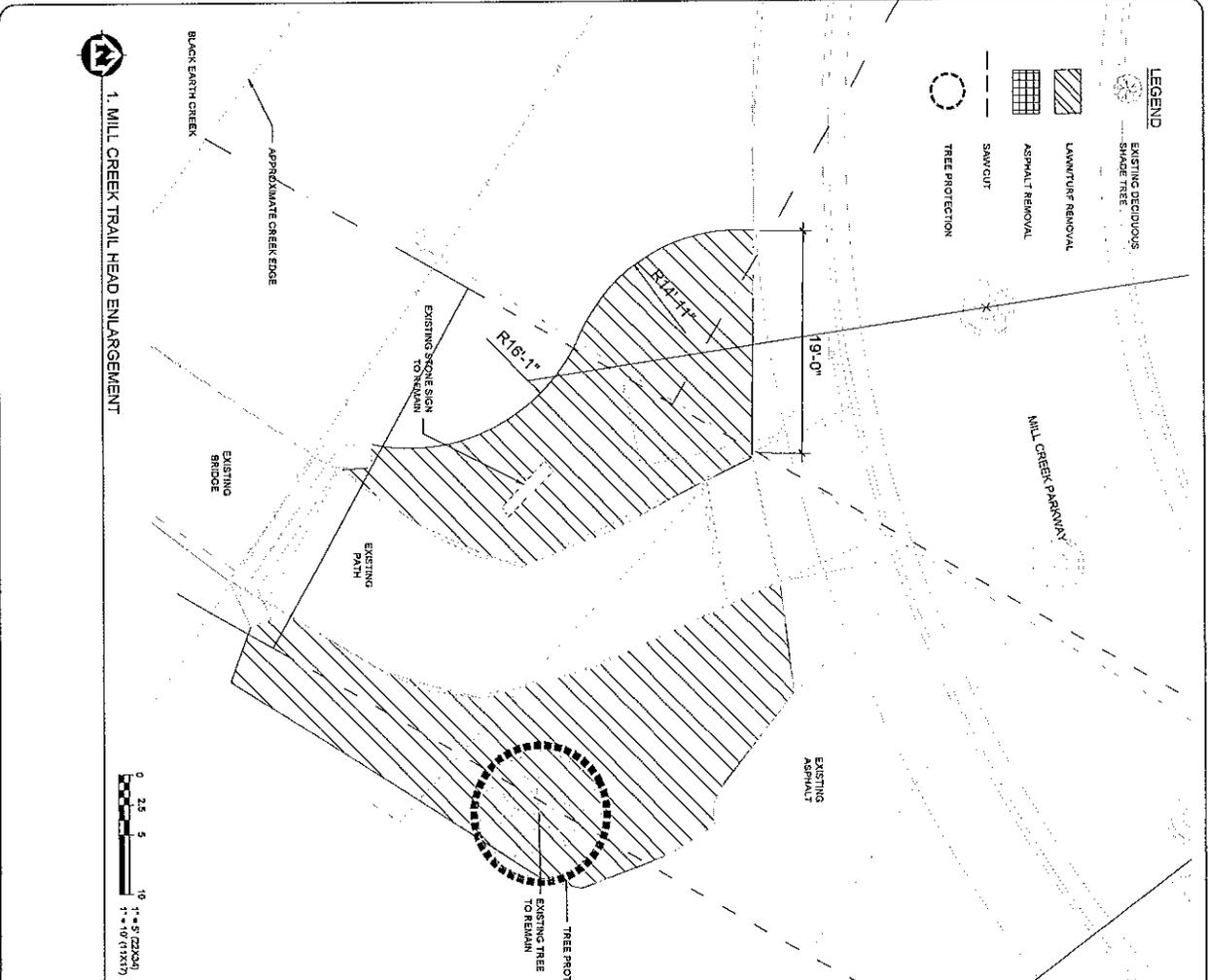


- LEGEND**
- EXISTING DECIDUOUS SHADE TREE
  - LAMINATE REMOVAL
  - ASPHALT REMOVAL
  - SAWCUT
  - TREE PROTECTION

MILL CREEK PARKWAY 4 - REMOVALS  
 VILLAGE OF CROSS PLAINS  
 MILL CREEK PARKWAY STREETSCAPE  
 CROSS PLAINS, WISCONSIN

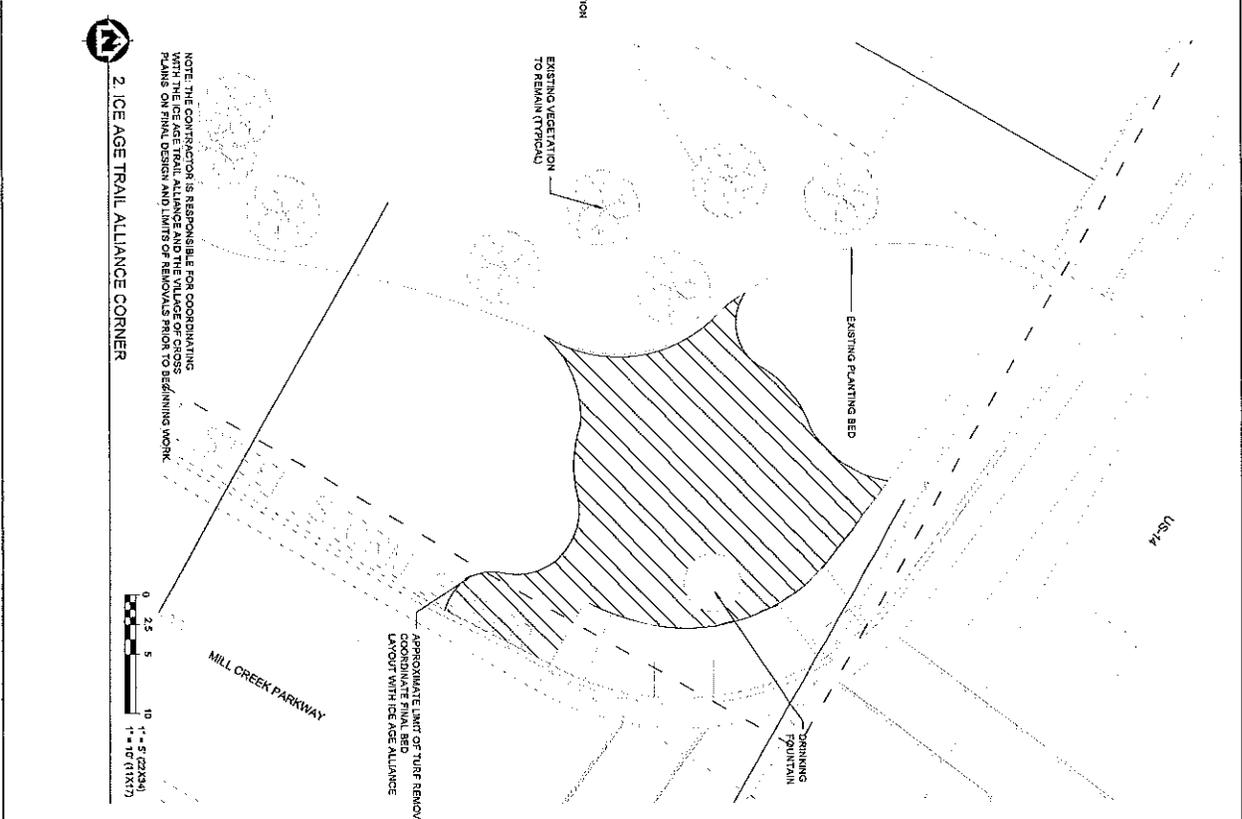
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7/15/2016 <td>7/15/2016 <td>CHANGES</td> <td>SMW</td> </td>	7/15/2016 <td>CHANGES</td> <td>SMW</td>	CHANGES	SMW

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 (920) 545-1071 | (847) 358-6233 | Fax: (920) 752-2401  
 Web: [www.msa-gi.com](http://www.msa-gi.com)



1. MILL CREEK TRAIL HEAD ENLARGEMENT

0 2.5 5 10  
1" = 5' (22X34)  
1" = 10' (11X17)



2. ICE AGE TRAIL ALLIANCE CORNER

0 2.5 5 10  
1" = 5' (22X34)  
1" = 10' (11X17)

NO.	DATE	REVISION	BY

PROJECT	03535021	SCALE	AS SHOWN
DATE	6/18/2018	DESIGNER	BTW
PROJECT	6/18/2018	DATE	6/18/2018

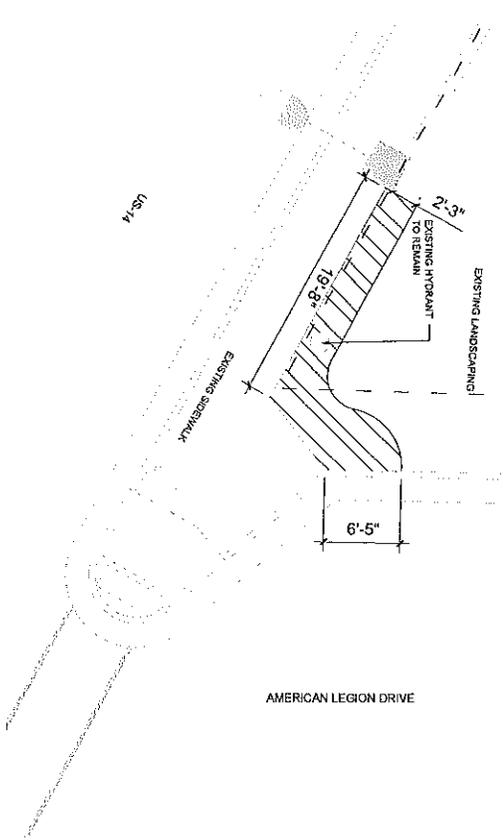
**MSA** ARCHITECTURE | ENGINEERS | ENVIRONMENTAL  
 PLANNING | LANDSCAPE SURVEYING  
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 (920) 842-2000 | Fax: (920) 842-2001  
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**VILLAGE OF CROSS PLAINS**  
**MILL CREEK PARKWAY STREETSCAPE**  
 CROSS PLAINS, WISCONSIN

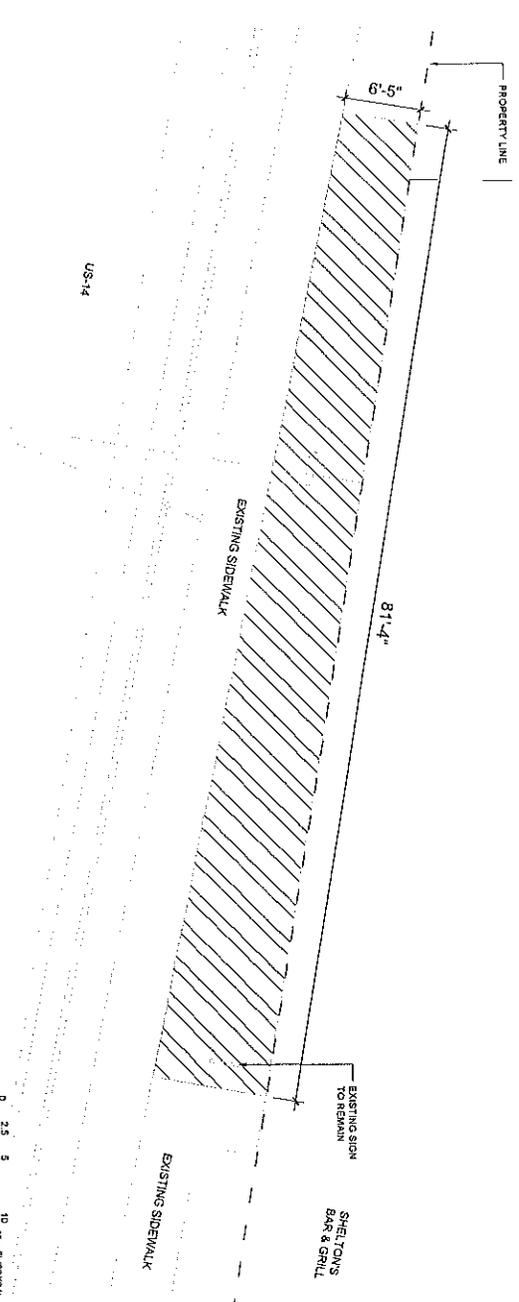
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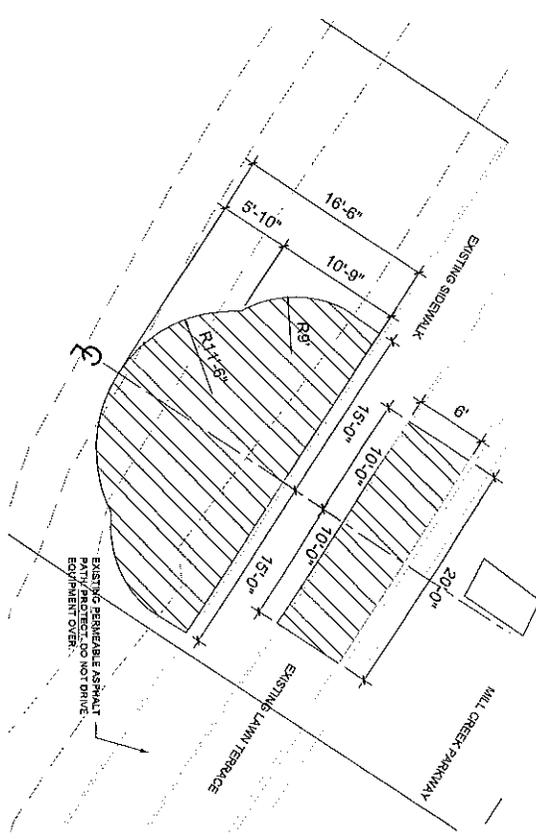
2. US-14 AT AMERICAN LEGION DRIVE



1. US-14 AT MILL STREET SEATING



3. BLACK EARTH CREEK OVERLOOK ENLARGEMENT



**LEGEND**

	EXISTING DECIDUOUS SHROUD TREE
	LAWN/TURF REMOVAL
	ASPHALT REMOVAL
	SMALL CUT
	TREE PROTECTION

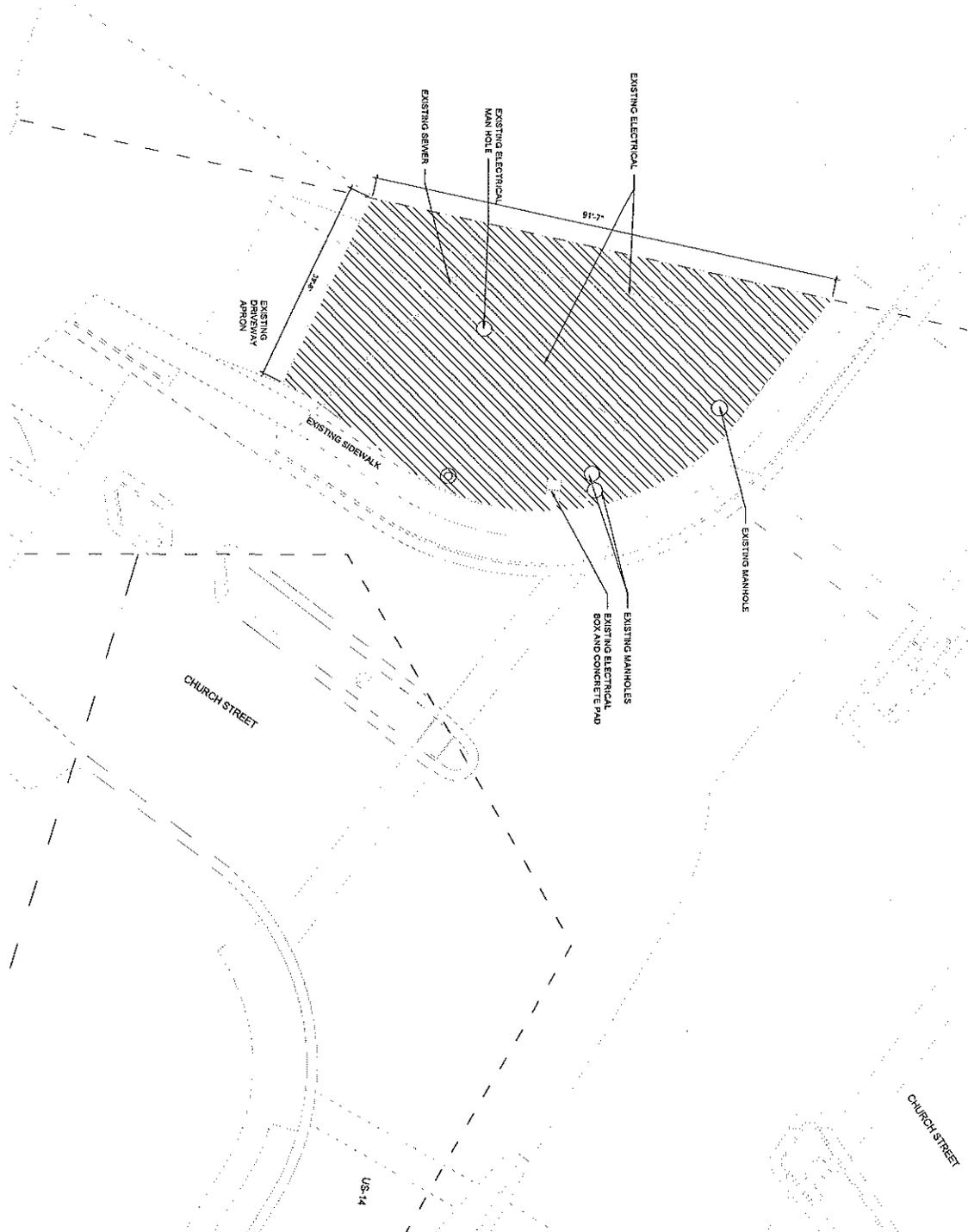
R1.7	MILL CREEK PARKWAY ENLARGEMENTS - REMOVALS		PROJECT NO.	03535021	SCALE	AS SHOWN	DATE		REVISION		BY	
	VILLAGE OF CROSS PLAINS		CLIENT	3/15/2016	DESIGNER	BTW						
	MILL CREEK PARKWAY STREETSCAPE		DATE PLOTTED	7/15/2016	CHECKER	SJM						
	CROSS PLAINS, WISCONSIN											

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 Web: MSA.com Email: info@msa.com

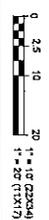




SOUTH US-14 AT CHURCH STREET GATEWAY ENLARGEMENT

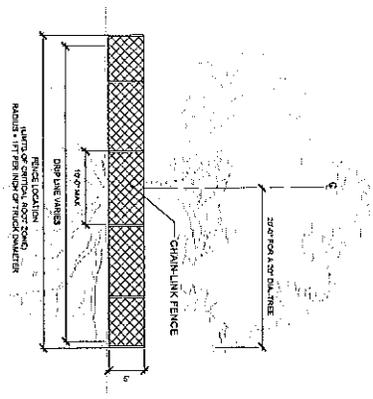


- LEGEND**
- EXISTING DECIDUOUS SHADE TREE
  - LAWN/TURF REMOVAL
  - ASPHALT REMOVAL
  - SAWCUT
  - TREE PROTECTION



<b>RT-9</b> MILL CREEK PARKWAY ENLARGEMENTS - REMOVALS VILLAGE OF CROSS PLAINS MILL CREEK PARKWAY STREETSCAPE CROSS PLAINS, WISCONSIN	PROJECT NO.	03535021	SCALE	AS SHOWN	NO.	DATE	REVISION	BY
	DESIGNER	BTV	DATE	7/15/2016				
	DATE	7/15/2016	DATE					

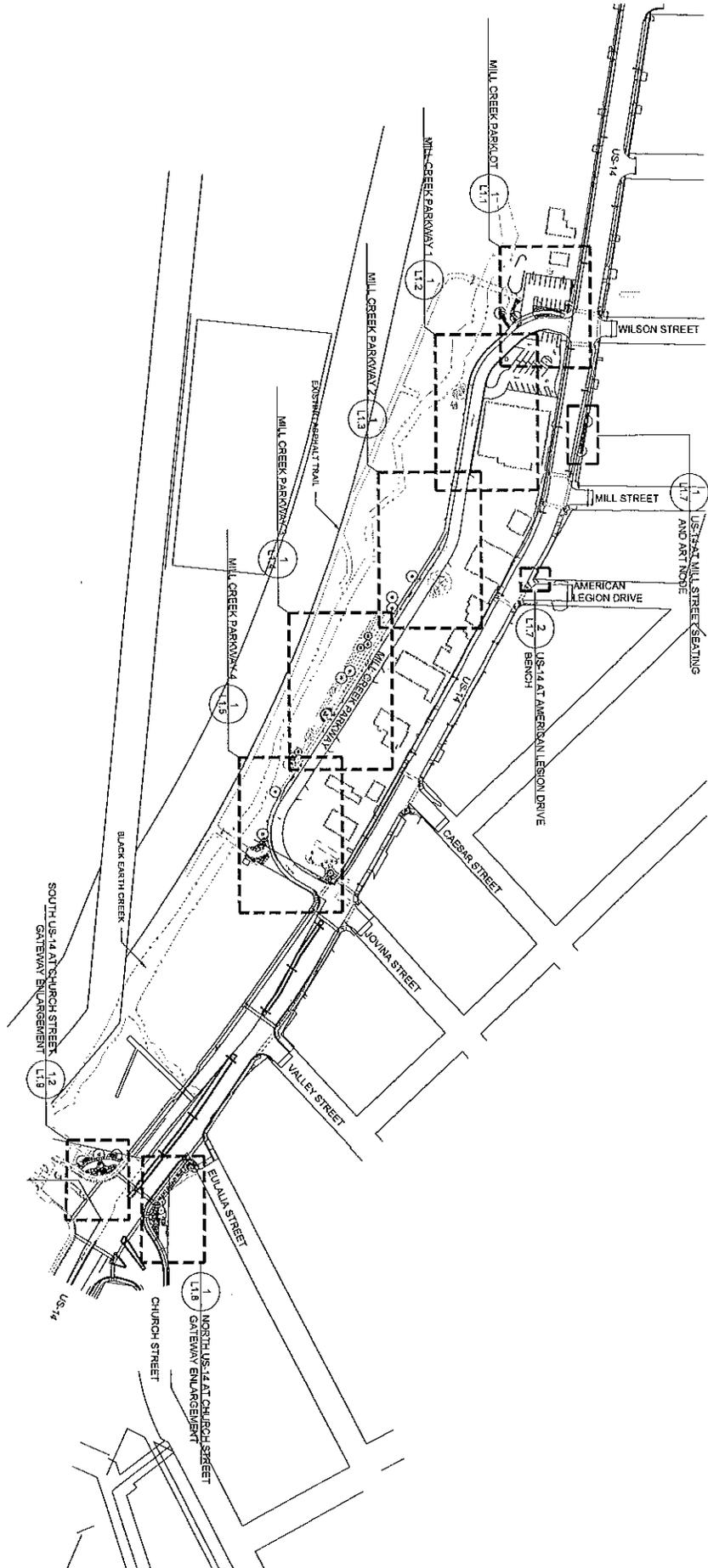
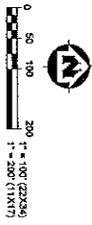
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 (920) 545-2021 | (920) 518-9299 Fax: (920) 517-2403  
 Web Address: www.msa-pe.com



1 TREE PROTECTION FENCE  
SCALE: NTS

R1.10	DETAILS - REMOVALS		PROJECT#	03535021	SCALE	AS SHOWN	NO	DATE	REVISION	BY
	VILLAGE OF CROSS PLAINS		DATE	7/15/2016	DESIGNED	BTV				
	MILL CREEK PARKWAY STREETSCAPE		PROJECT DATE	7/15/2016	DRAWN BY	SMX				
	CROSS PLAINS, WISCONSIN									

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 (920) 545-7043 (FAX) 920-545-7023 Fax: (920) 753-7101  
 Web Address: www.msa-pe.com

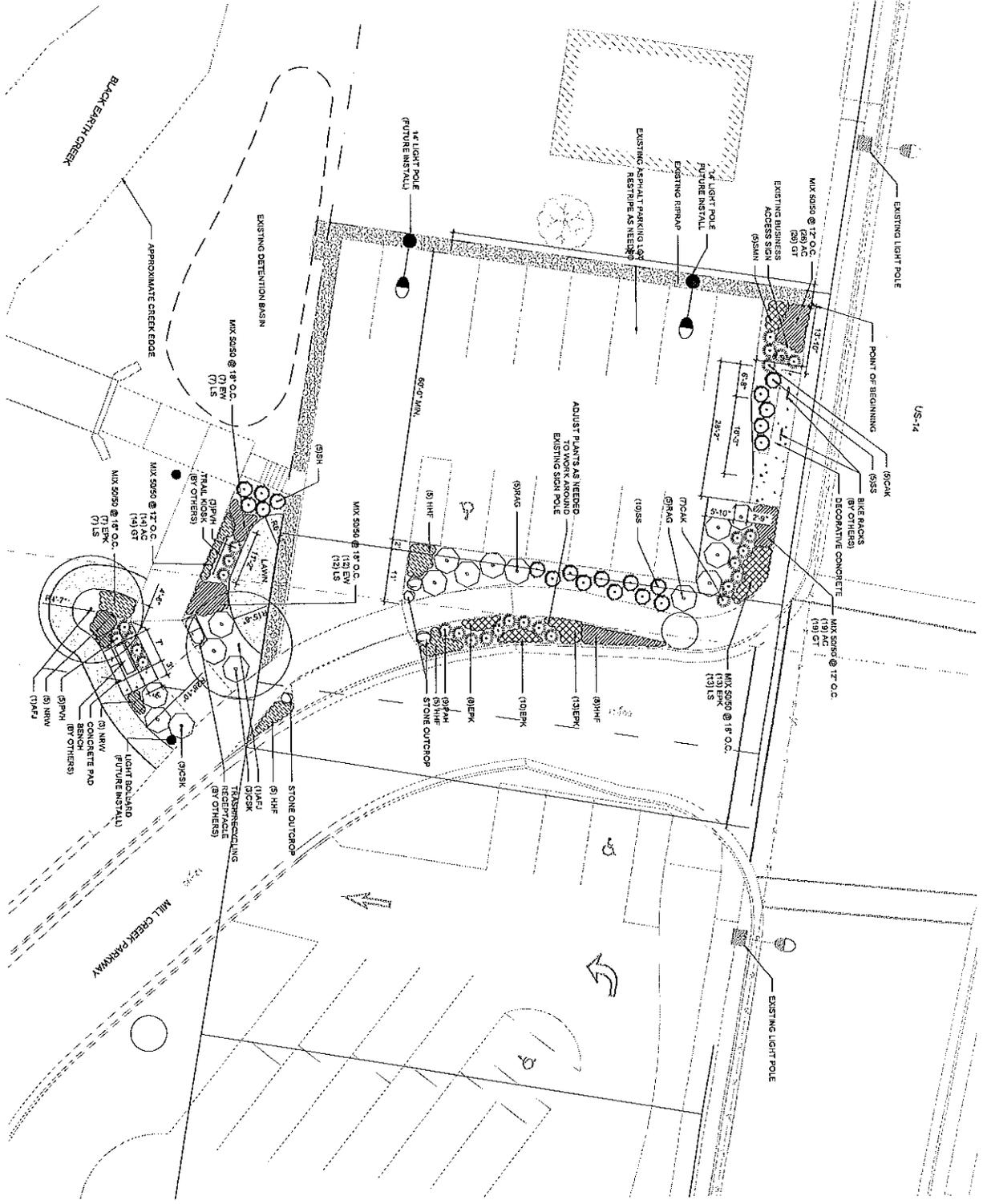
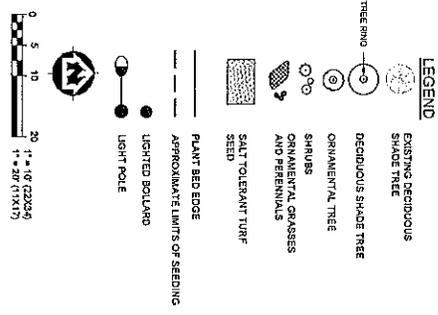


L1.0

OVERVIEW  
 VILLAGE OF CROSS PLAINS  
 MILL CREEK PARKWAY STREETSCAPE  
 CROSS PLAINS, WISCONSIN

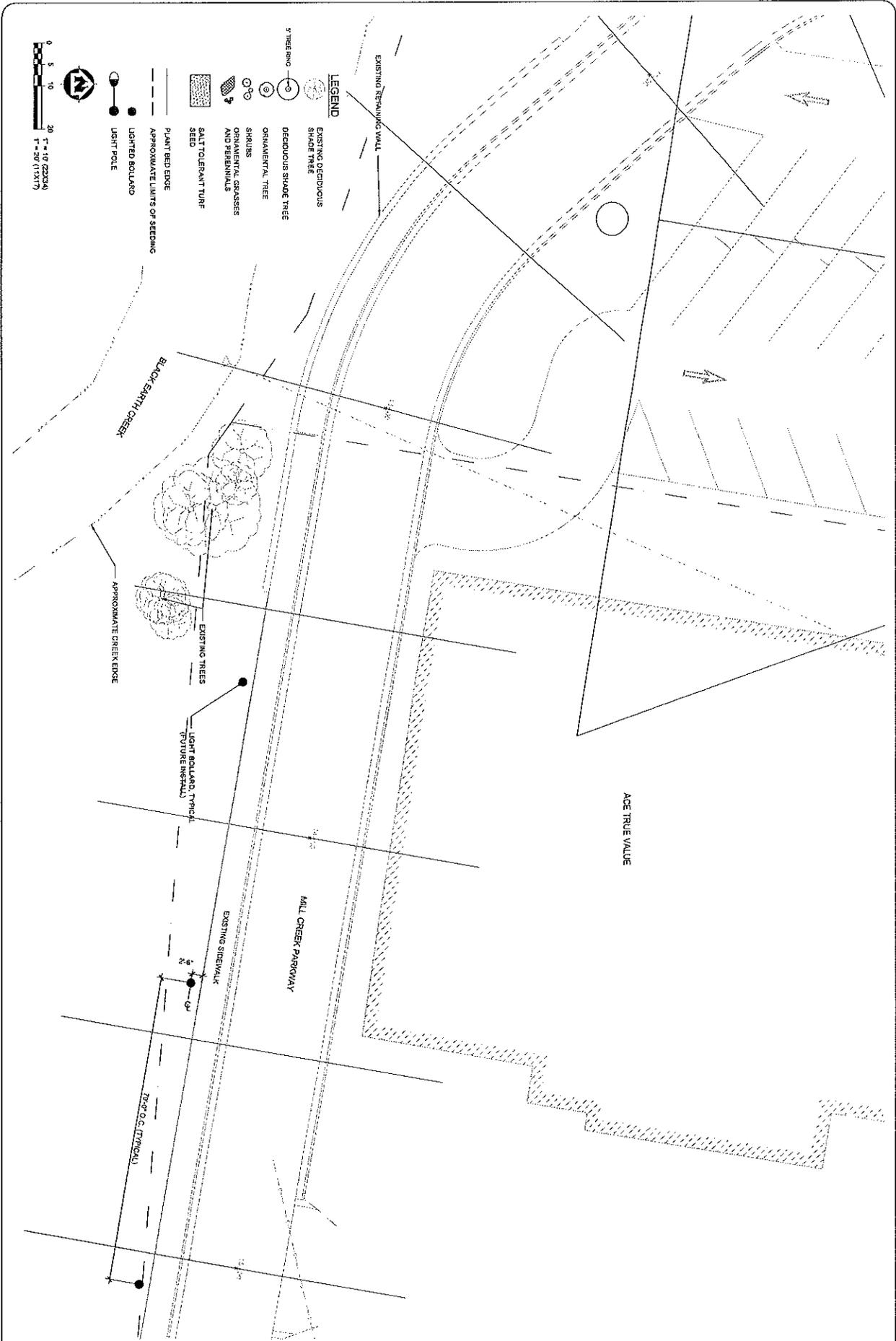
PROJ. NO.	03335021	SCALE	AS SHOWN	NO.	DATE	REVISION	BY
PLANNED	7/15/2016	DRAWN	BTV				
FINAL DATE	7/15/2016	IN CHARGE	SMM				

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 4321 W. College Avenue, Appleton, WI 54916  
 (920) 545-0033 (800) 355-0000 Fax: (920) 757-2400  
 Web Address: www.msa-planning.com

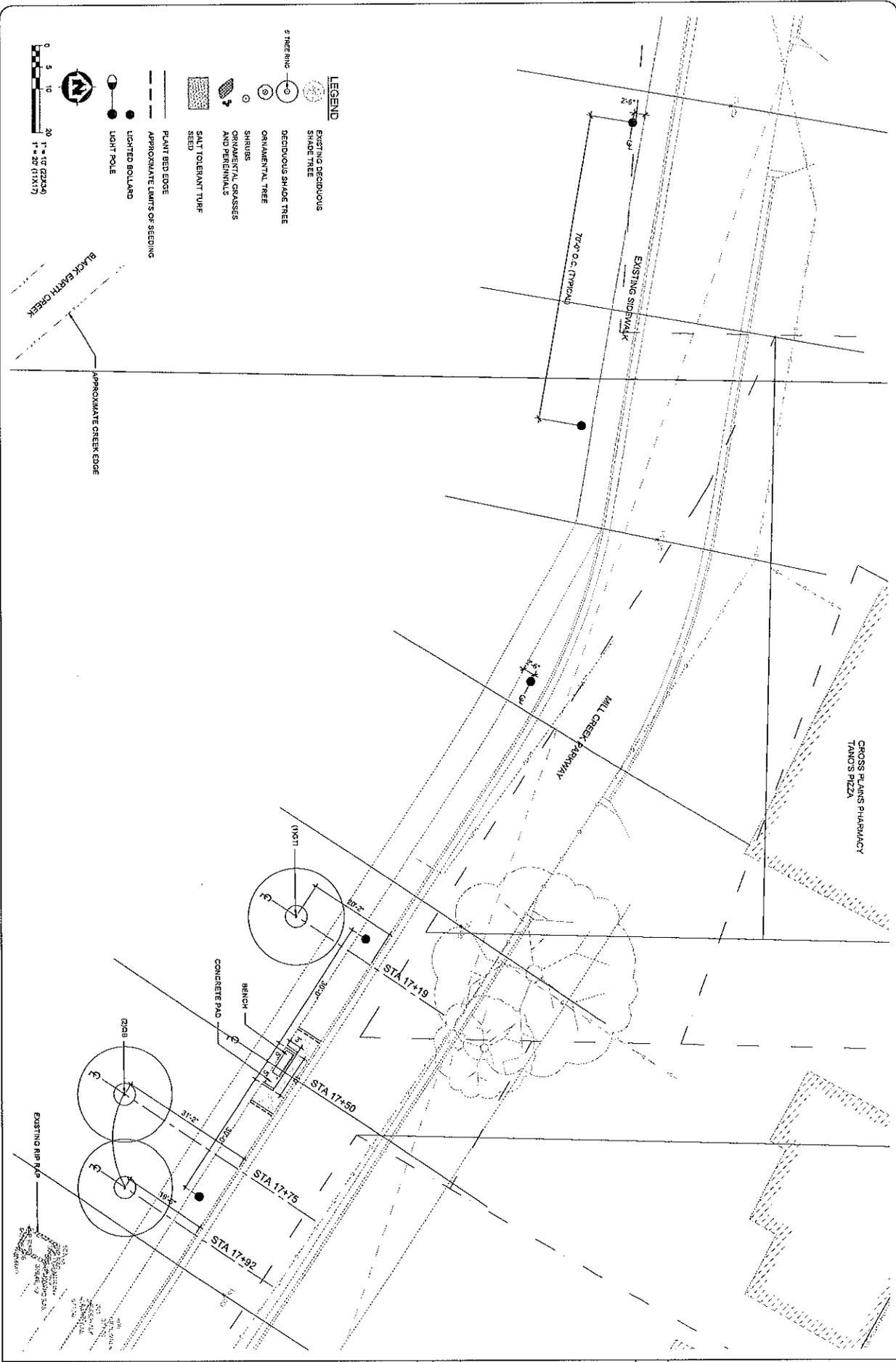


MILL CREEK PARKWAY		PROJECT NO.	03535021	SCALE	AS SHOWN	NO.	1	DATE		REV.	0001	BY	
MILL CREEK PARKWAY		PROJECT NO.	2152016	SCALE	BTV	NO.		DATE		REV.		BY	
MILL CREEK PARKWAY		PROJECT NO.	71152016	SCALE	SMM	NO.		DATE		REV.		BY	

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 Web: [www.msa-inc.com](http://www.msa-inc.com)



<b>MSA</b> ARCHITECTURE   ENGINEERING   ENVIRONMENTAL PLANNING   SURVEYING 4311 W. College Avenue, Appleton, WI 54912 (920) 845-2000   (414) 838-0000 Fax: (920) 877-2401 Web Address: www.msa-pe.com 6700 Appleton Drive, Appleton, WI 54912	PROJECT: 03535021 SCALE: AS SHOWN DATE: 7/15/2016 DRAWN BY: BTM CHECKED BY: SMM	NO. 1 DATE: 7/15/2016 REVISION:	BY:
	MILL CREEK PARKWAY 1 VILLAGE OF CROSS PLAINS MILL CREEK PARKWAY STREETSCAPE CROSS PLAINS, WISCONSIN	PROJECT: 03535021 SCALE: AS SHOWN DATE: 7/15/2016 DRAWN BY: BTM CHECKED BY: SMM	NO. 1 DATE: 7/15/2016 REVISION:



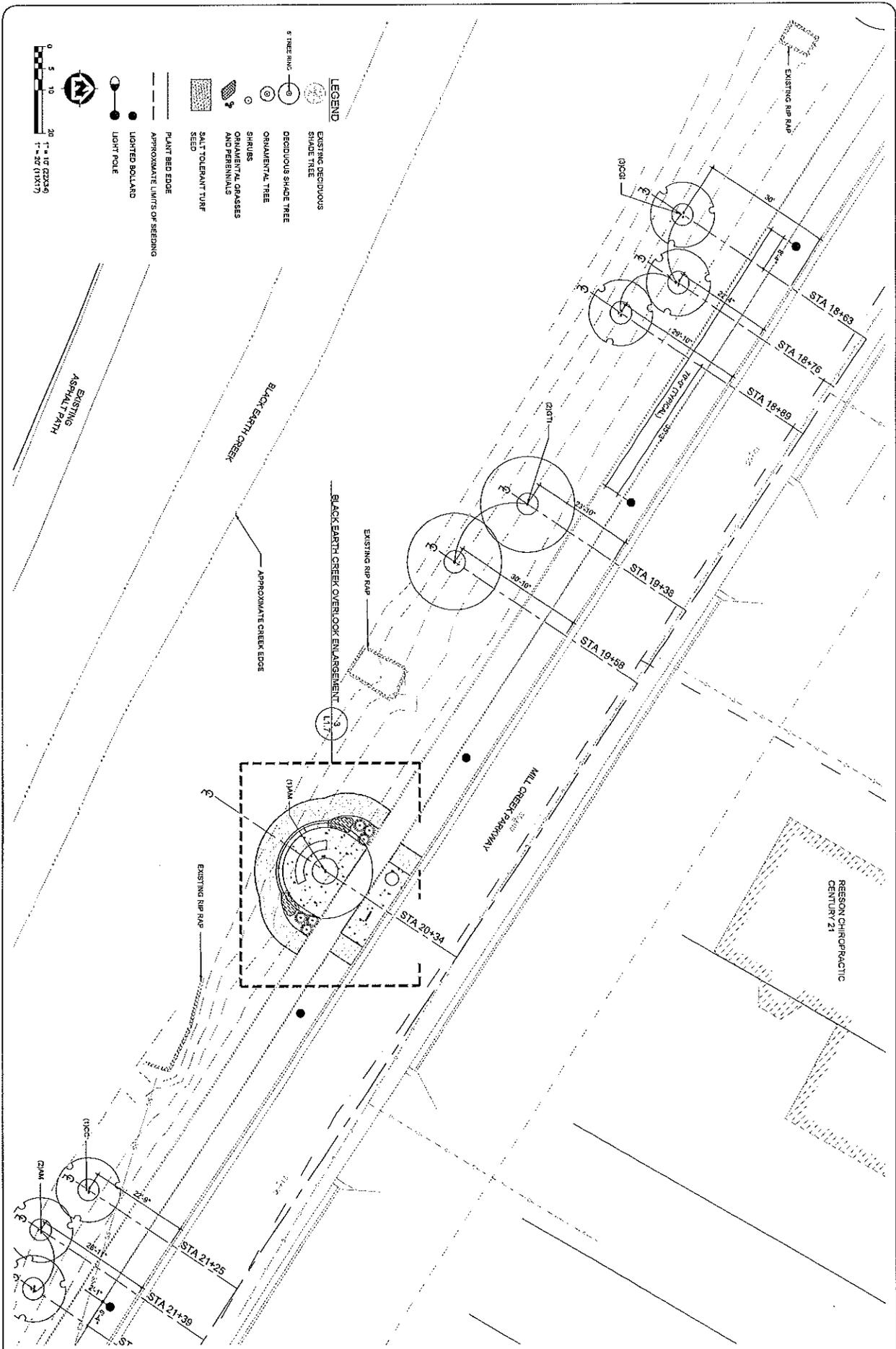
**LEGEND**

- EXISTING DECIDUOUS SHADE TREE
- DECIDUOUS SHADE TREE
- ORNAMENTAL TREE
- SHRUBS
- ORNAMENTAL GRASSES AND PERENNIALS
- SALT TOLERANT TURF (SEED)
- PLANT BED EDGE
- APPROXIMATE LIMITS OF SEEDING
- LIGHTED BOLLARD
- LIGHT POLE
- SEEDING

Scale: 1" = 10' (22x34)  
1" = 20' (11x17)

L1.3	MILL CREEK PARKWAY 2		NO. DATE	REVISION	BY
	VILLAGE OF CROSS PLAINS MILL CREEK PARKWAY STREETSCAPE CROSS PLAINS, WISCONSIN		SCALE AS SHOWN		
	DATE: 7/15/2016	DESIGNER: BTM	CHECKER: SMN		
	PROJECT NO: 03535021	DATE: 7/15/2016	CHECKER: SMN		

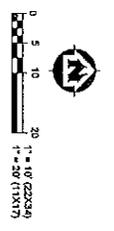
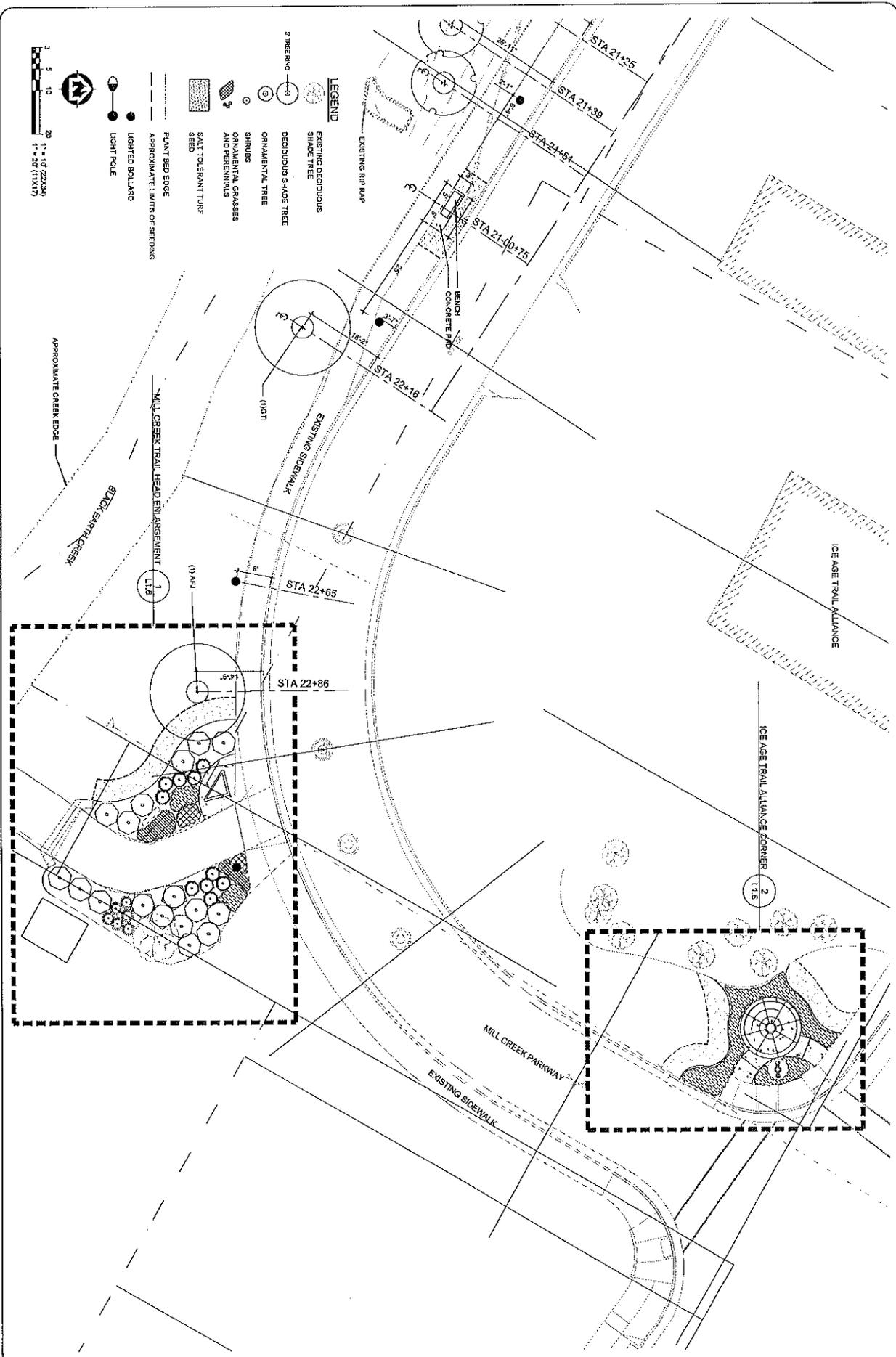
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- LEGEND**
- EXISTING DECIDUOUS SHADE TREE
  - DECIDUOUS SHADE TREE
  - ORNAMENTAL TREE
  - SHRUBS
  - ORNAMENTAL GRASSES AND PERENNIALS
  - SALT TOLERANT TURF SEED
  - PLANT BED EDGE
  - APPROXIMATE LIMITS OF SEEDING
  - LIGHTED BOLLARD
  - LIGHT POLE
- 0 5 10 20  
1" = 10' (20X24)  
1" = 20' (11X17)

L174	MILL CREEK PARKWAY 3		PROJECT NO.	03535021	SCALE	AS SHOWN	NO.	DATE	REV	BY
	VILLAGE OF CROSS PLAINS MILL CREEK PARKWAY STREETScape CROSS PLAINS, WISCONSIN		DATE	2/15/2018	DESIGNER	BTV				
			PROJECT DATE	7/15/2018	DATE	7/15/2018	BY	SMM		

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 FOUNDRY & PLANNING CONSULTING  
 4323 W. College Avenue Appleton, WI 54914  
 (920) 545-2063 (644) 958-0209 Fax: (920) 757-2401  
 Web: msa.com www.msa.com



- LEGEND**
- EXISTING DECIDUOUS SHADE TREE
  - DECIDUOUS SHADE TREE
  - ORNAMENTAL TREE
  - SHRUBS
  - ORNAMENTAL GRASSES AND PERENNIALS
  - SALT TOLERANT TURF SEED
  - PLANT BED EDGE
  - APPROXIMATE LIMITS OF SEEDING
  - LIGHTED POLLARD
  - LIGHT POLE

L1.5	MILL CREEK PARKWAY 4		PROJECT NO.	03535021	SCALE	AS SHOWN	NO.	DATE	REVISION	BY
	VILLAGE OF CROSS PLAINS		PLANNED BY	7/15/2016	DRAWN BY	BTV				
	MILL CREEK PARKWAY STREETSCAPE		PROJECT DATE	7/15/2016	CHECKED BY	SMH				
	CROSS PLAINS, WISCONSIN									

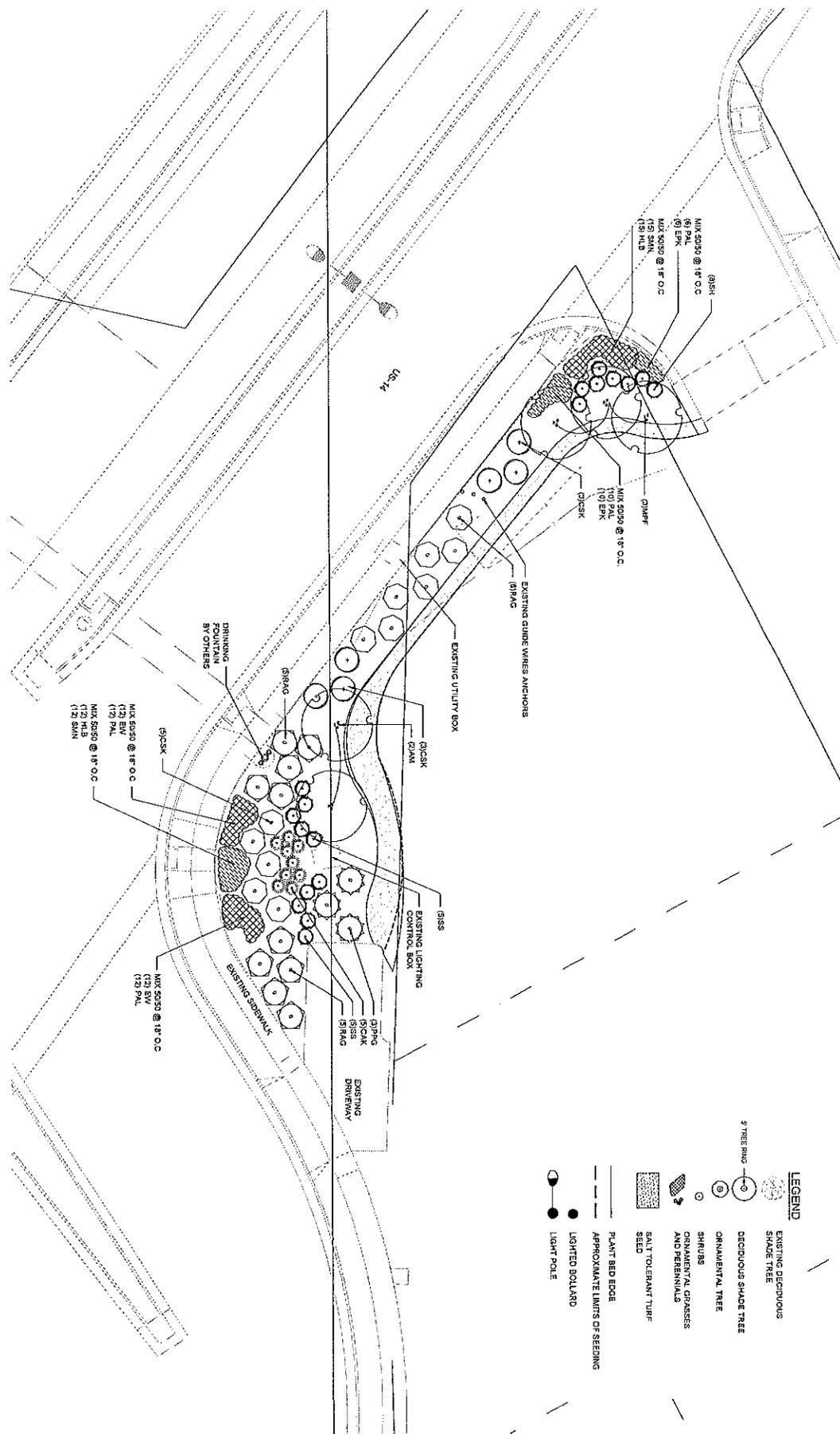
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 8321 W. College Avenue, Appleton, WI 54914  
 (920) 545-3883 (800) 558-6203 Fax: (920) 727-2101  
 Web Address: www.msa-pe.com





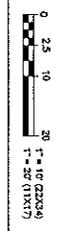


NORTH US-14 AT CHURCH STREET GATEWAY ENLARGEMENT



**LEGEND**

- EXISTING DECIDUOUS SHADE TREE
- DECIDUOUS SHADE TREE
- ORNAMENTAL TREE
- SHRUBS
- ORNAMENTAL GRASSES AND PERENNIALS
- SALT TOLERANT TURF SEED
- PLANT BED EDGE
- APPROXIMATE LIMITS OF SEEDING
- LIGHTED BOLLARD
- LIGHT POLE



MILL CREEK PARKWAY ENLARGEMENTS		PROJECT NO.	03535021	SCALE	AS SHOWN	NO.	DATE	REVISION	BY
VILLAGE OF CROSS PLAINS		DATE	7/15/2016	DESIGNED BY	BTW				
MILL CREEK PARKWAY STREETSCAPE		DATE	7/15/2016	DRAWN BY	SMM				
CROSS PLAINS, WISCONSIN									

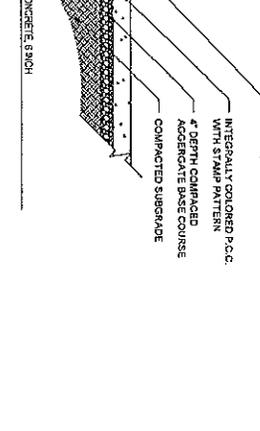
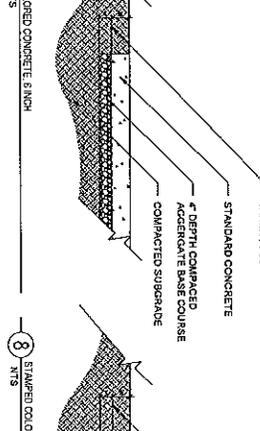
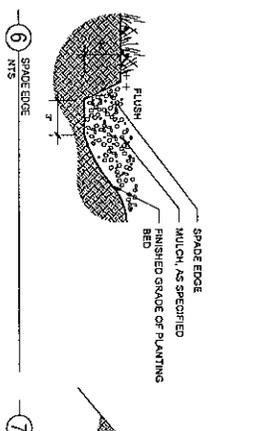
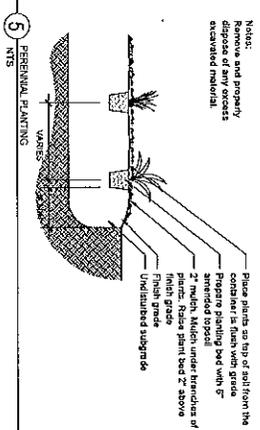
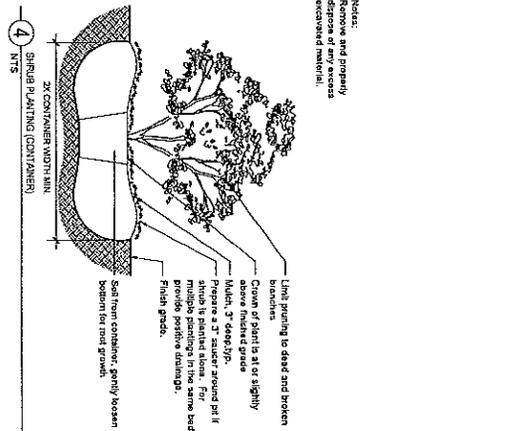
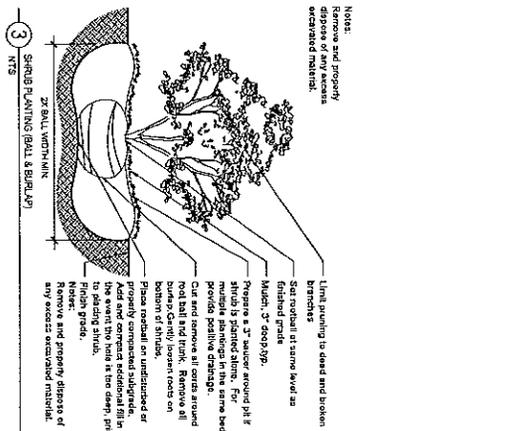
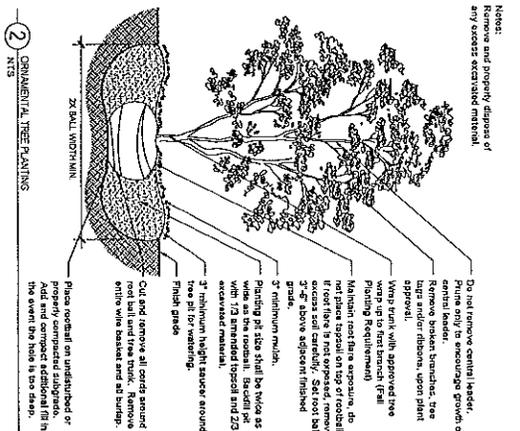
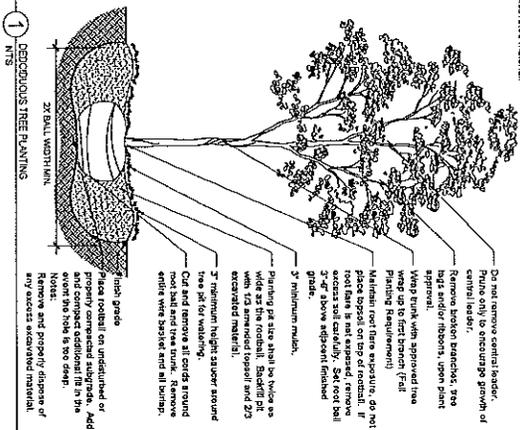
**MSA** ARCHITECTURE | PLANNING | ENVIRONMENTAL  
 4321 W. College Parkway, Appleton, WI 54914  
 (920) 545-2000 | (920) 545-4000 | Fax: (920) 545-2400  
 Web: [www.msa-us.com](http://www.msa-us.com)

L1.8





Notes:  
Remove and properly dispose of any excess excavated material.



Notes:  
Remove and properly dispose of any excess excavated material.

Notes:  
Remove and properly dispose of any excess excavated material.

Notes:  
Remove and properly dispose of any excess excavated material.

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Remove and properly dispose of any excess excavated material.

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Remove and properly dispose of any excess excavated material.

Notes:  
Remove and properly dispose of any excess excavated material.

Notes:  
Remove and properly dispose of any excess excavated material.

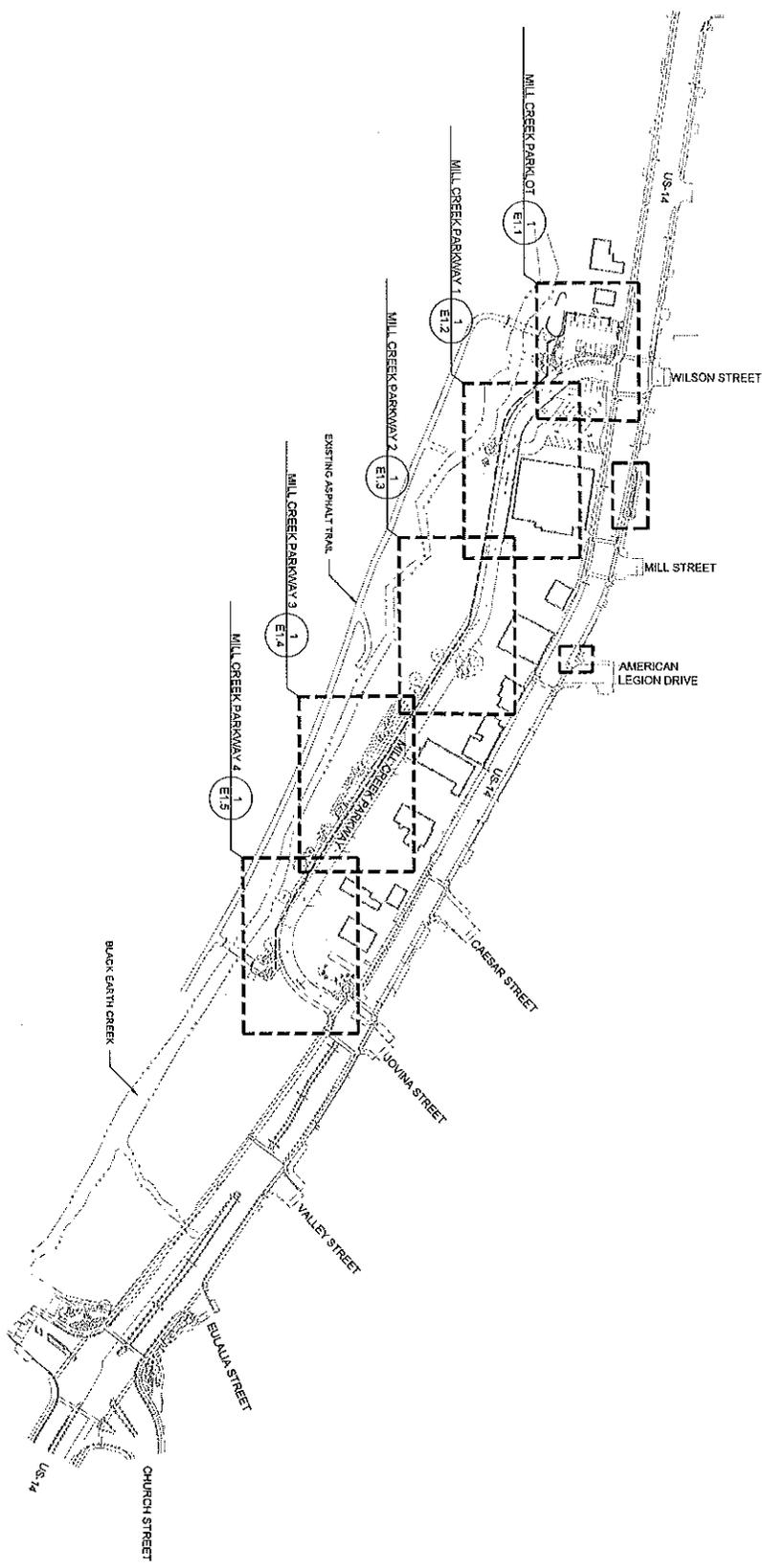
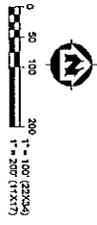
Notes:  
Remove and properly dispose of any excess excavated material.

Notes:  
Remove and properly dispose of any excess excavated material.

Notes:  
Remove and properly dispose of any excess excavated material.

Notes:  
Remove and properly dispose of any excess excavated material.

PROJECT #	03535021	SCALE	AS SHOWN	NO.	DATE	REVISION	BY
ISSUED	7/15/2016	DESIGN	BTY				
REVISED	7/15/2016	CONTRACT	SKM				

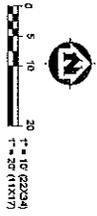


ET 10

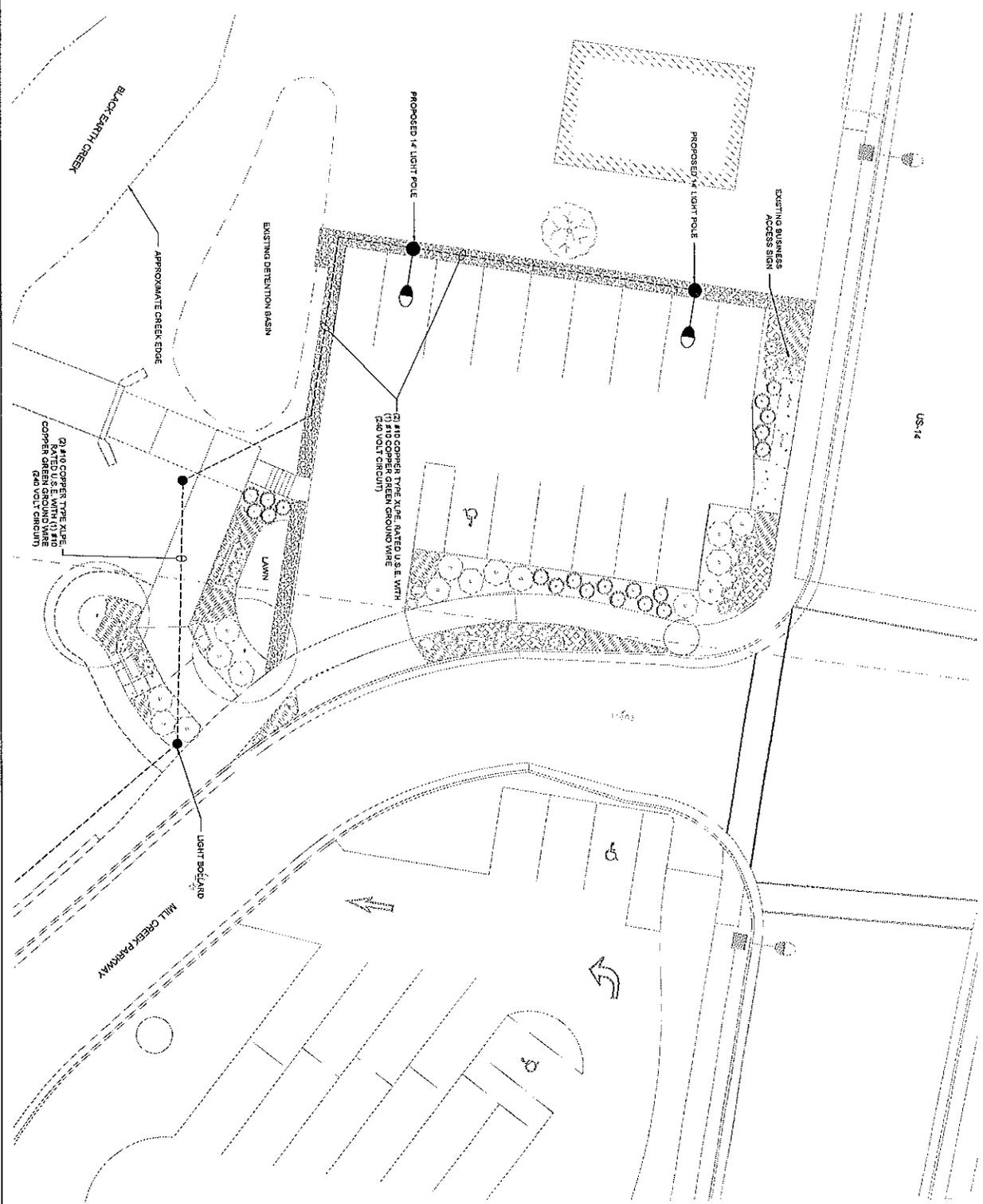
OVERVIEW	NO. 03535021	SCALE AS SHOWN	NO.	DATE	REVISION	BY
VILLAGE OF CROSS PLAINS MILL CREEK PARKWAY STREETSCAPE CROSS PLAINS, WISCONSIN	DATE 7/15/2016	DESIGNER CAZ/BTV				
	REVISION 7/15/2016	DESIGNER MTP/SMM				

NO.	DATE	REVISION	BY

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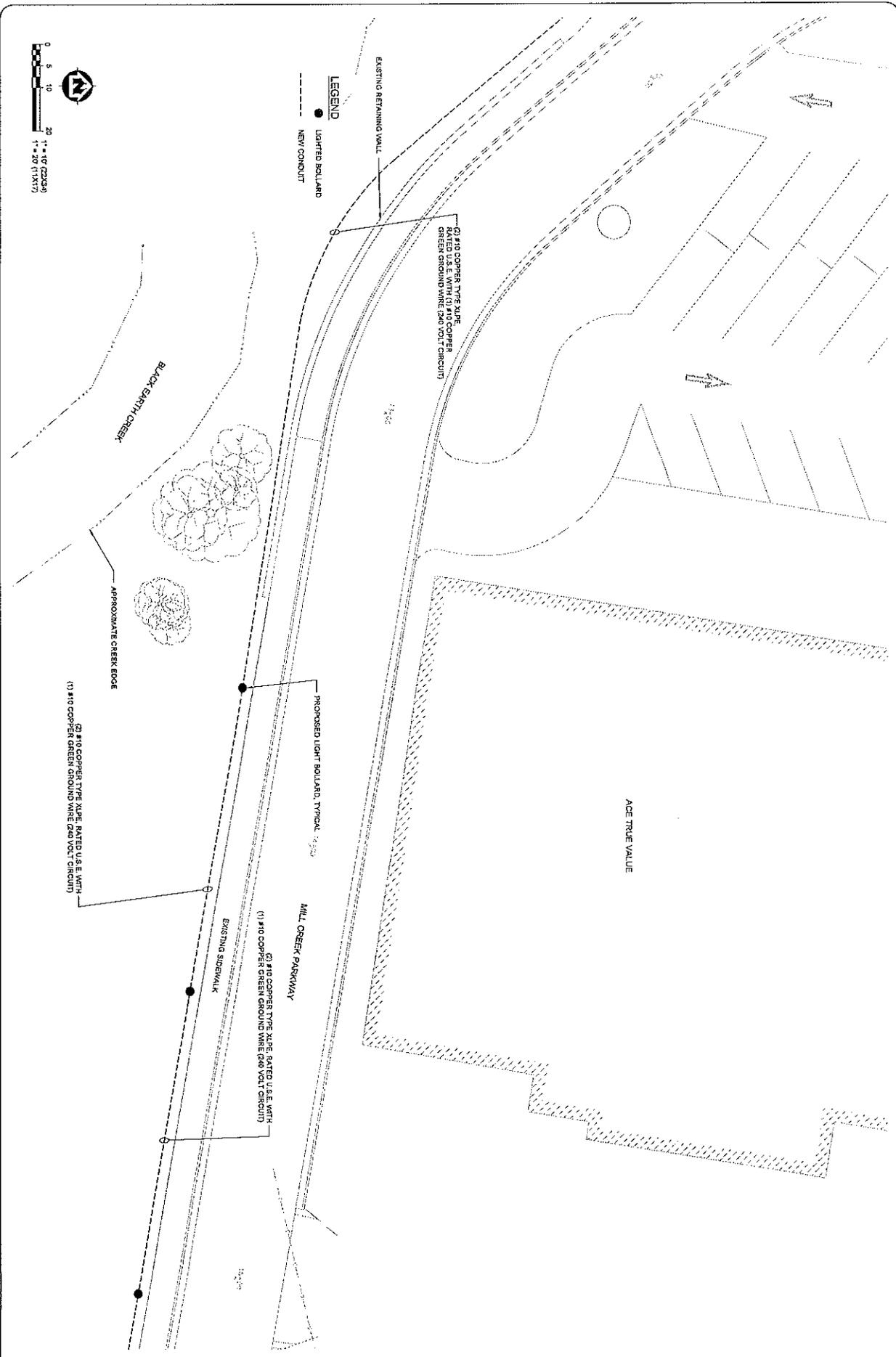


**LEGEND**  
 ● LIGHTED BOLLARD  
 ○ LIGHT POLE  
 --- NEW CONDUIT

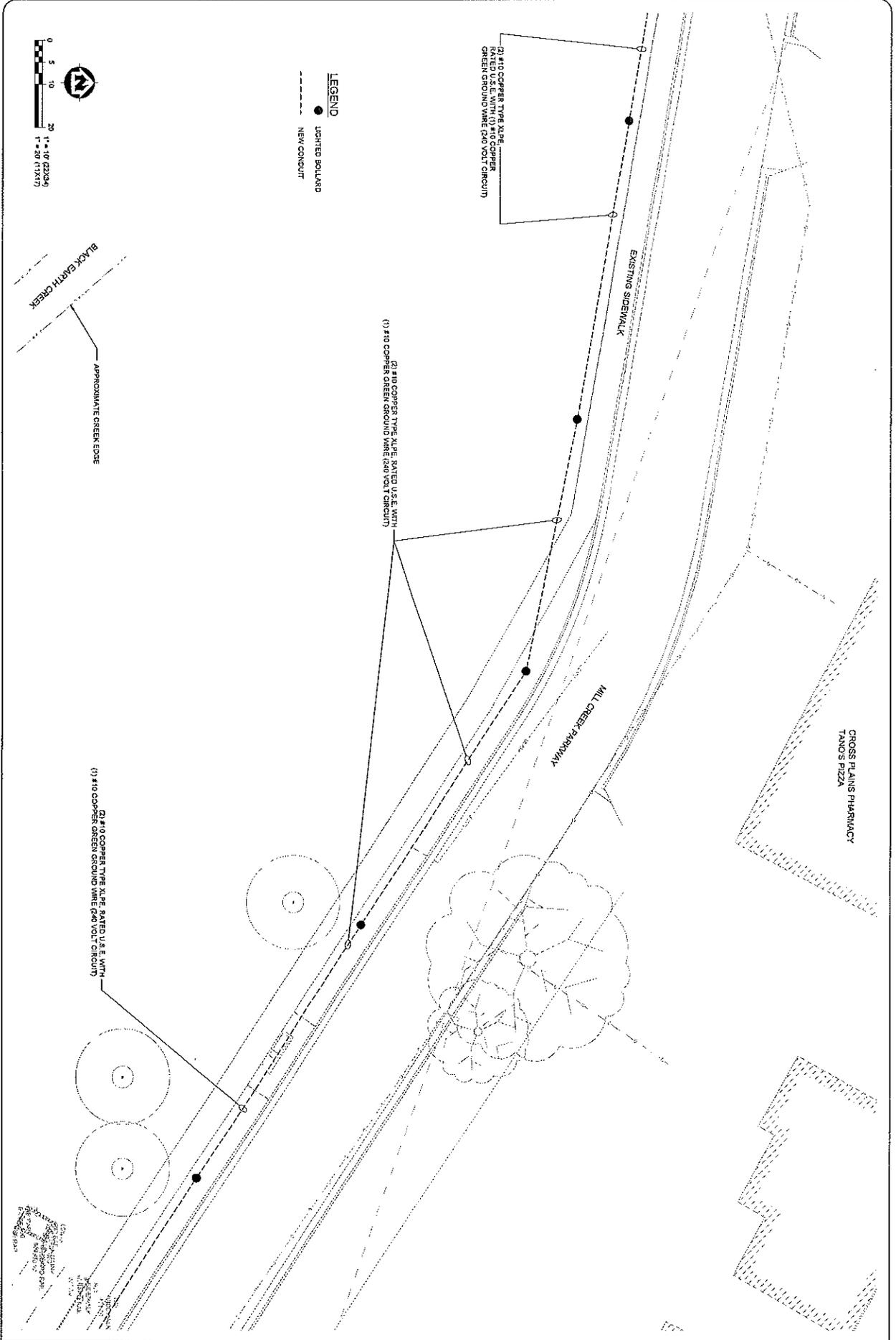


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	VILLAGE OF CROSS PLAINS		DATE	7/15/2015	DESIGNER	OAZ/BTV				
	MILL CREEK PARKWAY STREETScape		PROJECT NO.	7115/2015	CLIENT	MTP/SMA				
	CROSS PLAINS, WISCONSIN									

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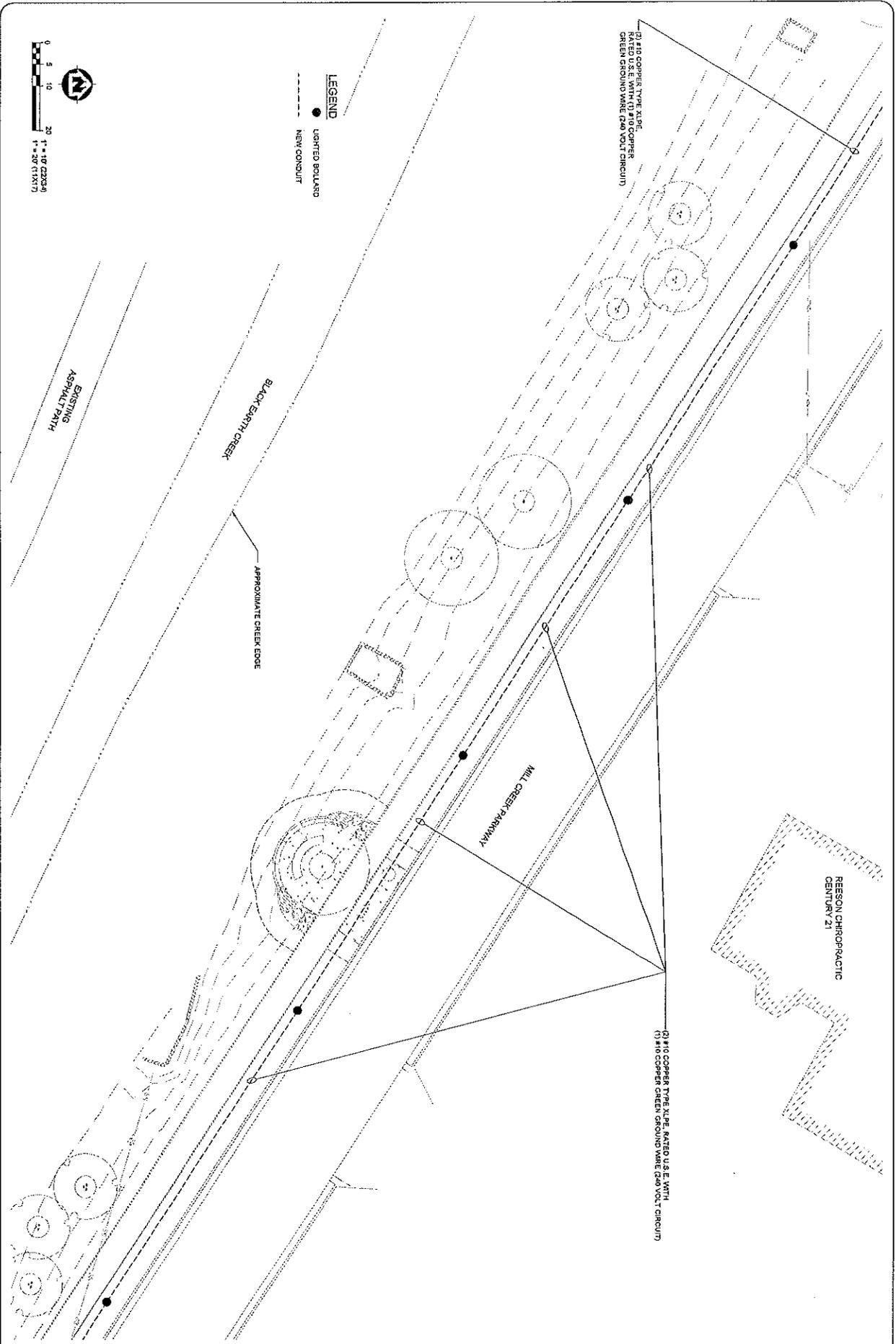


<b>ET-2</b> MILL CREEK PARKWAY 1 VILLAGE OF CROSS PLAINS MILL CREEK PARKWAY STREETScape CROSS PLAINS, WISCONSIN	03535021	SCALE AS SHOWN	7/15/2015	07/15/2015	07/15/2015	07/15/2015	07/15/2015	07/15/2015	07/15/2015	07/15/2015	07/15/2015
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	07/15/2015	07/15/2015	07/15/2015	07/15/2015	07/15/2015	07/15/2015	07/15/2015	07/15/2015	07/15/2015	07/15/2015	07/15/2015
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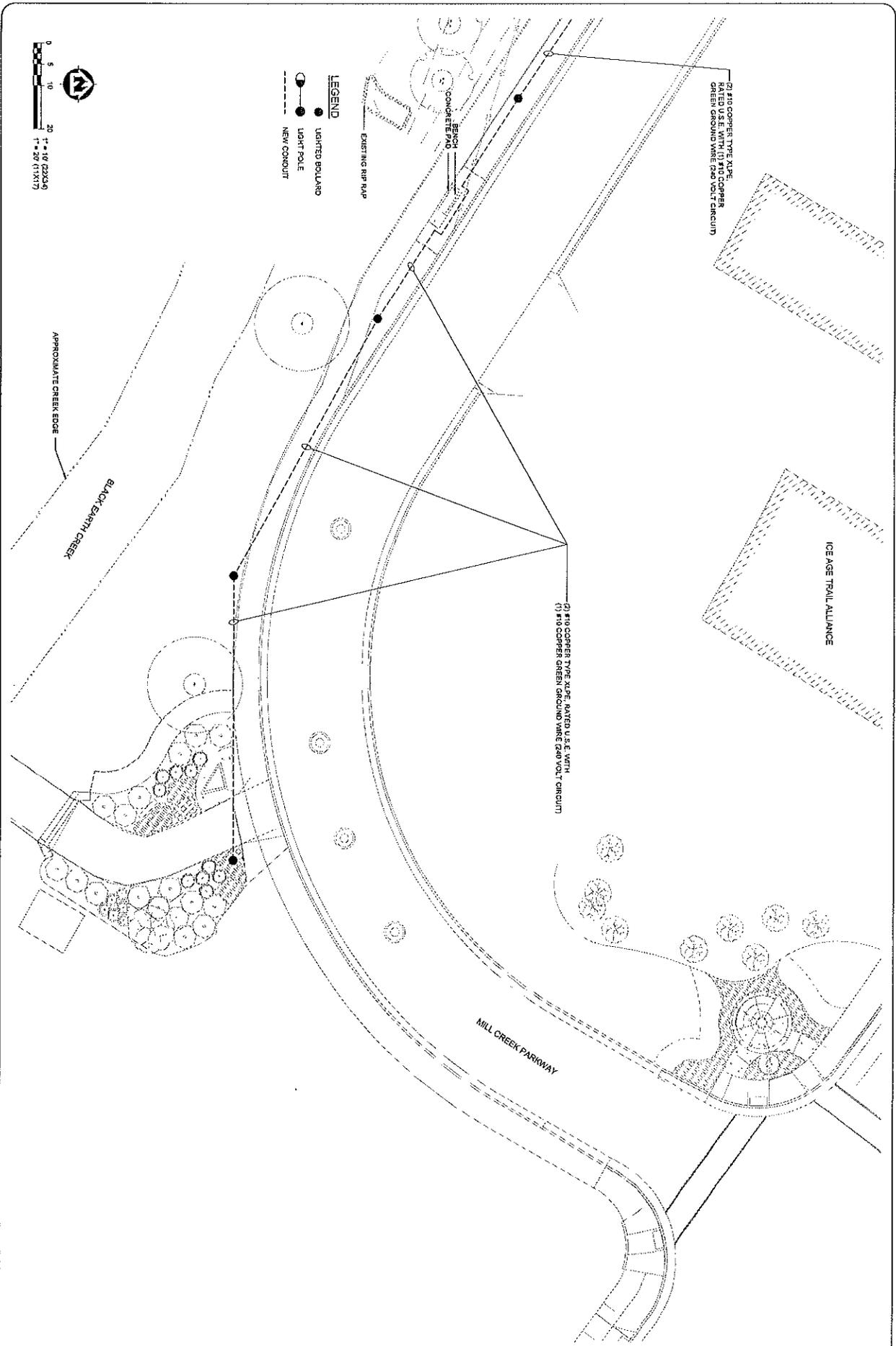
MILL CREEK PARKWAY 2 VILLAGE OF CROSS PLAINS MILL CREEK PARKWAY STREETSCAPE CROSS PLAINS, WISCONSIN	PROJECT NO.	03535021	SCALE	AS SHOWN	NO.	DATE	REVISION	BY
	CLIENT	7/15/2016	DESIGNER	OAZ/BTV	-	-	-	-
	DATE	7/15/2016	CHECKER	MTP/SMM	-	-	-	-
	DATE		DATE					

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 (920) 945-0043 (815) 358-0009 FAX: (920) 957-2901  
 WWW.MSAGROUP.COM



E.T.A. 1/4"	MILL CREEK PARKWAY 3		PROJECT NO.	03535021	SCALE	AS SHOWN	NO.	DATE	REVISION	BY
	VILLAGE OF CROSS PLAINS		DATE	7/15/2016	DESIGNED	CAZ/BTV				
	MILL CREEK PARKWAY STREETScape		DATE	7/15/2016	CHECKED	MTP/SJM				
	CROSS PLAINS, WISCONSIN									

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 (920) 545-2013 (FAX) (920) 545-2014 (TOLL FREE)  
 Web Address: www.msa-usa.com  
 E-mail: info@msa-usa.com



<b>MSA</b> <small>ARCHITECTURE   ENGINEERING   ENVIRONMENTAL PLANNING   INTERIORS   DESIGN</small>	<b>MILL CREEK PARKWAY 4</b> <b>VILLAGE OF CROSS PLAINS</b> <b>MILL CREEK PARKWAY STREETSCAPE</b> <b>CROSS PLAINS, WISCONSIN</b>	PROJECT NO: 03535021 DATE: 7/15/2016 PROJECT: 7/15/2016	SCALE: AS SHOWN DESIGNER: OAZ/BTV CHECKER: JATP/SMM	NO. _____ DATE _____ _____ DATE _____ _____ DATE _____	BY _____ _____ _____
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Web Address: www.msa-planning.com  
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Renee Bratton

---

**From:** Andrew Bremer <abremer@msa-ps.com>  
**Sent:** Friday, August 19, 2016 11:10 AM  
**To:** Tom Pientka  
**Cc:** Susan Sowatzke; Rachel Pientka; Mike Axon; Pat Andreoni (jpandreo@aol.com); Paul A. Johnson; Clarke Sugar; Renee Bratton  
**Subject:** RE: Updated Esser Place Development Agreement v. 08-19-2016  
**Attachments:** CrossPlains\_WestGatewayInc\_EsserPlace\_DraftDevelopmentAgreement\_08192016\_RedLined.docx; CrossPlains\_WestGatewayInc\_EsserPlace\_DraftDevelopmentAgreement\_08192016\_Clean.docx

Tom,

I have attached a red line version and a clean version of the development agreement that will be placed in the Board's packet for their meeting on Monday. This draft reflect comments from Pat, Paul, Mike and myself and will be discussed and finalized by the Board on Monday. I have highlighted in the red lined version those areas with amendments from the draft sent by Rachel last week. Please note the following:

1. Facility Description. Based on Mike's review of past meeting minutes the direction of the Village to date has been to have all addresses on Mill Creek Parkway. Pat has confirmed that this is the position he supports. I have removed those portions of the agreement that specified new property addresses.
2. TIF Payment Date. The Village can provide payment at the time of closing on the land transfer.
3. Parking Lot Easements. The Village has no concerns regarding allowing a temporary construction easement. My understanding is that the previous conversation to date has been that the approach to the long-term use of the parking lot would be by lease. There is probably a lot of overlap in the content of either type of document; however, with the permanent easement the commercial tenants will always have the right to use the parking lot, which is a benefit to them/developer. We have kept the permanent easement language in the draft agreement, the Board will confirm if they are comfortable with this approach. Paul will try to have something roughed out by Monday but it can be finalized after the Board approves the agreement. There were some other minor changes to this section as highlighted.
4. Letter of Credit & Assessment Guarantee. Pat has confirmed that he supports removal of the Letter of Credit in its entirety but the assessment guarantee should remain as presented and approved in the TIF Application. We have round this down to \$6.5M. This was also the direction provided by Matt after the July 25<sup>th</sup> Board meeting.
5. Article III, Section A. Paul has concerns regarding the lease language requested in this section and feels that the developer should have ownership of any parcels that are subject to the agreement. I have revised the agreement accordingly. You or Sugar may want to speak directly with Paul on this issue prior to the Board meeting.

Please let me know if you have any questions,

Andrew



**Andrew Bremer, AICP** | Project Planner

MSA Professional Services, Inc.

+1 (608) 242-6605



**DEVELOPMENT AGREEMENT**  
**BETWEEN**  
**VILLAGE OF CROSS PLAINS, WI**  
**AND**  
**WEST GATEWAY, INC.**

**THIS AGREEMENT** entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2016 by and between the Village of Cross Plains, WI (hereinafter referred to as VILLAGE) whose principal place of business is 2417 Brewery Road, Cross Plains, WI 53528, a Wisconsin municipal corporation, and West Gateway, Inc., or its assigns (hereinafter referred to as DEVELOPER) whose principal place of business is 901 Deming Way, Suite 102, Madison, WI 53717, a Wisconsin Corporation.

**RECITALS**

**WHEREAS**, Developer intends to purchase Parcel #0707-032-9931-1 (1816 Main Street, Cross Plains, WI) and Parcel #0707-031-4672-1 (1904 Main Street, Cross Plains, WI) collectively the "Development Property";

**WHEREAS**, Developer desires to construct a mixed use three-story building including 6,446 square foot (approximate) first floor retail space and 45 one and two bedroom apartment units, plus underground parking and associated site improvements, on the Development Property (hereinafter sometimes referred to as the "Facility");

**WHEREAS**, the Village desires to assist Developer in the construction of the Facility as shown in the attached Exhibit B and incorporated herein by reference;

**WHEREAS**, the Village has created Tax Incremental Financing District #3 pursuant to Wis. Stat. § 66.1105, which provides authority and establishes procedures by which the Village may exercise powers necessary and convenient to carry out the purposes of the Tax Increment Law, including Developer Incentives and which includes a Project Plan, which Project Plan, as so approved, and as may be amended from time to time, is hereby incorporated by reference into this Agreement and which is on file at the Village;

**WHEREAS**, development of the Facility within the boundaries of TID#3 will benefit the community through the elimination of blight, unhealthy, or unsafe conditions; increased property values and tax revenue; diversifying the Village's housing supply; and the promotion of economic opportunity;

**WHEREAS**, said Facility cannot occur without the assistance of the Village, as set forth in this Agreement;

**WHEREAS**, the Village believes that improvements to the Development Property within TID#3 is in the best interests of the Village and its residents and in accordance with the public purposes and conditions of applicable State and local laws;

**WHEREAS**, this Agreement is intended to outline the duties and responsibilities of the Village and Developer in order to facilitate the construction of the Facility within TID#3;

**NOW, THEREFORE**, in consideration of the promises and mutual obligations of the parties hereto, each does hereby covenant and agree with the others as follows:

### **ARTICLE I DEFINITIONS**

As used in this Agreement or in the Exhibits attached hereto, the following terms, shall have the following meanings:

**AGREEMENT:** The Development Agreement by and between the Village and Developer, which is this Agreement as amended and supplemented from time to time.

**DEVELOPER:** West Gateway, Inc. who intends to purchase Parcel #0707-032-9931-1 (1816 Main Street, Cross Plains, WI and Parcel #0707-031-4672-1 (1904 Main Street, Cross Plains, WI) collectively the "Development Property".

**DEVELOPMENT COST:** Those costs authorized pursuant to Wis. Stat. §66.1105 and as enumerated in the development budget set forth in Section E of Exhibit A.

**DEVELOPMENT INCENTIVE:** Shall have the meaning as applied in the Project Plan of Tax Increment Financing (TIF) District #3, and subsequent amendments.

**DEVELOPMENT INCENTIVE PAYMENT:** A payment made by the Village to the Developer as an incentive to construct the Facility on the Development Property.

**DEVELOPMENT PROPERTY:** The real property described in Exhibits A & B to this Agreement, including land and improvements, known as #0707-032-9931-1 (1816 Main Street, Cross Plains, WI and Parcel #0707-031-4672-1 (1904 Main Street, Cross Plains, WI) upon which the Facility will be constructed.

**EXHIBIT A.** Tax Incremental Financing Application, 2016-01, as submitted by Developer, and approved by the Village.

**EXHIBIT B.** The Specific Development Plan (SDP) as allowed under the Planned Development District-Main Street Mixed Use Commercial Core Zoning District and as approved by the Village of Cross Plains Village Board for the Facility and the Development Property.

**FACILITY:** The mixed use three-story building to be constructed by the Developer upon the Development Property located within TID#3, as further described in Exhibits A and B hereto, which shall include approximately 6,446 square feet of first floor retail space and approximately 45 apartment units, plus underground parking and associated site improvements.

**SITE IMPROVEMENTS:** The plan for site and building improvements to the Development Property as described in Exhibit A and Exhibit B.

**TID#3:** Village of Cross Plains Tax Increment District #3 and Project Plan adopted by the Village, as certified by the Wisconsin Department of Revenue.

**TOTAL DEVELOPMENT TAX INCREMENT:** The actual Tax Increment collected from the Development Property from the date of execution of this Agreement through termination of this Agreement

VILLAGE: The Village of Cross Plains, Wisconsin, a Wisconsin municipal corporation.

VILLAGE DEVELOPMENT INCENTIVE COSTS: The Development Incentive Payment plus interest costs and financing fees associated with the debt service incurred by the Village for its payment under the obligations of this Agreement.

## **ARTICLE II VILLAGE OBLIGATIONS**

In order to assist with the construction of the Facility and as an incentive to the Developer, the Village agrees to undertake the following obligations:

- A. **LAND TRANSFER.** The Village agrees to sell to Developer, via warranty deed, Parcel #0707-031-4672-1 (1904 Main Street, Cross Plains, WI) for the sum of \$1.00 on or before December 31, 2016.
- B. **DEVELOPMENT INCENTIVE PAYMENT.** As a Development Incentive, the Village agrees to pay to Developer a onetime payment of \$ \$1,025,000. This Agreement and the Developer Incentive Payment herein shall be a special and limited obligation of the Village and not a general obligation of the Village.
- C. **PAYMENT DATES.** Payments under Article II, Section B shall be made at the closing of the purchase of Parcel #0707-031-4672-1 by the Developer from the Village, provided the Developer has met its obligations under Article III, Section A (proof of property acquisition) and Article III, Section F (proof of financing)
- D. **USE OF ADJACENT VILLAGE PROPERTY.** In accordance with Exhibit B, the Village agrees to allow the Developer to use a Parcel #0707-032-6516-9, said parcel being owned by the Village, for the following purposes (the "Permitted Uses"): (a) on a temporary basis in order to enable the Developer to construct the Facility, (b) for ongoing customer parking for the retail spaces to be located within the Facility, of which two spaces will be reserved for short term parking, one for each retail tenant. The Village shall enter into a temporary construction easement in regard to subpart (a), and permanent easement in regard to subparts (b) and (c), in a form acceptable to Developer.
- E. **PROPERTY ASSESSMENT.** The Village agrees to uniformly apply tax assessment procedures and practices with respect to the Development Site and the Development Property in accordance with state law regarding property tax assessments.

### **ARTICLE III DEVELOPER OBLIGATIONS**

In consideration of the obligations of the Village as set forth herein, the sufficiency and receipt of which is hereby acknowledged, Developer shall:

- A. **PROPERTY ACQUISITION.** The Developer shall purchase Parcel #0707-032-9931-1 (1816 Main Street, Cross Plains, WI). Proof of land ownership shall be provided to the Village prior to receiving Development Incentive Payments described in Article II, Section B of this Agreement.
- B. **LAND TRANSFER.** The Developer agrees to purchase Parcel #0707-031-4672-1 (1904 Main Street, Cross Plains, WI) from the Village for the sum of \$1.00 for redevelopment of the property.
- C. **ENVIRONMENTAL REMEDIATION.** The Developer shall be responsible for all costs and work to demolish the existing structures on the Development Property and for all environmental remediation required to demolish the existing structures and construct the Facility as described in Exhibit B.
- D. **CONSTRUCT PRIVATE DEVELOPMENT.** Before January 1, 2018, Developer shall complete the construction of the Facility according to the plans (Exhibits A & B), which are incorporated herein by reference. The Developer shall expend Development Costs resulting in the assessed value (land + improvements) of the Development Property of not less than \$6,500,000.00 (including personal property). Failure by the Developer to purchase the Development Property and complete the construction of the Facility according to the plans (Exhibits A & B) shall be deemed a breach of this Agreement and the Developer shall repay to the Village all previous Development Incentive Payments.
- E. **USE OF ADJACENT VILLAGE PROPERTY.** As indicated above, the Developer shall be allowed to use Parcel #0707-032-6516-9 for the Permitted Uses, and shall enter into both temporary and permanent easements in a form acceptable to the Village regarding the same. The Developer shall reconfigure, regrade, and repave Parcel #0707-032-6516-9 in accordance with the approved site plan at the expense of the Developer. In exchange for the Permitted Uses, the Developer shall install landscaping improvements and parking lot lighting on Parcel #0707-032-6516-9 that is consistent with the Village's Streetscape Plan for Main Street and Mill Creek Parkway at the expense of the Developer. The Village shall be responsible for any ongoing and long term expenses to maintain, repave, and/or repair Parcel #0707-032-6516-9 at the Village's discretion, provided; however, that Developer shall be responsible for arranging for and paying the associated cost of snow removal. Developer shall not make any additional site or structural improvements to Parcel #0707-032-6516-9 without the express written permission of the Village Board of Cross Plains. The costs for any additional site or structural improvements requested by the Developer for use of Parcel #0707-032-6516-9 shall be the responsibility of the Developer. Any work performed by the Developer on Parcel #0707-032-6516-9 shall be reviewed and inspected by the Village for correctness prior to issuing a certificate of occupancy for the Facility. Use of Parcel #0707-032-6516-9 by Developer, or Developer tenants of the Facility shall be in conformance with Exhibit B and shall conform to all Village municipal ordinances, together with applicable state and federal laws and regulations.

- F. **FINANCING.** The Developer shall provide to the Village proof of loan and financing approval from State Bank of Cross Plains for purchase of the Development Property and the construction of the Facility.
- H. **PENALTIES AND FEES.** If the Developer does not construct or cause to be constructed the Facility and associated improvements that result in at least \$6,500,000.00 of assessed value of land and improvements (including personal property) on the Development Property by January 1, 2018 or at any time during the term of this Agreement the Development Property does not maintain at least a \$6,500,000.00 of assessed value of land and improvements (including personal property), the Developer agrees to provide the Village a payment equal to the difference between the projected tax revenues from all taxing jurisdictions anticipated if the \$6,500,000.00 of land and improvements assessed value guarantee on the Development Property had occurred less the actual amount of tax revenues generated from the land and improvements on the Development Property. The penalty and fee shall continue to be enforced in each calendar year the Development Property does not maintain at least a \$6,500,000.00 of assessed value of land and improvements (including personal property). The Facility and associated improvements shall be completed before January 1, 2018. The penalty shall first apply to the 2018 property assessment, 2019 property tax payments, and continue each year thereafter until termination of this Agreement. If the Facility and associated improvements result in an assessed value of land and improvements exceeding \$6,500,000.00, taxes paid on the amount exceeding \$6,500,000.00 will offset, by a corresponding amount, any future penalty and fee.
- I. **PAYMENT OF PROPERTY TAXES & FEES.** The Developer shall timely pay all annual property taxes in full for the Development Property. Any fees imposed on the Developer as described in Article III, Section H of this Agreement, shall be paid to the Village by December 31<sup>st</sup> in any year in which the penalty and fees applies. Failure by the Developer to pay annual property taxes or fees shall be deemed a breach of this Agreement and the Developer shall repay to the Village all previous Development Incentive Payments. The Village may place any unpaid penalties and fees on the tax bill for the Development Property as a special charge pursuant to section 66.0627, Wis. Stats.
- J. **USE OF DEVELOPMENT SITE.** The Developer shall obtain all necessary zoning, building, or engineering permits and approvals from the Village, and applicable state or federal agencies. The Facility and use of the Development Property shall at all times conform to the Village Zoning Code, Building Code, and all other Village ordinances, together with applicable state and federal laws and regulations.
- K. **OBLIGATION TO MAINTAIN AND REPAIR FACILITY.** Developer shall at all times after construction of the Facility, or any part thereof, keep and maintain the Facility in good repair and maintenance. Developer shall also make or cause to be made from time to time all necessary repairs thereto so as to maintain the Facility in its intended use and usable form, absent ordinary wear and tear.
- L. **INSURANCE.** Developer, its successors and assigns, shall purchase or cause to be purchased and continually maintain in effect, insurance against such risks, both generally and specifically, with respect to the Facility in such amounts to allow Developer to reconstruct the Facility in the event of damage or destruction and which shall include, but not be limited to: Casualty Insurance, Comprehensive General Liability Insurance, Physical Damage Insurance, Builder's Risk Insurance, and all other forms of insurance required by the State of Wisconsin for entities such as the Developer from time to time during construction and operation of the Facility. In the event the

Facility is damaged or partially or fully destroyed, Developer shall cause the insurance proceeds from such loss to be used to promptly repair, replace, reconstruct, and restore the Facility to its original condition.

- M. INDEMNIFICATION/HOLD HARMLESS. The Developer, during the term of this agreement, shall defend, indemnify and hold the Village, its elected and appointed officials, officers, employees, authorized representatives or volunteers and each of them harmless from and against all losses, suits, actions, damages, demands, interest, attorney fees, claims, liabilities, expenses and costs of whatsoever kind or nature whether arising before, during or after completion of the Facility and in any manner directly or indirectly caused, occasioned or contributed to in whole or in part or claimed to be caused, occasioned, or contributed to in whole or in part, by reason of any act, omission, fault or negligence whether active or passive, of Developer or of anyone acting under its direction or control or on its behalf in connection with or incident to the performance of this Agreement or in any way related to the Facility or Development Property.
- N. PAYMENT OF PROFESSIONAL FEES. Developer shall pay the actual cost incurred by the Village for all professional fees and costs related to the review and approval of the Facility (Exhibit B), Tax Incremental Financing Application (Exhibit A), and this agreement. The Village expects this amount not to exceed \$10,000.00.
- O. TRANSFER RESTRICTION DURING TERM OF THIS AGREEMENT. In addition to any other limitation on assignment or sale of the Development Property or any portion thereof, if prior to termination of this Agreement, Developer intends to sell, transfer or convey the Development Property or any portion thereof to any person or entity in any manner which would render the Development Property exempt from property taxation, the Developer shall repay to the Village all previous Development Incentive Payments to the Village on or before the date of sale. Developer shall obtain the prior express written consent of the Village for such sale, transfer or conveyance. Should Developer sell, transfer or convey the Development Property or any portion thereto prior to the termination of this Agreement, Developer's obligations herein shall not be released unless the Village has entered into an agreement with the purchaser acceptable to the Village.
- P. RIGHT OF ACCESS. The Developer shall grant the Village right of access and utility easements to the Development Property, at no cost to the Village, for the purposes of installing public utility improvements, sidewalks, or trails as described and needed in Exhibit B. The Developer agrees to allow public use of the sidewalk along the east side of the proposed resident driveway connecting Main Street to Mill Creek Parkway. Developer further agrees to work in good faith efforts to allow potential use of the Development Property for streetscaping improvements, such as benches or information kiosks along the proposed sidewalk connecting Main Street to Mill Creek Parkway.

#### **ARTICLE IV BINDING EFFECT/COMPLETE AGREEMENT**

This Agreement shall inure to the benefit of and shall be binding upon the Village, the Developer and their respective successors and assigns. This Agreement represents the entire Agreement between Developer and the Village and shall not be amended, changed or modified except as provided herein. This Agreement shall not be affected, modified or impaired on the happening from time to time of any event, including without limitation, the following:

- A. Failure to give notice to any party of default under the terms of the Agreement.

- B. The waiver of payment or performance of any obligations contained in this Agreement.
- C. The extension of time for payment of any amount or performance of any obligation under this Agreement.
- D. The voluntary or involuntary liquidation, dissolution, sale or other disposition of all or substantially all the assets, marshaling of assets and liabilities, receivership, insolvency, bankruptcy, assignment for the benefit of creditors, compromise with creditors or readjustment of, or similar proceedings affecting Developer or its assets, any allegation or contest as to the validity of the Agreement in any such proceeding.
- E. To the extent permitted by law, the release or discharge of Developer from the obligations or observation of any obligation, covenant or agreement contained in this Agreement or arising by operation of the law.

#### **ARTICLE V AMENDMENT, CHANGES, MODIFICATIONS**

This Agreement may be amended or any of its terms modified only by a written document duly authorized, executed and delivered by the Village and the Developer.

#### **ARTICLE VI FURTHER ASSURANCES AND CORRECTIVE INSTRUMENTS**

The Village and Developer agree that they will, from time to time, execute, acknowledge, deliver or cause to be executed, acknowledged and delivered, such supplements hereto and such further instruments as may reasonably be required for correcting any inadequate or incorrect description of this Agreement.

#### **ARTICLE VII EXECUTION AND COUNTERPARTS**

This Agreement may be simultaneously executed in several counterparts, each of which shall be original and all of which shall constitute one and the same instrument. Each party to this Agreement hereby expressly represents and warrants that it executes the Agreement with full and complete authorization of their respective entities.

#### **ARTICLE VIII DEFAULT**

- A. **REMEDIES ON DEFAULT.** In the event of any default in or breach of this Agreement or any of its terms or conditions, by any party hereto or any successor in interest to such party, such party shall cure or remedy such default or breach within 60 days of written notice of default describing the nature of the default, what action, if any, is deemed necessary to cure the same and specify the time period of not less than 60 days in which the default may be cured by the defaulting party. In case such action is not taken or is not diligently pursued or the defaulted breach cannot be cured or remedied within the aforesaid time, the non-defaulting party may institute such proceedings as may be necessary or desirable in its opinion to cure the default or breach, including, but not limited to, proceedings to compel specific performance by the party in default or breach of its obligations. If such a proceeding is commenced, the prevailing party in such

proceeding shall be entitled to recover from the other party its reasonable costs incurred in such proceeding, including attorney fees.

- B. RIGHTS AND REMEDIES. The rights and remedies of the parties to this Agreement whether provided by law or provided by the Agreement, shall be cumulative and the exercise by any party of any one or more of such remedies shall not preclude the exercise by it at the same or different times of any such remedies for the same event of default or breach or any other party. No waiver or breach of any term or condition of this Agreement shall operate as a waiver of any other breach of such term or condition, or of any other term or condition, nor shall any failure to enforce any provisions hereunder operate as a waiver of such provision or any other provision hereunder.

#### **ARTICLE IX TERMINATION**

This Agreement shall terminate and be of no further force and effect upon the earlier of:

- A. Closure of TID#3 by the Village of Cross Plains, or,
- B. December 31<sup>st</sup>, 2035, or,
- C. By mutual agreement of the Village and Developer.

#### **ARTICLE X MISCELLANEOUS**

- A. TRANSFER OF AGREEMENT. This Agreement shall be assignable by Developer with the consent of the Village Board of the Village of Cross Plains which consent shall not be unreasonably withheld. Should Developer sell, transfer or convey the Facility and Development Property prior to the termination of this Agreement, all subsequent owners of the Facility and Development Property shall be bound by the terms and conditions of this Agreement. It shall be the responsibility of the seller to notify the buyer of said Agreement, and conditions of transfer, prior to transfer of ownership. The Village hereby consents to the assignment of this Agreement to the State Bank of Cross Plains, or any subsequent Lender, as collateral for financing the purchase and development of the property.
- B. ENFORCED DELAY. No party shall be considered in breach or default of its obligation in the event of enforced delay in the performance of such obligations due to causes beyond its control and without its fault including, but not restricted to: Acts of God, acts of the public enemy, acts of the Federal government, fires, floods, epidemics, quarantine restrictions, strikes, embargoes and severe weather. In the event of the occurrence of any such enforced delay, the time or times of performance of any of the obligations of the party shall be extended for the period of the enforced delay as determined by the other party, provided that the party seeking the benefit of the enforced delay shall have first notified the other party thereof and the cause or causes thereof and requested an extension of the period of the enforced delay.
- C. WISCONSIN LAW/VENUE. This Agreement shall be deemed to have been made in the State of Wisconsin, and its validity, construction, performance, breach and operation shall be covered by law of the State of Wisconsin. Venue for any dispute involving this Agreement or any other document executed pursuant to this Agreement shall be in Dane County Circuit Court, Wisconsin.

- D. NOTICES, DEMANDS. All notices, demands or other communications under this Agreement shall be sufficiently given or delivered when hand delivered or when mailed by first class mail, postage prepaid, as indicated below:

Village: Mike Akon  
Village Administrator  
2417 Brewery Road  
Cross Plains, WI 53528

Developer: Tom Pientka, President  
West Gateway, Inc.  
901 Deming Way, Suite 102  
Madison, WI 53717

- E. ENVIRONMENTAL. Nothing in this Agreement is intended to, nor shall result in, any alteration or modification of Developer's responsibility or liability for environmental clean-up or costs in accordance with applicable law.
- F. SEVERABILITY. If any, part, term, or provision of this Agreement is held by a court of competent jurisdiction to be illegal or otherwise unenforceable, such illegality or un-enforceability shall not affect the validity of any other part, term or provision and the rights of the parties will be construed as if the invalid part, term, or provision was never part of the Agreement.
- G. NOT PRIVATE RIGHT OR CAUSE OF ACTION. Nothing contained herein shall be interpreted or construed to create any private right or any private cause of action by or on behalf of any person not a party hereto.
- H. Nothing contained in this Agreement constitutes a waiver of the Village's sovereign immunity under applicable law. Moreover, nothing contained herein shall waive the rights and defenses to which the Village may be entitled under law, including all of the immunities, limitations, and defenses under Wis. Stats. §893.80 or any subsequent amendments thereof.
- I. The Village does not, in any way or for any purpose, become a partner, employer, principal, agent or joint venturer of or with the Developer.
- J. The Village may record a copy of this Agreement, or a memorandum thereof, in the Register of Deeds Office. All costs of recording shall be paid by Developer.





8/17/2016

To the Village Board:

The Cross Plains Chamber of Commerce is requesting a donation in the amount of \$2000 to help fund a new Market Analysis of the village. Attached is the drafted contract between UW-Extension and the Chamber of Commerce. It discusses the purpose, and what will be included in the process and final study. You will see that we have negotiated the price down substantially. Read through it and bring your questions to the board meeting so to discuss.

I have also attached information for the Connect Communities program through the WEDC in which the chamber has become a part of this year. The program is essential to the support of this market analysis. We will be able to utilize its resources to promote and recruit new businesses from the information we gather from the study.

Cross Plains is changing. We are expanding our residential sector rapidly and we need to get on the same page with economic growth. This analysis is essential to find out what kind of market we have for the right kind of economic development. It will create an identity for the community in which we will use to recruit and grow the right businesses to fit the needs of the Village of Cross Plains.

Thank you,

A handwritten signature in black ink, appearing to read "Casey Koerlig".

Casey Koerlig

Vice President

Cross Plains Area Chamber of Commerce

**AGREEMENT**  
Between  
**UW-Extension, Center for Community and Economic Development**  
and  
**Cross Plains Chamber of Commerce**

Period: October 2016 - March 2017

## **Market Analysis for Downtown Cross Plains**

This agreement is entered into and executed by the University of Wisconsin-Extension, Center for Community and Economic Development (herein referred to as "UWEX") and Cross Plains Chamber of Commerce (herein referred to as the "Chamber") for the purpose of conducting a market analysis for the downtown commercial district.

**Purpose:**

Cross Plains and its downtown core have experienced significant change since the prior UWEX market analysis of 2005–2006. Specifically, major highway improvements were made preserving traffic downtown while improving the district's sense of place. A strategic plan and design standards were implemented. New real estate development is underway including the addition of multifamily and single-family housing. A Chamber of Commerce has been established with a clear role in economic development.

The market analysis for downtown Cross Plains will provide current and objective information on business development opportunities that could enhance the quality of life in the community. Accordingly, the analysis will focus on identifying the key market segments to be served, needs and preferences of these segments, and whether the current business mix is adequately serving the segments. Recommendations will be made to guide the community's business retention, expansion, and attraction efforts. The data assembled in this analysis will support a "wish list" of business development priorities. The completed report with executive summary will be prepared for active use in economic development marketing efforts.

This project represents a community led initiative whereby local business and community leaders are actively involved in the research and analysis. They participate in a "study group" that meets periodically (sometimes every two weeks) to review and interpret data gathered from the market analysis. The study group in this project will likely include representatives from the business development committee of the Cross Plains Chamber of Commerce; members of the village board, and other members of the community including business and property owners. This approach differs from an "outside expert" consultant approach.

The proposed services are based in part on the Downtown and Business District Market Analysis toolbox at: <http://fyi.uwex.edu/downtown-market-analysis/>

The PARTIES hereto otherwise agree as follows:

The term of this agreement shall be for the period beginning 10/1/2016 and ending 3/31/2017. It may be extended or revised or cancelled by a written amendment signed by both parties. The preceding plan of work generates the following budget:

DIRECT COSTS	TOTAL	IN-KIND	CLIENT
PERSONNEL			
Greg Wise-oversight (5 hours)	\$ 328	\$ 328	\$ -
Bill Ryan-project lead (80 hours)	\$ 6,454	\$ 5,808	\$ 645
Graduate Project Assistant (120 hours)	\$ 2,230	\$ -	\$ 2,230
TRAVEL	\$ 400	\$ -	\$ 400
SUBCONTRACTS - Dane County Extension	\$ 1,200	\$ -	\$ 1,200
BUDGET SUBTOTAL	\$ 10,612	\$ 6,136	\$ 4,476
GENERAL OFFICE SUPPORT AND SUPPLIES	\$ 1,024	\$ -	\$ 1,024
BUDGET TOTAL	\$ 11,636	\$ 6,136	\$ 5,500

THE CHAMBER agrees to pay UWEX a total amount of \$5,500 to cover UWEX costs as detailed in the preceding budget. The cost for services from the Center for Community and Economic Development include graduate student support, GIS and data analysis, report writing, travel and other incidental costs. UWEX faculty and staff are not charged as their services are provided in-kind. Payment to UWEX will be in two installments—one-half due within 30 days of the beginning of the project (\$2,750 due 11/1/16) and one-half due within 30 days of the completion of the project or mutually agreed upon date if different (\$2,750 due on 5/1/2017)

**Other Contract Terms:**

In connection with the performance of work under this contract, the contractor agrees not to discriminate against any employee or applicant for employment because of age, race, religion, color, handicap, sex, physical condition, developmental disability as defined in s.51.01(5), sexual orientation or national origin. This provision shall include, but not be limited to, the following: employment, upgrading, demotion or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship. Except with respect to sexual orientation, the contractor further agrees to take affirmative action to ensure equal employment opportunities. The contractor agrees to post in conspicuous places, available for employees and applicants for employment, notices to be provided by the contracting officer setting forth the provisions of the nondiscrimination clause. This Agreement and all matters related to it—whether sounding in contract or otherwise—shall be governed and construed by the laws of the State of Wisconsin. Any litigation arising out of or

in any way related to this Agreement shall be brought and venued in U.S. District Court for the Western District of Wisconsin or the Dane County Circuit Court in Madison, Wisconsin.

**IN WITNESS WHEREOF, the parties have executed this agreement.**

BY: \_\_\_\_\_  
[Name], Controller  
University of Wisconsin-Extension on behalf of the  
Board of Regents of the University of Wisconsin System

\_\_\_\_\_  
Date

BY: \_\_\_\_\_  
[Name]  
Cross Plains Chamber of Commerce

\_\_\_\_\_  
Date

Copy: Center for Community and Economic Development, UW-Extension

## Plan of Work and Responsibilities

The following tasks will be performed by UWEX and the Cross Plains study group. UWEX includes staff from the Center for Community and Economic Development (CCED) and the Dane County Extension office.

Component	Primary methods	Performed with Study Group by:*	Fee
Trade Area(s) mapping	GIS "Equal Competition Area" Mapping	UWEX-CCED	\$500
Resident Consumer characteristics	Secondary data analysis of Demographics & lifestyles	UWEX-CCED	\$1,000
Nonresident consumer characteristics	Secondary data analysis to describe other consumers	UWEX-CCED	\$1,000
Survey-residents	Survey Monkey or community conversations	Dane County UWEX	\$500
Survey-shoppers including communities	Intercept survey	Dane County UWEX	\$500
Survey-Business Owners	One on one interviews, Survey Monkey, or focus groups	Dane County UWEX	\$500
Peer Community Visits	Interviews and observations; First Impressions Study	Dane County UWEX and UWEX-CCED	\$500
Retail, Restaurants and Services Opportunities	Demand and Supply Analysis by market segment.	UWEX-CCED	\$1,000
Develop Recommendations	Process in which all collected data is analyzed	Dane County UWEX and UWEX-CCED	No charge
Report and Executive Summary	Written material prepared as part of each component	Dane County UWEX and UWEX-CCED	No charge
<b>Total Fees</b>			<b>\$5,500</b>

\*UW-Extension: UWEX-CCED is the Center for Community and Economic Development represented by Bill Ryan. Dane County UW-Extension is the county-based UW-Extension office and will be represented by Sharon Lezberg. The University of Wisconsin – Extension is funded partially by county, state, and federal tax revenues. Estimates listed above cover a portion of the time that would be committed by both Ryan and Lezberg. In addition, other colleagues from UWEX may periodically assist in this project. Most notably, Chuck Law who brings a long history with the community.



# Connect Communities

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## Connect Communities

### Where the Path to Revitalization Begins

Downtowns and historic commercial districts play an important role in their communities and in Wisconsin's overall economy, functioning not only as prominent employment and business centers, but oftentimes as the historic foundation of the municipalities they serve. Successful commercial districts don't just happen. They need to be planned and nurtured. Their prosperity requires interest and action from many stakeholders who share a vision for the community.

Connect Communities helps local leaders leverage the unique assets of their downtowns and commercial districts, providing access to resources and networking opportunities to local leaders interested in starting a district revitalization effort.

### How It Works

Connect Communities program participants will have immediate access to experienced staff within the Wisconsin Economic Development Corporation (WEDC) and to the leaders within the Connect Communities Network. Program services include:

- A ListServ/network group to get new ideas from staff and other participating Connect Communities
- Participation in Main Street Executive Director Workshops with a focus on downtown revitalization topics
- An on-site visit from one of WEDC's community development staff to assist in identifying needs and offering assistance
- Training for your downtown director or board president
- Roundtable discussion groups on pertinent topics held twice per year
- Access to resources and training materials that have been developed for Wisconsin Main Street communities
- Invitation to the annual Main Street Awards Program, plus eligibility to nominate a project for a Connect Communities award
- Webinars/regional training

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## Program Requirements

A participating community must have an organization or group that focuses on downtown/historic commercial district issues, have access to a computer with required software, can commit to a majority of training opportunities, and fulfill annual reporting requirements. Communities will be required to sign a participation agreement with WEDC and pay an annual fee of \$200.

## Application and Selection Process

Up to 20 communities are selected to participate in the Connect Communities program each year, with a renewal contract every year. Applicants are scored based on the following criteria: strength of committee/organization, need for assistance, clearly defined downtown/urban commercial district, local resources available and potential.

For more information about the Connect Communities program, contact a WEDC regional economic development director (/regional-economic-development-directors/).



## 15 New Communities Accepted into WEDC Downtown Revitalization Program

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### 15 New Communities Accepted into WEDC Downtown Revitalization Program

*Program will help communities revitalize downtown and urban commercial districts*

**MADISON, WI. June 24, 2016** – The Wisconsin Economic Development Corporation (WEDC) has accepted 15 new municipalities into its Connect Communities Program, an initiative that works with communities to advance downtown and urban corridor revitalization efforts.

With the latest additions, there are now 67 participants in the Connect Communities Program, which provides access to resources and training to help downtown organizations pursue revitalization and redevelopment efforts. Since the program was launched in January 2013, participating communities have reported adding 175 net new businesses and more than 550 jobs, as well as \$30 million in private investment.

The new Connect Communities participants are:

- Barron Chamber of Commerce
- Downtown Beaver Dam, Inc.
- Town of Boulder Junction
- City of Brillion
- Chetek Chamber of Commerce
- Cross Plains Chamber of Commerce
- Cumberland Chamber of Commerce
- Ellsworth Area Chamber of Commerce
- Florence County Chamber of Commerce
- Jefferson Chamber of Commerce
- Milwaukee Downtown, BID #21
- Mount Horeb Area EDC
- Village of New Glarus
- Reedsburg Revitalization Organization
- City of Waupun

"The Connect Communities program has made an impact on dozens of downtown districts in every region of the state," said Mark Hogan, secretary and CEO of WEDC. "Downtowns and urban commercial districts play an important role in their communities and in Wisconsin's overall economy. This program is just one way in which WEDC works closely with local downtown leaders to help them develop strategies for success."

The program, launched in early 2013, is designed to support and complement the Wisconsin Main Street Program, which has supported projects statewide resulting in the creation of more than 3,100 net new businesses and 7,200 net new jobs since the program's inception in 1987.

Prior to being accepted to the Connect Communities Program, applicants had to explain the type of activities or assistance that they hope to undertake as part of the program, and identify a local team that will be responsible for carrying out activities and participating in program events and training.

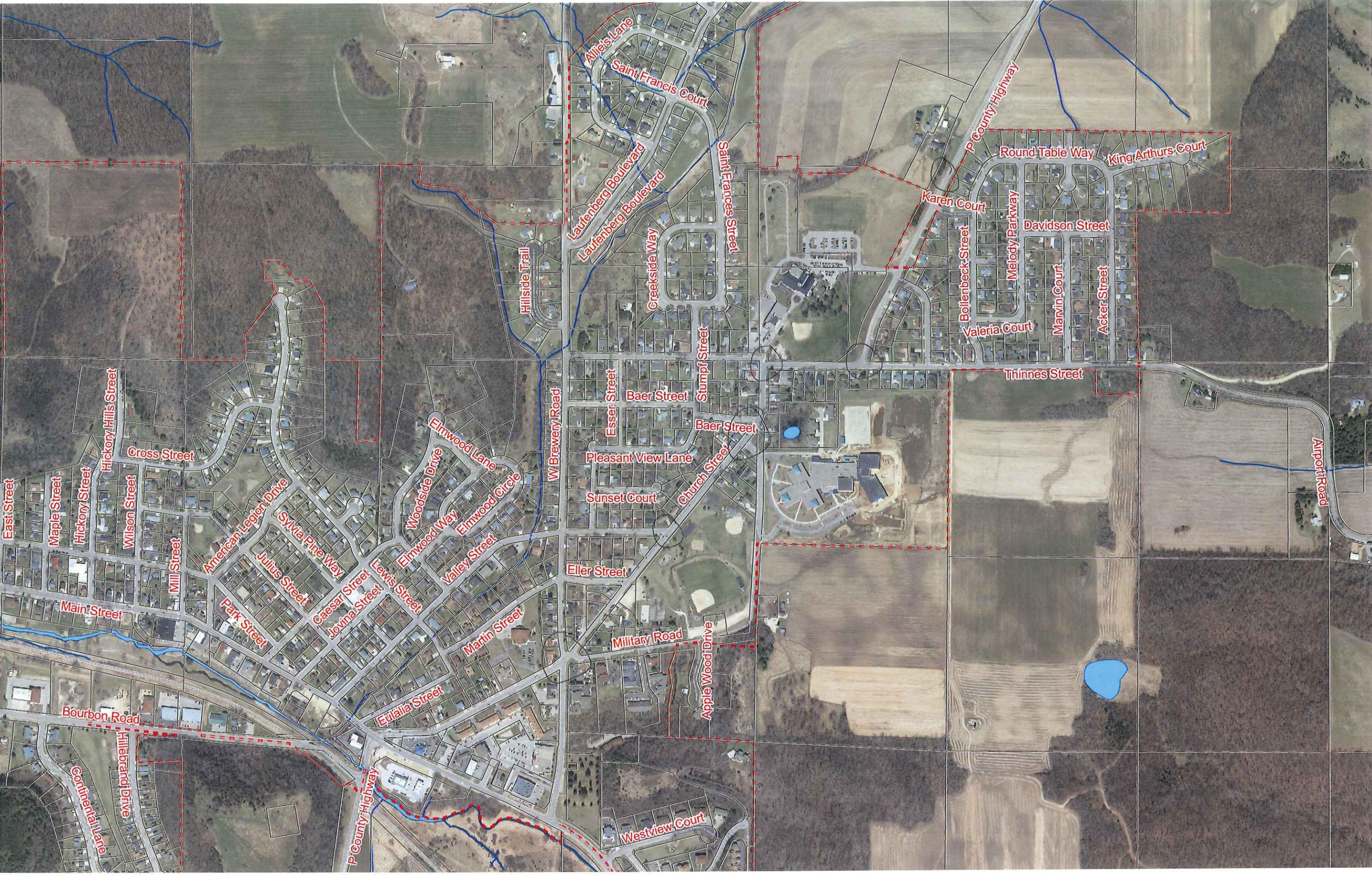
Connect Communities participants benefit from a variety of assistance and resources simply by being part of a broad-based network of communities with similar objectives, but specific program services include:

- A ListServ/network group to get new ideas from staff and other participating Connect Communities
- Participation in Main Street workshops focused on a downtown revitalization topic
- An on-site visit from a member of WEDC's community development staff to assist in identifying needs and offering assistance
- Training for each community's downtown director or board president
- Roundtable discussion groups on pertinent topics
- Access to WEDC's downtown development online library
- Access to resources and training materials developed for Wisconsin Main Street communities
- Invitation to the annual Main Street Awards program, plus eligibility to nominate a project for a Connect Communities award
- Quarterly webinars/regional training

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### **About the Wisconsin Economic Development Corporation**

The Wisconsin Economic Development Corporation (WEDC) leads economic development efforts for the state by advancing and maximizing opportunities in Wisconsin for businesses, communities and people to thrive in a globally competitive economy. Working with more than 600 regional and local partners, WEDC develops and delivers solutions representative of a highly responsive and coordinated economic development network. Visit [www.inwisconsin.com](http://www.inwisconsin.com) or follow WEDC on Twitter @\_InWisconsin to learn more.



East Street  
Maple Street  
Hickory Street  
Wilson Street  
Mill Street  
American Legion Drive  
Sylvia Pine Way  
Julius Street  
Caesar Street  
Jovina Street  
Martin Street  
Main Street  
Bourbon Road  
Continentall Lane  
Hillebrand Drive  
P County Highway

Hickory Hills Street  
Cross Street  
Woodside Drive  
Elmwood Lane  
Elmwood Way  
Elmwood Circle  
Valley Street  
Lewis Street  
Woodside Drive  
Elmwood Lane  
Elmwood Way  
Elmwood Circle  
Valley Street  
Eulalia Street

W Brewery Road  
Essex Street  
Baer Street  
Stump Street  
Pleasant View Lane  
Sunset Court  
Church Street  
Baer Street  
Eller Street  
Military Road  
Apple Wood Drive  
Westview Court

Allie's Lane  
Saint Francis Court  
Laufenberg Boulevard  
Laufenberg Boulevard  
Creekside Way  
Saint Frances Street  
Karen Court  
Round Table Way  
King Arthurs Court  
Bollenbeck Street  
Melody Parkway  
Davidson Street  
Marvin Court  
Acker Street  
Thinnes Street

P County Highway  
Round Table Way  
King Arthurs Court  
Bollenbeck Street  
Melody Parkway  
Davidson Street  
Marvin Court  
Acker Street  
Thinnes Street

Airport Road



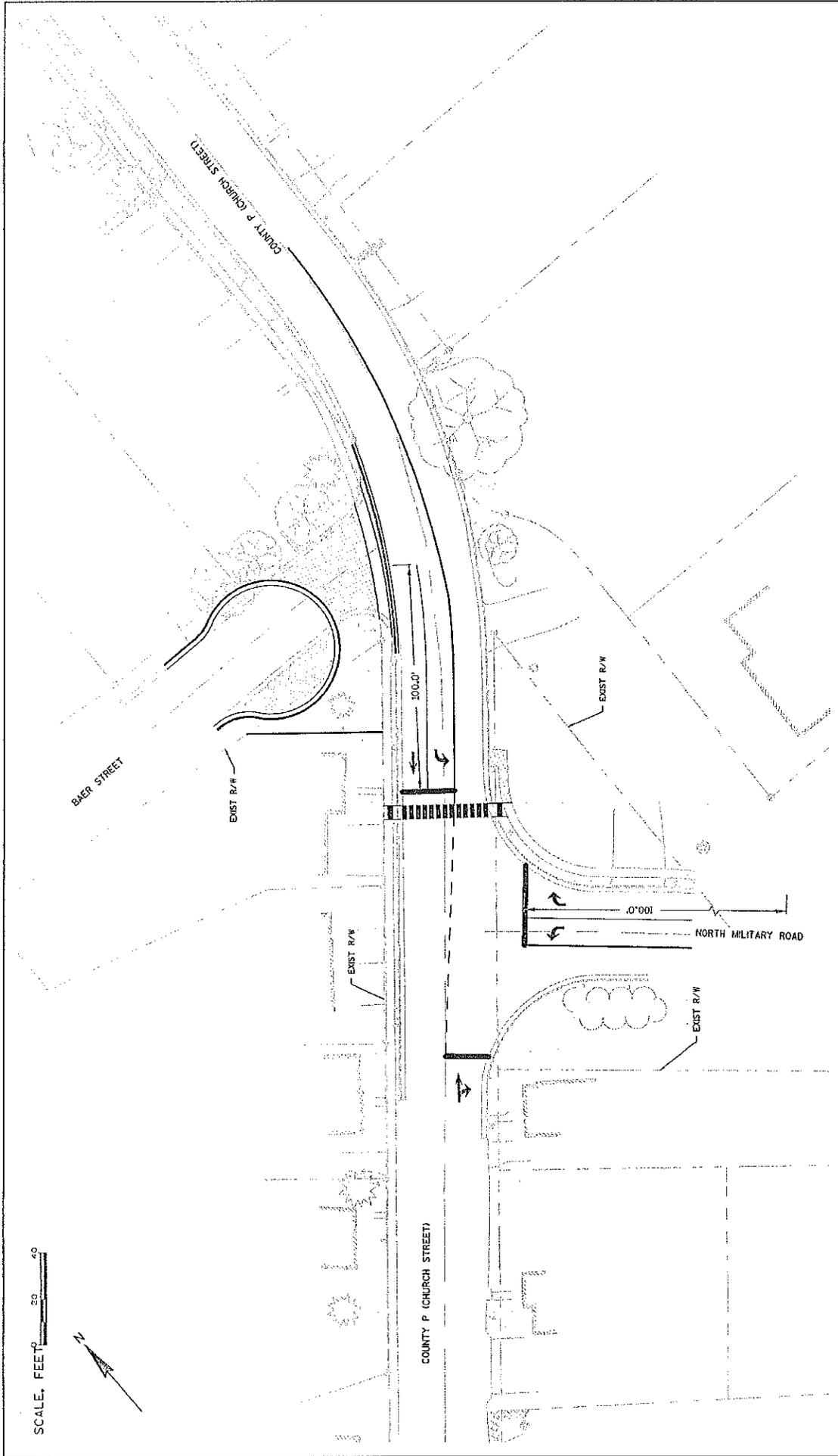
Weekday Morning Peak - Existing Conditions															
Intersection	Overall		By Approach	Eastbound			Westbound			Northbound			Southbound		
	Delay (s)	LOS		LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
W Brewery Road / Church Street	2.9	A	Delay (s)	2.4	0.9	0.6	2.3	0.5	0.0	0.0	13.5	6.0	0.0	10.8	4.4
			LOS	A	A	A	A	A	A	A	B	A	A	B	A
			95% Queue (ft)	35			105			80			55		
S Military Road / Church Street	1.4	A	Delay (s)		0.3	0.1	0.0	2.4		9.3		2.8			
			LOS		A	A	A	A		A		A			
			95% Queue (ft)		20			70			30				
Church Street / Valley Street	1.8	A	Delay (s)	10.7		5.6				2.9	0.8			0.9	0.6
			LOS	B		A				A	A			A	A
			95% Queue (ft)	65						5				5	
Church Street / N Military Road	4.7	A	Delay (s)				20.2		10.0		2.2	1.5	5.1	0.3	
			LOS				C		B		A	A	A	A	
			95% Queue (ft)				165			90			35		
Church Street / Baer Street	0.5	A	Delay (s)	7.4		4.1				2.6	0.5			0.4	0.2
			LOS	A		A				A	A			A	A
			95% Queue (ft)	30						20				5	
Church Street / Thinnest Street	2.4	A	Delay (s)		11.9	5.8	1.4	1.4		2.1		1.0			
			LOS		B	A	A	A		A		A			
			95% Queue (ft)		80			10			25				
Springfield Road / Thinnest Street	2.3	A	Delay (s)	1.0	1.1				9.3	6.5			3.3		1.4
			LOS	A	A				A	A			A		A
			95% Queue (ft)	5					85				10		

School Release - Existing Conditions															
Intersection	Overall		By Approach	Eastbound			Westbound			Northbound			Southbound		
	Delay (s)	LOS		LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Church Street / N Military Road	9.5	A	Delay (s)				37.0		32.2		0.9	0.6	3.3	0.3	
			LOS				E		D		A	A	A	A	
			95% Queue (ft)				385			90			25		

Weekday Afternoon Peak - Existing Conditions															
Intersection	Overall		By Approach	Eastbound			Westbound			Northbound			Southbound		
	Delay (s)	LOS		LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
W Brewery Road / Church Street	3.1	A	Delay (s)	3.4	0.8	0.4	1.9	0.4	0.0	12.2	13.2	6.7	7.9	9.5	3.7
			LOS	A	A	A	A	A	A	B	B	A	A	A	A
			95% Queue (ft)	35			90			90			35		
S Military Road / Church Street	1.5	A	Delay (s)		0.3	0.2	2.8	2.2		8.9		3.1			
			LOS		A	A	A	A		A		A			
			95% Queue (ft)		10			60			35				
Church Street / Valley Street	1.3	A	Delay (s)	8.4		5.1				4.4	0.6			1.1	0.9
			LOS	A		A				A	A			A	A
			95% Queue (ft)	50						20				0	
Church Street / N Military Road	1.5	A	Delay (s)				9.7		4.3		1.0	0.8	2.9	0.2	
			LOS				A		A		A	A	A	A	
			95% Queue (ft)				60			55			10		
Church Street / Baer Street	0.4	A	Delay (s)	6.7		4.2				3.4	0.3			0.4	0.2
			LOS	A		A				A	A			A	A
			95% Queue (ft)	15						25				0	
Church Street / Thinnest Street	1.6	A	Delay (s)		9.3	4.5	1.4	1.7		2.6		0.9			
			LOS		A	A	A	A		A		A			
			95% Queue (ft)		55			15			40				
Springfield Road / Thinnest Street	3.0	A	Delay (s)	0.8	0.9				9.8	6.4			1.1		1.6
			LOS	A	A				A	A			A		A
			95% Queue (ft)	0					80				10		

**DRAFT TRIP GENERATION FOR PROPOSED CROSS PLAINS DEVELOPMENTS**

Land Use	Site Information			Weekday AM		Weekday PM		Daily Two-Way
	Unit	Density	ITE Code	In	Out	In	Out	
<b>Sundance Development</b>								
Single-Family Homes	DU	164	210	33	94	106	60	1656
Multi-Family Homes	DU	67	230	7	30	38	21	454
<b>SUBTOTAL</b>				<b>40</b>	<b>124</b>	<b>144</b>	<b>81</b>	<b>2110</b>
<b>Veridian Development</b>								
Single-Family Homes	DU	46	210	12	33	35	19	514
Police Department Building	sf	6,000	730	30	6	2	5	414
Village Hall	sf	1,650	730	8	2	1	1	114
Community Center	sf	22,300	495	38	29	43	46	754
<b>SUBTOTAL</b>				<b>88</b>	<b>70</b>	<b>81</b>	<b>71</b>	<b>1796</b>
<b>Plastics Ingenuity Development</b>								
Single-Family Homes	DU	195	210	39	110	123	69	1941
Multi-Family Homes	DU	50	230	5	23	34	19	352
Park	acre	6	411	13	13	15	10	---
<b>SUBTOTAL</b>				<b>57</b>	<b>146</b>	<b>172</b>	<b>98</b>	<b>2293</b>
<b>Glacier Creek Middle School</b>								
Existing Trip Generation	---	---	---	266	178	62	189	
Student Increase (30%)	---	---	---	80	53	19	57	
<b>SUBTOTAL</b>				<b>80</b>	<b>53</b>	<b>19</b>	<b>57</b>	
<b>GRAND TOTAL</b>				<b>265</b>	<b>393</b>	<b>416</b>	<b>307</b>	<b>6199</b>



County P and Military - Traffic Signal

Village of Cross Plains  
Dane County, Wisconsin

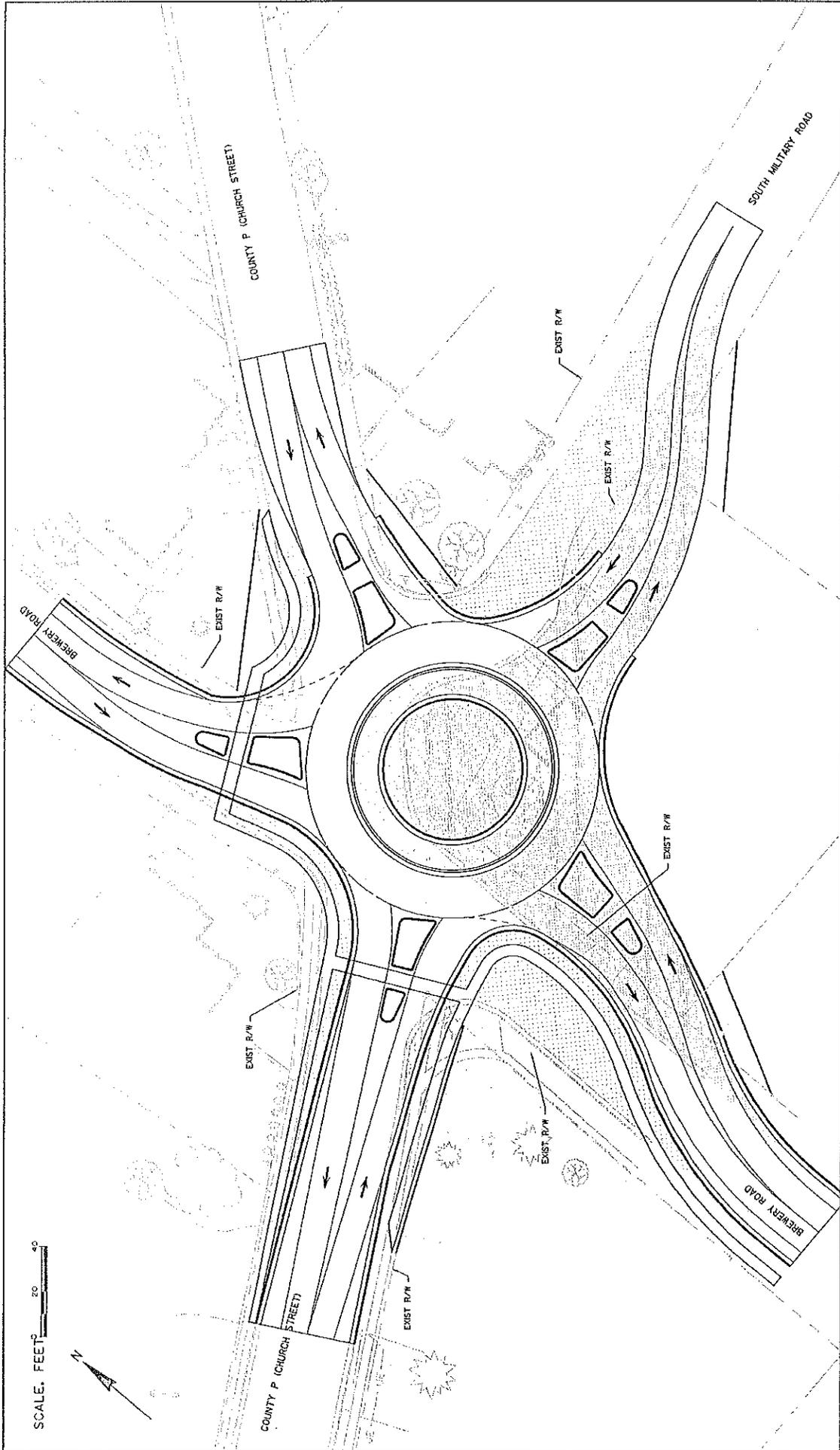
**SR**  
Consulting Group, Inc.  
June  
6/24/2016 - 10:56AM

Construction Estimate: \$140,000

\\Project\0000009215\04\10\Par\5-synals-all.dwg - CTR P and Military - Signal







**SRI**  
 Consulting Group, Inc.  
 105 W. Main Street  
 Cross Plains, WI 53528

**County P and Brewery - Roundabout**

Village of Cross Plains  
 Dane County, Wisconsin

**Construction Estimate: \$700,700**

VILLAGE OF CROSS PLAINS  
COUNTY TRUNK HIGHWAY P RECONSTRUCTION, not including real estate acquisition  
16-Aug-16

Category	Construction	Remaining Engineering After Prel. Design	Staking & Const. Observ.	10% Contingency	Category Total
Street Improvements					
Section 1 (Church Street, Main St. to Brewery Rd.) <sup>1</sup>	\$645,044	\$51,604	\$32,252	\$64,504	\$793,404
Brewery Road Intersection Traffic Signal, 5 Leg (Construction Cost from SRF)	\$244,540	\$19,563	\$12,227	\$24,454	\$300,784
Section 2 ( Church Street, Brewery Road to Thinnes St.) <sup>2</sup>	\$816,107	\$65,289	\$40,805	\$81,611	\$1,003,812
North Military Road Intersection, Including Signals (Construction Cost from SRF)	\$140,000	\$11,200	\$7,000	\$14,000	\$172,200
Section 3 (Thinnes Street, Church Street to Airport Road) <sup>3</sup>	\$215,427	\$17,234	\$10,771	\$21,543	\$264,975
Section 4 (Springfield Road, Airport Road to North Village Boundary) <sup>4</sup>	\$442,584	\$35,407	\$22,129	\$44,258	\$544,378
Sanitary Sewer Replacements	\$508,380	\$25,419	\$25,419	\$50,838	\$610,056
Water Main Replacements	\$1,100,557	\$77,039	\$55,028	\$110,056	\$1,342,680
Storm Sewer Construction ****	\$294,699	\$20,629	\$14,735	\$29,470	\$359,533
<b>GRAND TOTAL</b>	<b>\$4,407,338</b>	<b>\$323,384</b>	<b>\$220,366</b>	<b>\$440,734</b>	<b>\$5,391,822</b>

1. 44 Foot Curb Face-to-Curb Face Width, Sidewalk Both Sides
2. 38 Foot Curb Face-to-Curb Face Width, Sidewalk Northwest Side Only, Except from North Military Road to Thinnes Street which Has Sidewalk Both Sides
3. 36 Foot Curb Face-to-Curb Face Width, Sidewalk South Side Only
4. 32 Foot Curb Face-to-Curb Face Width, Sidewalk East Side, Only

\*Design Not Yet Completed\*

**RESOLUTION 16-2016**

**VILLAGE OF CROSS PLAINS, DANE COUNTY, WISCONSIN**

**WHEREAS**, the Village of Cross Plains and VH Cross Plains, LLC are parties to a WB-13 Vacant Land Offer to Purchase in which the Village offers to purchase from VH certain land to be identified as Lot 1, Glacier Ridge, in the Village of Cross Plains, Dane County, Wisconsin; and

**WHEREAS**, the purchase and sale of the property is scheduled to close on Thursday, August 25, 2016, or at such other time upon the mutual agreement of the parties; and

**WHEREAS**, the Village Board of the Village of Cross Plains desires to authorize certain representatives of the Village to execute any and all documents and take all steps necessary to complete the closing of this transaction.

**NOW, THEREFORE**, the Village Board of the Village of Cross Plains does hereby resolve as follows:

1. J. Patrick Andreoni, as Village President, and Michael Axon, as Interim Village Administrator, are hereby authorized to execute any and all documents necessary to complete the purchase of Lot 1 of Glacier Ridge pursuant to the terms of the Offer to Purchase between the Village of Cross Plains and VH Cross Plains LLC.
2. J. Patrick Andreoni and Michael Axon are authorized to take any and all other steps necessary to complete the transaction pursuant to the Offer to Purchase.

Dated this 22<sup>nd</sup> day of August, 2016.

**VILLAGE OF CROSS PLAINS:**

By: \_\_\_\_\_  
J. Patrick Andreoni, Village President

Ayes: \_\_\_\_\_

Noes: \_\_\_\_\_

Adopted: \_\_\_\_\_

## CERTIFICATION

I, Michael Axon, as Interim Administrator for the Village of Cross Plains, do hereby certify that the attached Resolution is a true and correct copy of the Resolution adopted by the Village Board of the Village of Cross Plains at a meeting duly called on August 22, 2016.

Date: \_\_\_\_\_

\_\_\_\_\_  
Michael Axon, Interim Administrator,  
Village of Cross Plains