

# **Regular Plan Commission Meeting**

## *Meeting Notice and Agenda*

### **Village of Cross Plains**

2417 Brewery Road, PO Box 97

Cross Plains, WI 53528

(608) 798-3241

**Monday, August 17, 2015**

**6:00 pm**

- I. Call to Order, Pledge of Allegiance, and Roll Call
- II. Public Comment – This is an opportunity for anyone to address the Plan Commission on any issue NOT on the current agenda. *Please observe the time limit of 3 minutes.* While the Plan Commission encourages input from residents, it may not discuss or act on any issue that is not duly noticed on the agenda.
- III. General Business
  1. Discussion and action regarding minutes of regular meeting held June 1, 2015.
  2. Discussion and action to make a recommendation to the Village Board regarding a request from the Gallina Corporation for a Specific Implementation Plan (SIP) for 1400 Bourbon Road in order to construct a 53-unit apartment building as a Planned Development (PD).
  3. Discussion and action to make a recommendation to the Village Board regarding a proposed Certified Survey Map request for Nicholas & Kimberly Hughes and the Village of Cross Plains located at 2708 Birchwood Pass.
  4. Discussion and action to make a recommendation to the Village Board regarding the acquisition of Outlot 1 from Nicholas & Kimberly Hughes located at 2708 Birchwood Pass for the new gateway sign.
  5. Discussion and action to make a recommendation to the Village Board regarding a proposed easement at 8392 US Highway 14 allowing for the ongoing ability to maintain visibility to the new gateway sign on adjacent Outlot 1.
- IV. Adjournment

This meeting notice constitutes an official meeting of the above referenced group and was posted in accordance with all applicable laws related Open Meetings Law. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals. For additional information or to request this service, contact the Village Hall at (608) 798-3241 or [matt@cross-plains.wi.us](mailto:matt@cross-plains.wi.us).

# **Regular Plan Commission Meeting**

## *Meeting Minutes*

### **Village of Cross Plains**

2417 Brewery Road, PO Box 97

Cross Plains, WI 53528

(608) 798-3241

**Monday, June 1, 2015**

**7:00 pm**

I. Call to Order, Pledge of Allegiance, and Roll Call

President Andreoni called the regular Plan Commission meeting to order at 7:00 pm.

Present: Commissioners Randy Case, Todd Duquette, Ron Hilmanowski, Mitch Hogan, Judy Ketelboeter, Clifford Zander and President Pat Andreoni.

II. Public Comment – None.

III. General Business

**1. Discussion and action regarding minutes of regular meeting held May 4, 2015** – A motion was made by Commissioner Duquette, seconded by Commissioner Hogan, and unanimously carried by the Plan Commission to approve the regular meeting minutes held May 4, 2015.

**2. Consideration of a request from Incredible Cars LLC for a Conditional Use Permit as a Vehicle Sales use located at 2563 Main Street.**

*a. Public Hearing* – A motion was made by Commissioner Ketelboeter, seconded by Commissioner Hogan, and unanimously carried by the Plan Commission to open the Public Hearing at 7:02 pm.

- Jacob Sivertson was present on behalf of Incredible Cars LLC regarding their submittal for a Conditional Use Permit, stating his support for the application, and reviewing the submittal.
- David Morrill was present on behalf of Incredible Cars LLC regarding their submittal for a Conditional Use Permit, stating his support for the application, and reviewing the submittal.
- Matt Schuenke, Zoning Administrator, provided an overview of the Staff Report.

A motion was made by Commissioner Hogan, seconded by Commissioner Ketelboeter, and unanimously carried by the Plan Commission to close the Public Hearing at 7:19 pm.

*b. Discussion and action to make a recommendation to the Village Board –* Following discussion, a motion was made by Commissioner Ketelboeter, seconded by Commissioner Hilmanowski, for the Plan Commission to recommend approval of a Conditional Use Permit as a Vehicle Sales use located at 2563 Main Street subject to the following conditions:

1. The Conditional Use Permit shall be issued to one or both owners of Incredible Cars LLC;
2. Vehicles shall not be displayed nor parked at any time on property currently used as greenspace;
3. Vehicles may be reconditioned on site but they may not be repaired on site;
4. General outdoor storage of inoperable vehicles, equipment, parts or other items is prohibited with exception to those operable vehicles for sale and the use of the customer/employee parking.
5. Applicant shall meet the requirements of Article VIII of the Zoning Code as it relates to landscaping subject to further negotiations with the prospective landlord.
6. Applicant shall meet the requirements of Section 84.106 of the Zoning Code as it relates to exterior lighting subject to further negotiations with the prospective landlord.
7. The Plan Commission accepts the written report prepared by the Zoning Administrator.

A roll call vote was requested. Yes – Andreoni, Case, DuQuette, Hilmanowski, Hogan, and Ketelboeter. No – None. Abstain – Zander. Motion carried 6 – 0 – 1.

V. Adjournment

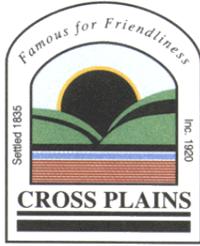
A motion was made by Commissioner Hogan, seconded by Commissioner Zander, and unanimously carried by the Plan Commission to adjourn the meeting at 7:30 pm.

Pursuant to law, written notice of this meeting was given to the public and posted on the public bulletin boards in accordance with Open Meetings Law.

Respectfully submitted,

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Matthew G. Schuenke  
Village Administrator/Clerk-Treasurer



Village of Cross Plains  
PO Box 97, 2417 Brewery Road  
Cross Plains, WI 53528  
Phone: (608) 798-3241  
Fax: (608) 798-3817

## Memorandum

To: Plan Commission  
From: Matthew G. Schuenke, Village Administrator/Clerk-Treasurer  
Date: August 14, 2015  
Re: Plan Commission meeting – **August 17, 2015**

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### III. General Business

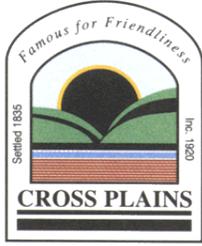
**1. Discussion and action regarding minutes of the regular meeting held June 1, 2015 – For approval.**

**2. Discussion and action to make a recommendation to the Village Board regarding a request from the Gallina Corporation for a Specific Implementation Plan (SIP) for 1400 Bourbon Road in order to construct a 53-unit apartment building as a Planned Development (PD) –** The Zoning Map Amendment and GDP were approved by the Village in May earlier this Summer as the first two steps in the process to rezone to Planned Development. The final steps involve consideration for a Specific Implementation Plan (SIP) regarding the apartment building as has already been approved generally. Further, the Village Board has approved the Development Agreement supporting this project with tax increment financing. A memorandum reviewing their submittal is included and everything provided is compliant with the code. Three conditions are recommended as part of the approval to deal with the final sign plan, engineering designs, and acceptance of the Staff Report. Following discussion, Village Staff recommends approval of the SIP.

**3. Discussion and action to make a recommendation to the Village Board regarding a proposed Certified Survey Map request for Nicholas & Kimberly Hughes and the Village of Cross Plains located at 2708 Birchwood Pass –** The Village Board approved final placement for the eastern Gateway Sign to be constructed this Fall at its July meeting. It is recommending the Village acquire a small piece of conservancy property in order to remove the old sign currently located in the township to a new location with the Village. The CSM splits a larger parcel into a single lot plus an outlot where the sign is to be located. The Property Owner is agreeable to this land division and Staff recommends its approval.

**4. Discussion and action to make a recommendation to the Village Board regarding the acquisition of Outlot 1 from Nicholas & Kimberly Hughes located at 2708 Birchwood Pass for the new gateway sign** – With the CSM recommended for approval, the next step to consider is the acquisition of the outlot. This is a very larger parcel that recently had a new house constructed on top of the bluff. The property was annexed several decades ago allowing for the house to be constructed on top but all other property had to be zoned conservancy. Selective cutting is a permitted use by right within this district and the outlot created by the CSM would allow enough space for the installation of the sign. The Property Owner is agreeable to this acquisition and has offered to donate the property to the Village. Village Staff recommends approval of this acquisition.

**5. Discussion and action to make a recommendation to the Village Board regarding a proposed easement at 8392 US Highway 14 allowing for the ongoing ability to maintain visibility to the new gateway sign on adjacent Outlot 1** – With the CSM approved and the land acquired, selective clearing is needed on the neighboring property within the township in order for the sign to be visible from the outlot. The enclosed easement allows for the Village to conduct the initial clearing as part of the sign install and for the visibility to be maintained in perpetuity. The Village Attorney will also be in the process of adjusting the language to provide for access from the driveway. The neighboring property owner is agreeable to these terms at no cost to the Village other than the clearing work. Village Staff recommends approval of this acquisition.



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## Memorandum

To: Plan Commission  
From: Matthew G. Schuenke, Village Administrator/Clerk-Treasurer  
Date: May 13, 2015  
Re: **1400 Bourbon Road Redevelopment Project – SIP Review**

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### Executive Summary

The Village is in receipt of a Specific Implementation Plan (SIP) application from the Gallina Corporation of Mt. Horeb to construct a 53 unit apartment building at 1400 Bourbon Road. The rezone request from Multi-Family Residential-16 (MR-16) to Planned Development (PD) and the General Development Plan (GDP) were approved by the Plan Commission and Village Board in May of this year. The property is currently a vacant farmstead with a house and outbuilding remnants. This memorandum will summarize the request and serve as the official Staff Report by reviewing the submittals against the relevant sections of the Zoning Code.

### Project Background

The SIP is the final step in the review process for projects within the PD District. It outlines greater detail about the project or phase thereof as is to be permitted for implementation. The Village initiated contact with the Property Owner in 2014 to begin the review/approval process to redevelop the site which is currently underutilized and blighted. The 53 unit apartment building would be full service apartment living with an exercise facility, outside courtyard with gas fire place, elevator, underground parking, small child play area, access to adjacent conservancy area, on-site management, in unit laundry, individual unit porches, and a variety of different 1-2 bedroom floor plans rented at market rates. The Developer constructed Cedar Glen Apartments as a 59 unit development in 1989 off of Ludden Drive and continues to operate this facility. This property has experienced a 99% occupancy over the past four years for similar style units. Construction of the facility is expected to begin in the Fall of 2015 with completion in the Summer of 2016. The letter of intent and required plans are included as Appendix A of this memorandum.

### Code Review

#### *Section 84.167 – Planned Developments (Appendix B)*

This section establishes the administrative procedure in order to meet the requirements of the Planned Development district. The Pre-Application Conference was held with the Developer at the April 1<sup>st</sup> Staff Meeting followed by an introductory presentation to the board on April 27<sup>th</sup>. The Developer waived the optional Concept Plan Review and submitted the General Development Plan for consideration on April 24<sup>th</sup>. The Plan Commission

reviewed and approved the GDP on May 4<sup>th</sup> followed by Village Board review/approval on May 18<sup>th</sup>. The submittal within Appendix A includes the letter of intent, site location plan, site plan, lighting plan, existing conditions map, grading/stormwater management plan, utility plan, landscaping plan, floor plans, elevations, and elevation rendering. The project as proposed appears to meet the submittal requirements Specific Implementation Plans. The Plan Commission will consider the SIP at its meeting on August 17<sup>th</sup> and provide a recommendation to the Village Board for their consideration on August 24<sup>th</sup>. Following acceptance by the Village Board of their SIP, the Developer will then be allowed to submit final construction drawings used for State Code approval and the building permit.

*Section 84.164 – Site Plan Review and Approval Procedures (Appendix C)*

Section 84.167(4)(c) requires that “the process for review and approval of the SIP...be identical to that for site plans per Section 84.164.” Uses that are identified within SIPs are specifically exempted (Section 84.164(b)(4)) from the Site Plan Review requirements if they provide the same level of range and detail within the plans. The intended land use as was proposed in the GDP and the SIP are the same, and the submittal provided meets the requirements for the exemption from this Section of the code.

**Recommendation**

Village Staff recommends reviewing the application and making a recommendation to the Village Board for their consideration. Two conditions to consider as part of the recommendation:

1. The proposed monument sign shall comply with Chapter 87 (Sign Regulations) of the Village Code and subject to a Sign Permit through Village Staff.
2. Engineering plans shall be subject to Village Staff final review/approval at the time of permitting.

**Appendices**

Appendix A – Letter of Intent and Submittal Requirements for Specific Implementation Plan (SIP)

Appendix B – Section 84.167: Planned Developments

Appendix C – Section 84.164: Site Plan Review and Approval Procedures

# Appendix A

August 7, 2015

Matthew G. Schuenke  
Village Administrator/Clerk-Treasurer  
Village Hall  
2417 Brewery Road  
Cross Plains, WI 53528



Re: Letter of Intent – Planned Development

**Mill Creek Apartments**

1400 Bourbon Road  
Cross Plains, Wisconsin  
KBA Project # 0808

Mr. Matthew Schuenke:

We are pleased to submit this project, together with the plans, application and zoning text for staff, Plan Commission and Village Board's consideration of approval.

**Organizational Structure:**

**Owner/Developer:**

Gallina Corporation  
101 East Main St., Suite 500  
Mt. Horeb, WI 53572  
608- 437-8301  
608-437-8302 fax  
Contact: Craig Enzenroth  
[cenzenroth@gallinacos.com](mailto:cenzenroth@gallinacos.com)

**Architect:**

Knothe & Bruce Architects, LLC  
7601 University Avenue, Ste 201  
Middleton, WI 53562  
608-836-3690  
Contact: Randy Bruce  
[rbruce@knothebruce.com](mailto:rbruce@knothebruce.com)

**Engineer:**

Burse Surveying and Engineering, Inc.  
2801 International Lane, Suite 101  
Madison, WI 53704  
608-250-9263, x222  
608-250-9266 fax  
Contact: Peter D. Fortlage, P.E.  
[pfortlage@bse-inc.net](mailto:pfortlage@bse-inc.net)

**Landscape Design:**

The Bruce Company  
2830 Parmenter Street  
P.O. Box 620330  
Middleton, WI 53562  
608-836-7041  
Contact: Rich Strohmenger  
[rstrohmenger@brucecompany.com](mailto:rstrohmenger@brucecompany.com)

**Introduction:**

The proposed site is located on the south at 1400 Bourbon Road, east of Ludden Drive west of Continental Lane. The existing lot is 2.57 Acres and is currently zoned MR-16. This application is for rezoning to a Planned Development, Specific Implementation Plan.

**Project Description:**

The site currently has a vacant single family home with several foundations from out buildings and barn structures. Adjacent property uses include Planned Developments north of Bourbon Street, Multi-family residential to the east and west, and a business park and conservancy to the south.

The site plan is designed to provide an integrated medium-density housing environment and provide for a variety of vehicular and pedestrian connections. Vehicular access to the site is achieved from the north at Bourbon Road. Vehicle and bicycle parking is well distributed on-site and within the parking garage. The building forms an articulated street edge and a common area central courtyard space. Individual apartment entries with generous porches are emphasized on the street façades. The building has been designed to fit within the Cross Plains area context; using a palette of attractive, low-maintenance exterior materials including brick veneer masonry and horizontal siding. Natural features, including existing trees on the north of the property, will be preserved and serve as a natural buffer between the development and Bourbon Street.

Several improvements along the east property line are proposed. The existing chain link fence on the east property line will be removed. A proposed easement will be dedicated along the southeastern edge of the property to maintain adequate public access to the conservancy property to the south (this easement is shown on the site plans.) The developer will work with the Village and the adjacent landowner to create a natural appearing entrance feature to the path at Bourbon Street and the path will be marked at 50 ft. intervals from the Bourbon Street entrance to the south property line.

Mill Creek Apartments will contain (13) – One Bedroom Units and (40) – Two Bedroom Units totaling 53 units in a variety of floor plans. This market rate rental community will offer our customers amenities which will include: Elevator, Underground parking, Courtyard Patio area with gas fire pit, Small child play area, fitness facility, access to conservancy area, on-site management, ample parking, in unit laundry, quality maple finishes, individually controlled HVAC with high efficiency gas fired equipment, GE appliances.

A property monument sign adjacent to the entry drive will be set back from the street edge and meet the zoning chapter 87 sign regulations.

**Site Development Statistics:**

Site Areas:

Lot Area (S.F.)	112,065 S.F.
Lot Area (Acres)	2.57 Acres
Lot Area /D.U.	2,114 S.F. / unit
Density	20.62 units / acre
Building Coverage	22,714 S.F. / 20%
Landscape Surface Area	66,081 S.F. / 59%

Dwelling Unit Mix:

One Bedroom	13 units
<u>Two Bedroom</u>	<u>40 units</u>
Total Dwelling Units	53 units

Gross Floor Area:

First Floor	22,600 S.F.
Second Floor	22,600 S.F.
<u>Third Floor</u>	<u>20,500 S.F.</u>
Total Floor Area	65,500S.F.
Floor Area Ratio	.56

Building Height:

Three Stories

Vehicle Parking:

Surface:	40 stalls
<u>Underground:</u>	<u>59stalls</u>
Total	99 stalls

Parking Ratio: 1.87 stalls / unit

**Statement of Rationale:**

The Planned Development zoning is used to allow for a well-designed multifamily development that maximizes open space preservation while achieving densities that exceed the MR-16 zoning district.

**Zoning Standards:**

<b>Density, Intensity, and Bulk Regulations for the (MR-16) Multi-Family Residential – 16 District.</b>		
	<b>Residential Uses Required</b>	<b>Proposed</b>
Minimum Lot Area	2,500 square feet per dwelling unit	2,114 S.F./UNIT
Maximum Density	16 dwelling units per acre	20.62
Minimum Lot Frontage	50 feet	98 feet
Maximum Building Coverage of Lot	50 percent	20 percent
Minimum Landscape Surface Ratio	30 percent	59%
Minimum Lot Width (per building, not unit)	100 feet	250 feet
Minimum Front Setback	30 feet	98 feet
Minimum Street Side Setback	30 feet	n/a
Minimum Side Setback	30 feet	85/25 feet
Minimum Rear Setback	30 feet	70 feet
Maximum Principal Building Height	35 feet	50'
Minimum Principal Building Separation (multi-structure developments on shared lots)	40 feet	n/a
Minimum Pavement Setback (lot line to pavement; excludes driveway entrances)	5 feet from side, or 0 feet for shared driveway; 10 feet from right of way or rear	22 feet
Parking Requirements	See Article III – 2/unit = 106 stalls	1.87/unit = 99 stalls
Minimum Garage Door Setback to Alley (if applicable)	8 feet for doors parallel to alley; 3 feet for door perpendicular to alley	n/a
Accessory Building Side Setback	10 feet	n/a
Accessory Building Rear Setback	10 feet	n/a
Maximum Accessory Building Height	Lesser of 15 feet or principal building height	n/a

**Consistency with the General Development Plan:**

The Specific Plan was designed to be entirely consistent with the General Development Plan. Additional details and information is provided in the SIP but there are no variances from the GDP.

**Construction Staging and Project Schedule:**

The construction of the project is planned to occur in one phase with construction starting on October 1, 2015. The building is planned to be ready for occupancy on July 1, 2016 and all construction completed on October 1, 2016.

A construction staging area for materials is planned for the eastern edge of the site in the general location of the future surface parking area (see the Specific Implementation Plan, Sheet C-1.0 for the location).

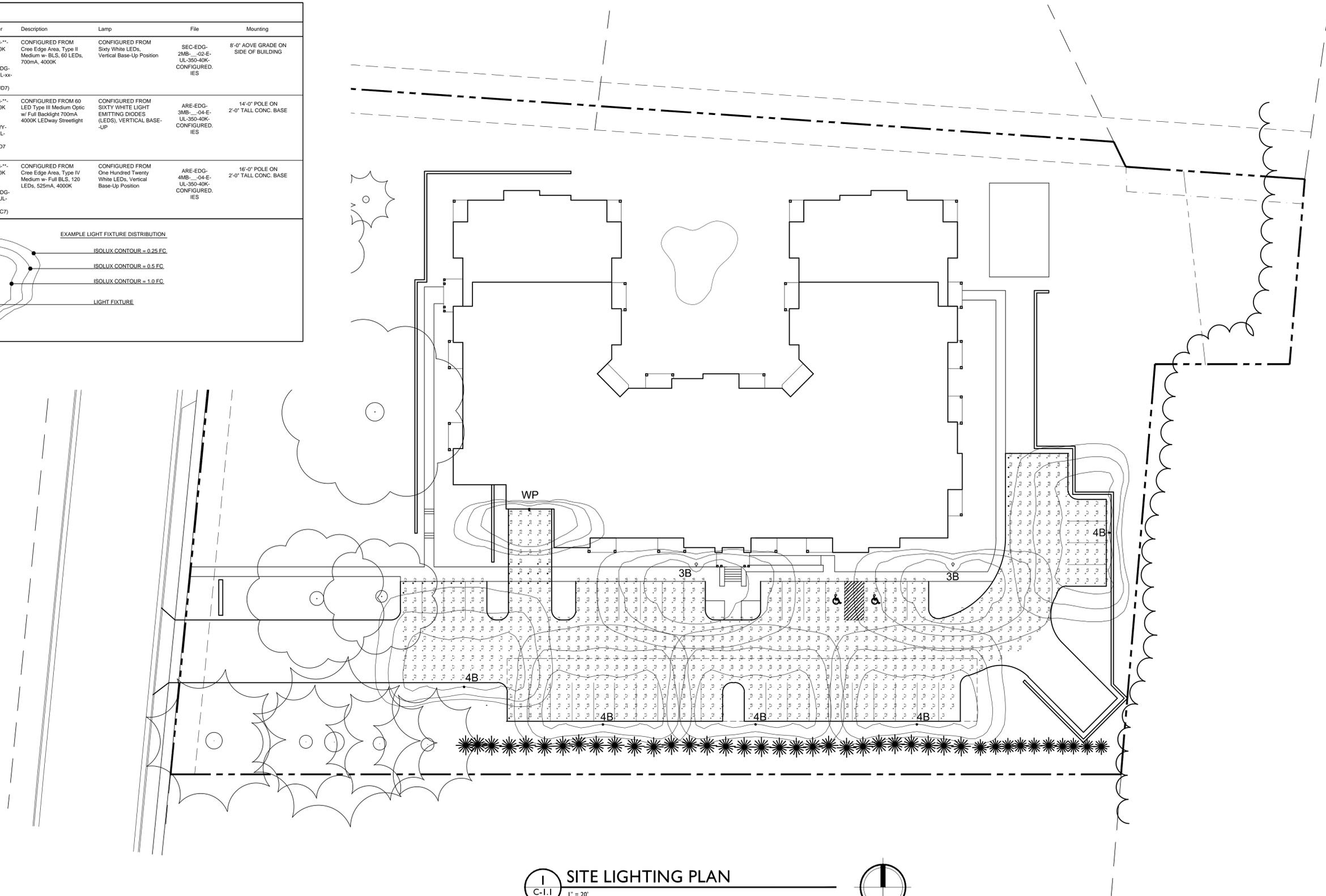
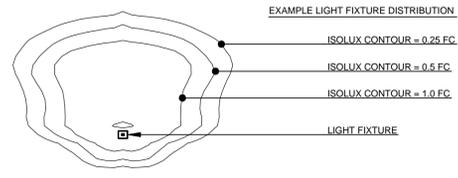
Thank you for your time reviewing our proposal.  
 Sincerely,

J. Randy Bruce, AIA  
 Managing Member



STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	1.0 fc	3.0 fc	0.2 fc	15.0:1	5.0:1

LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Mounting
⌈	WP	1	SEC-EDG-2MB-02-E-UL-350-40K (350mA)	CONFIGURED FROM Cree Edge Area, Type II Medium w. BLS, 60 LEDs, 700mA, 4000K	CONFIGURED FROM Sixty White LEDs, Vertical Base-Up Position	SEC-EDG-2MB-02-E-UL-350-40K-CONFIGURED. IES	8'-0" AOVE GRADE ON SIDE OF BUILDING
⊙	3B	2	ARE-EDG-3MB-04-E-UL-350-40K (350mA)	CONFIGURED FROM 60 LED Type III Medium Optic w/ Full Backlight 700mA 4000K LEDway Streetlight	CONFIGURED FROM SIXTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE-UP	ARE-EDG-3MB-04-E-UL-350-40K-CONFIGURED. IES	14'-0" POLE ON 2'-0" TALL CONC. BASE
⊙	4B	5	ARE-EDG-4MB-04-E-UL-350-40K (350mA)	CONFIGURED FROM Cree Edge Area, Type IV Medium w. Full BLS, 120 LEDs, 525mA, 4000K	CONFIGURED FROM One Hundred Twenty White LEDs, Vertical Base-Up Position	ARE-EDG-4MB-04-E-UL-350-40K-CONFIGURED. IES	16'-0" POLE ON 2'-0" TALL CONC. BASE

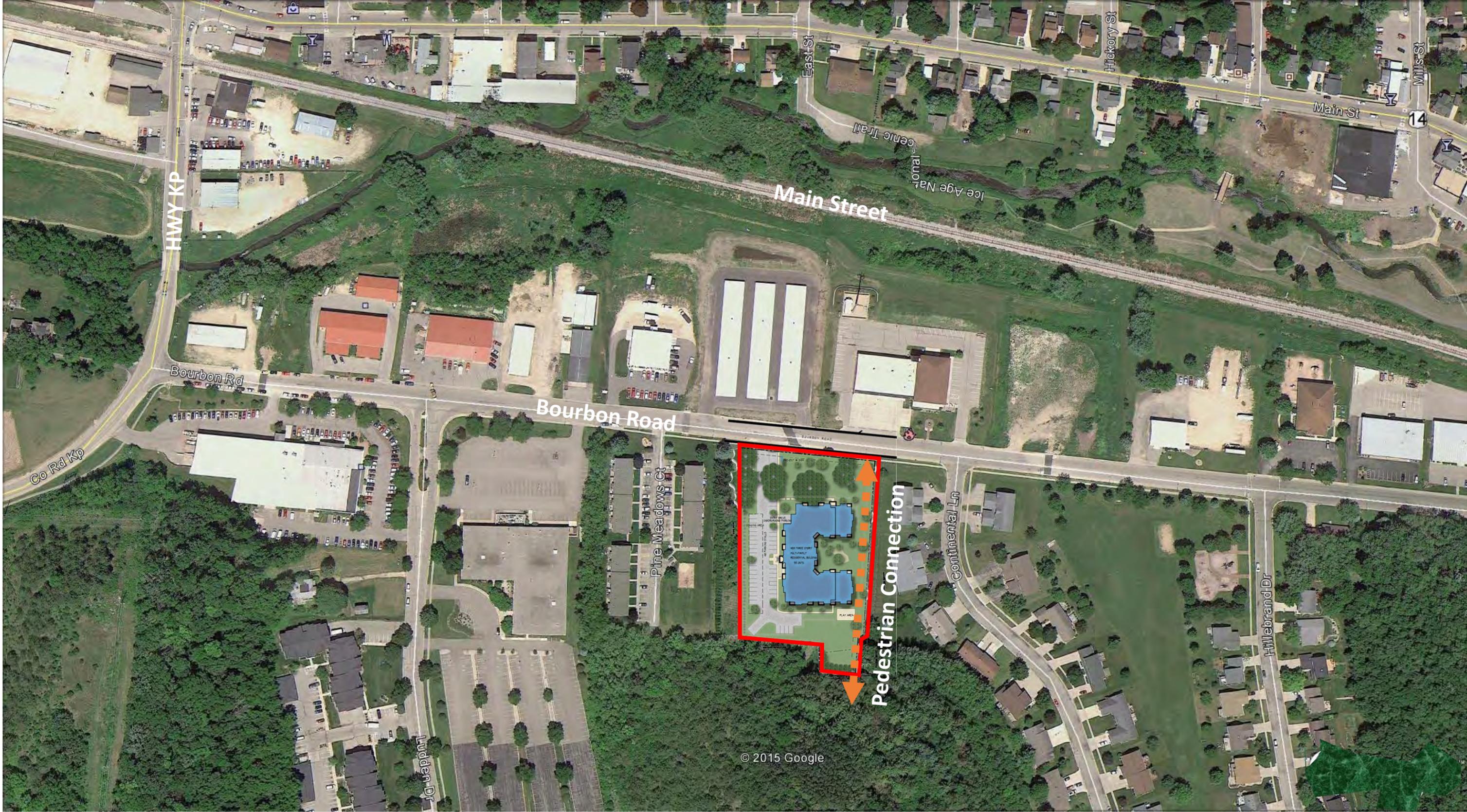


ISSUED  
April 24, 2015 GDP Application  
Issued for SIP Submittal - August 7, 2015

PROJECT TITLE  
**MILL CREEK APARTMENTS**

1400 BOURBON RD  
CROSS PLAINS, WI  
SHEET TITLE  
**Site Lighting Plan**

SHEET NUMBER



# MILL CREEK APARTMENTS Site Location Plan

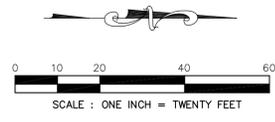






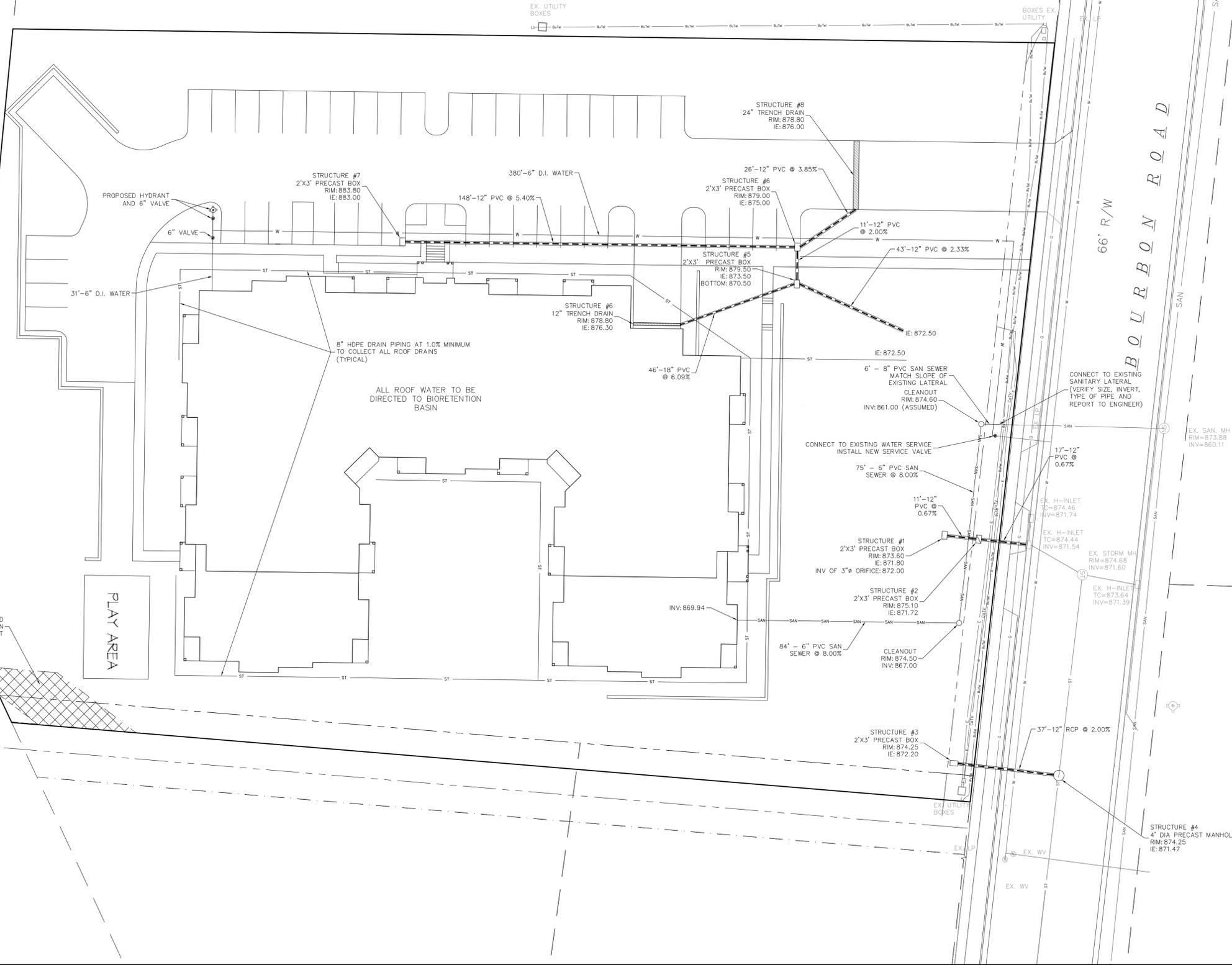
\*SURVEY PERFORMED BY OTHERS

**DIGGERS HOTLINE**  
 Dial 811 or (800) 242-8511  
 www.DiggersHotline.com



**LEGEND**

OH	OVERHEAD UTILITY WIRE
G	BURIED GAS LINE
W	EX. WATER MAIN
SAN	EX. SANITARY SEWER
ST	EX. STORM SEWER
BuTel	BURIED TELEPHONE
E	BURIED ELECTRIC
CoTV	BURIED CABLE ACCESS TELEVISION LINE
FO	BURIED FIBER OPTIC
- - -	EXISTING CONTOUR MAJOR
- - -	EXISTING CONTOUR MINOR
- - -	PROPOSED STORM SEWER
ST	PROPOSED ROOF DRAIN PIPING
W	PROPOSED WATER SERVICE
SAN	PROPOSED SANITARY LATERAL



**Burse**  
 Surveying and Engineering, Inc.  
 2801 International Lane, Suite 101  
 Madison, WI 53704  
 Phone: 608-250-9263  
 Fax: 608-250-9266  
 e-mail: MBurse@BUSE-INC.NET  
 www.bursesurveying.com

**APPROVALS**

PROJECT ENG	MLB	PDF	MLB
DESIGNED BY	MLB	PDF	MLB
DRAWN BY	MLB	PDF	MLB
CHECKED BY	MLB	PDF	MLB
APPROVED	MLB	PDF	MLB

**MILL CREEK APARTMENTS**  
 1400 Bourbon Road  
 Cross Plains, Wisconsin, 53528  
**Gallina Corporation**  
 101 East Main Street #600  
 Mount Horeb, Wisconsin, 53572

**PROJECT #: BSE1804**  
**PLOT DATE: 08/07/2015**

**REVISION DATES:**


**ISSUE DATES:**  
 SIP 08/07/2015

**UTILITY PLAN**

**Burse**  
 Surveying and Engineering, Inc.

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**DRAWING NUMBER**  
**C-4.0**

**VILLAGE OF CROSS PLAINS LANDSCAPE POINTS REQUIREMENTS**

PROJECT NAME: 1400 BOURBON ROAD

STREET FRONTAGE - 289 LF - 217 POINTS REQUIRED

#	Plant Category	Pts	Subtotal
5	Shade Tree	75	375
3	Tall Deciduous Tree	30	90
3	Tall Evergreen Tree	40	120
			<b>585 Total Achieved</b>

PAVED AREAS - 46 Stalls - 230 Points Required

#	Plant Category	Pts	Subtotal
7	Shade Tree	75	525
2	Low Deciduous Tree	10	20
23	Medium Deciduous Shrub	3	69
0	Low Deciduous Shrub	1	
0	Tall-Med Evergreen Shrub	5	
			<b>614 Total Achieved</b>

BUILDING FOUNDATION - 840 LF - 630 Points Required

#	Plant Category	Pts	Subtotal
9	Medium Deciduous Tree	15	135
14	Medium Evergreen Tree	30	420
0	Low Evergreen Tree	12	
8	Tall Evergreen Shrubs	5	40
0	Low Evergreen Shrubs	3	
53	Medium Deciduous Shrub	3	159
0	Low Deciduous Shrub	1	
			<b>754 Total Achieved</b>

YARD AREAS - 62,250 SF - 653 Points Required

#	Plant Category	Pts	Subtotal
2	Shade Tree	75	150
6	Medium Deciduous Tree	15	90
3	Low Deciduous Tree	10	30
9	Tall Evergreen Tree	40	360
5	Tall Deciduous Shrub	5	25
5	Medium Deciduous Shrub	3	15
			<b>670 Total Achieved</b>

EAST BUFFERYARD - MR16 TO MR8 = .10 OPACITY- 365 LF @ 20' W = 266 Points Req.

#	Plant Category	Pts	Subtotal
3	Shade Tree	75	225
0	Medium Deciduous Tree	15	
0	Low Deciduous Tree	10	
3	Tall Evergreen Tree	40	120
0	Low Evergreen Tree	12	
0	Tall Deciduous Shrub	5	
			<b>345 Total Achieved</b>

EAST BUFFERYARD - MR16 TO DR6 = .2 OPACITY -74 LF @ 40' W = 100 Points Required

#	Plant Category	Pts	Subtotal
3	Tall Evergreen Tree	40	120
			<b>120 Total Achieved</b>

WEST BUFFERYARD - MR16 TO MR8 = .1 OPACITY - 395 LF @ 20' W = 288 Points Req.

#	Plant Category	Pts	Subtotal
40	Tall/Medium Evergreen	30	1,200
			<b>1,200 Total Achieved</b>

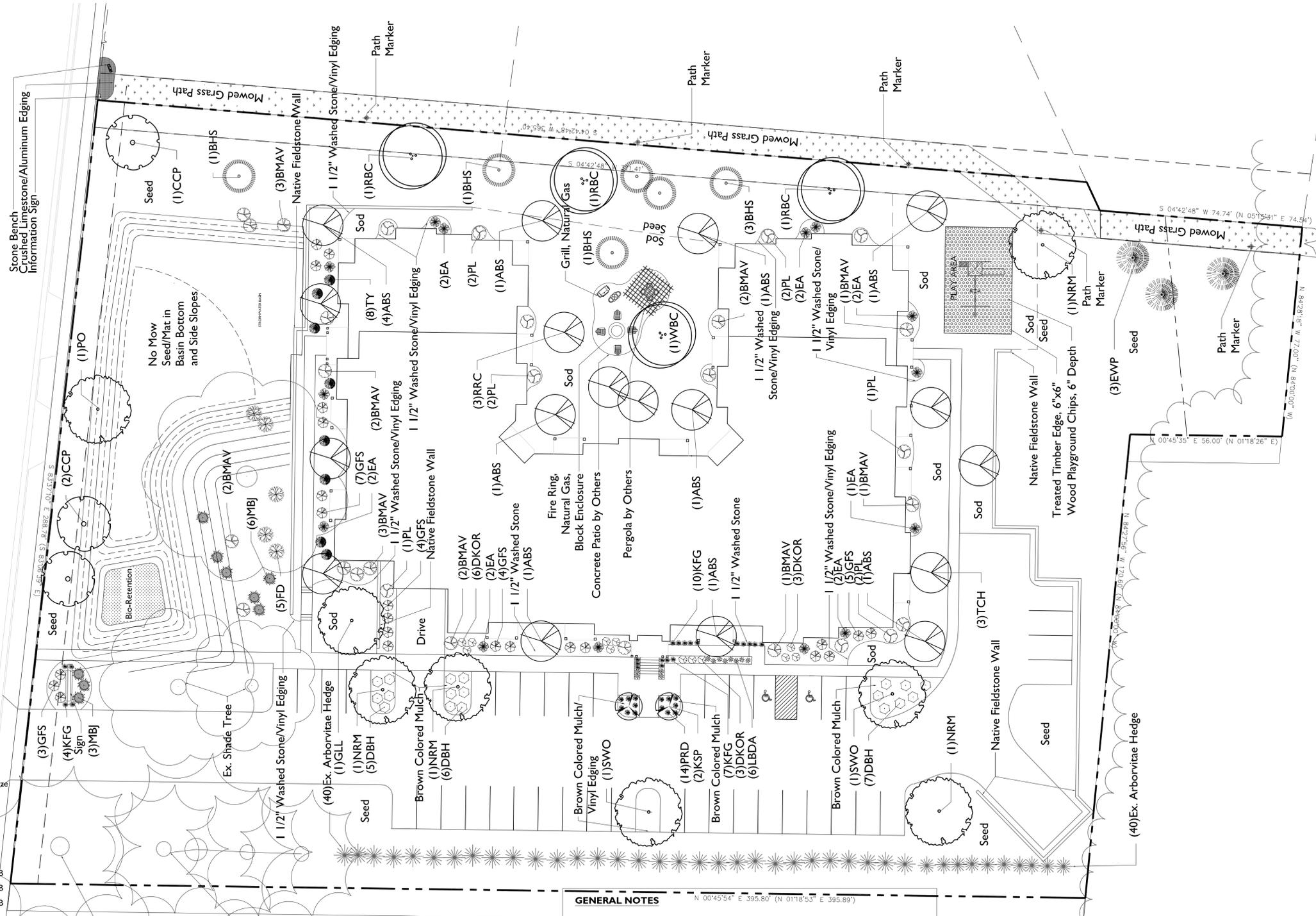
Plant Material List

Quantity	Code Name	Common Name	Scientific Name	Planting Size
4	NRM	Northwood Red Maple	Acer Rubrum 'northwood'	2" B&B
12	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'	6" B&B
3	RBC	River Birch (clp)	Betula Nigra (clp)	6" B&B
1	WBC	Whitespire Gray Birch (clp)	Betula Populifolia 'whitespire' (clp)	6" B&B
3	TCH	Thnls Cockspar Hawthorn (clp)	Crataegus Crus-Galli Var Iner	6" B&B
3	RRC	Royal Raindrops Crabapple	Malus 'rs-Kw5'	1 1/2" B&B
3	CCP	Chanticleer Gallery Pear	Pyrus Calleryana 'chanticleer'	1 1/2" B&B
2	KSP	Korean Sun Pear	Pyrus Fauriei 'westwood'	1 3/4" B&B
2	SWO	Swamp White Oak	Quercus Bicolor	2" B&B
1	PO	Pin Oak	Quercus Palustris	2" B&B
1	GLL	Glenleven Littleleaf Linden	Tilia Cordata 'glenleven'	2" B&B

Quantity	Code Name	Common Name	Scientific Name	Planting Size
9	MBJ	Mountbatten Juniper	Juniperus Chinen 'mountbatten'	4" B&B
6	BHS	Black Hills Spruce	Picea Glauca Var Densata	5" B&B
3	EWP	Eastern White Pine	Pinus Strobus	5" B&B
8	TY	Taunton Yew	Taxus X Media 'tauntonii'	18" B&B
14	EA	Emerald Arborvitae	Thuja Occidentalis 'smaragd'	4" B&B

Quantity	Code Name	Common Name	Scientific Name	Planting Size
21	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
12	LBD	Little Business Daylily	Hemerocallis 'little Business'	#1 CONT.
14	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.

Quantity	Code Name	Common Name	Scientific Name	Planting Size
5	FD	Firedance Dogwood	Cornus Sericea 'balladeline'	#5 CONT.
18	DBH	Dwf Bush-Honeysuckle	Diervilla Lonicera	#2 CONT.
12	DKOR	Double Knock Out Rose	Rosa 'radtko'	#2 CONT.
23	GFS	Goldflame Spirea	Spiraea Japonica 'goldflame'	#2 CONT.
11	PL	Palibin Lilac	Syringa Meyer 'palibin'	#7 CONT.
17	BMAV	Blue Muffin Arwd Viburnum	Viburnum Dentatum 'christom'	#5 CONT.



**BIO-RETENTION DEVICE PLANT LIST**

Quantity	Common Name	Scientific Name	Planting Size	Plant Spacing
64	VIRGINIA WILD RYE	ELYMUS VIRGINICUS	2.5" POT	12" O.C. Rect. Spacing
64	SWITCH GRASS	Panicum VIRGATUM	2.5" POT	12" O.C. Rect. Spacing
32	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	2.5" POT	12" O.C. Rect. Spacing
32	INDIAN GRASS	SORBASTRUM NUTANS	2.5" POT	12" O.C. Rect. Spacing

**GRASSES AND SEDGES**

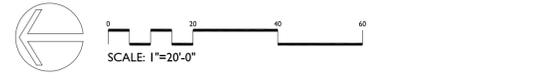
Quantity	Common Name	Scientific Name	Planting Size	Plant Spacing
32	NEW ENGLAND ASTER	ASTER NOVAE-ANGLIAE	2.5" POT	12" O.C. Rect. Spacing
32	PURPLE CONEFLOWER	ECHINACEA PURPUREA	2.5" POT	12" O.C. Rect. Spacing
32	FALSE SUNFLOWER	HELIPPSIS HELIANTHOIDES	2.5" POT	12" O.C. Rect. Spacing
32	WILD IRIS	IRIS VIRGINIANA SHREVEI	2.5" POT	12" O.C. Rect. Spacing
32	BERGAMOT	MONARDA FISTULOSA	2.5" POT	12" O.C. Rect. Spacing
32	SWEET BLACK-EYED SUSAN	RUDBECKIA SUBTOMENTOSA	2.5" POT	12" O.C. Rect. Spacing
32	STIFF GOLDENROD	SOLIDAGO RIGIDA	2.5" POT	12" O.C. Rect. Spacing

**GENERAL NOTES**

- A) Areas labeled "Brown Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown, spread to a 3" depth over pre-emergent herbicide.
- B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (3' wide beds for shrub groupings).
- C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.
- D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
- E) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
- F) Seed shall consist of the following mixture:  
 10% Palmer IV Perennial Ryegrass  
 20% Dragon Kentucky Bluegrass  
 20% Diva Kentucky Bluegrass  
 20% Foxy II Creeping Red Fescue  
 15% Vail II Perennial Ryegrass  
 15% Ginney Kentucky Bluegrass
- G) No Mow Seed consists of the following mixture:  
 34% Sheep Fescue  
 33% Hard Fescue  
 33% Chewing Fescue
- H) Areas labeled "Seed/Mat" shall be seeded with the above-noted premium lawn seed mixture and overlaid with DS75 straw erosion control netting that is then pegged into the soil with metal staples.
- I) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.



**SIP LANDSCAPE PLAN**



**the bruce company**  
 LANDSCAPE ARCHITECTS  
 LANDSCAPE CONTRACTORS  
 2830 PARMENTER STREET  
 P.O. BOX 620330  
 MIDDLETON, WI 53562-0330  
 TEL (608) 836-7041  
 FAX (608) 831-6266

**MILL CREEK APARTMENTS**  
 1400 BOURBON ROAD  
 CROSS PLAINS, WISCONSIN 53528

Checked By: SS  
 Drawn By: 3/30/15 RS  
 Revised: 4/23/15 RS  
 Revised: 8/07/15 RS  
 Revised:  
 Revised:  
 Revised:  
 Revised:  
 Revised:  
 Revised:

**L-1.1**

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10015 CAD/STEE SHORT/AG/AL VILLAGE 1400 BOURBON V152.DWG Created: 8/6/2015, Sheet: 8/7/2015, Printer: 8/7/2015

**VILLAGE OF CROSS PLAINS LANDSCAPE POINTS REQUIREMENTS**

PROJECT NAME: 1400 BOURBON ROAD

STREET FRONTAGE - 289 LF - 217 POINTS REQUIRED

#	Plant Category	Pts	Subtotal
5	Shade Tree	75	375
3	Tall Deciduous Tree	30	90
3	Tall Evergreen Tree	40	120
			<b>585 Total Achieved</b>

PAVED AREAS - 46 Stalls - 230 Points Required

#	Plant Category	Pts	Subtotal
7	Shade Tree	75	525
2	Low Deciduous Tree	10	20
23	Medium Deciduous Shrub	3	69
0	Low Deciduous Shrub	1	
0	Tall-Med Evergreen Shrub	5	
			<b>614 Total Achieved</b>

BUILDING FOUNDATION - 840 LF - 630 Points Required

#	Plant Category	Pts	Subtotal
9	Medium Deciduous Tree	15	135
14	Medium Evergreen Tree	30	420
0	Low Evergreen Tree	12	
8	Tall Evergreen Shrubs	5	40
0	Low Evergreen Shrubs	3	
53	Medium Deciduous Shrub	3	159
0	Low Deciduous Shrub	1	
			<b>754 Total Achieved</b>

YARD AREAS - 62,250 SF - 653 Points Required

#	Plant Category	Pts	Subtotal
2	Shade Tree	75	150
6	Medium Deciduous Tree	15	90
3	Low Deciduous Tree	10	30
9	Tall Evergreen Tree	40	360
5	Tall Deciduous Shrub	5	25
5	Medium Deciduous Shrub	3	15
			<b>670 Total Achieved</b>

EAST BUFFERYARD - MR16 TO MR8 = .10 OPACITY - 365 LF @ 20' W = 266 Points Req.

#	Plant Category	Pts	Subtotal
3	Shade Tree	75	225
0	Medium Deciduous Tree	15	
0	Low Deciduous Tree	10	
3	Tall Evergreen Tree	40	120
0	Low Evergreen Tree	12	
0	Tall Deciduous Shrub	5	
			<b>345 Total Achieved</b>

EAST BUFFERYARD - MR16 TO DR6 = .2 OPACITY - 74 LF @ 40' W = 100 Points Required

#	Plant Category	Pts	Subtotal
3	Tall Evergreen Tree	40	120
			<b>120 Total Achieved</b>

WEST BUFFERYARD - MR16 TO MR8 = .1 OPACITY - 395 LF @ 20' W = 288 Points Req.

#	Plant Category	Pts	Subtotal
40	Tall/Medium Evergreen	30	1,200
			<b>1,200 Total Achieved</b>

Plant Material List

Quantity	Code Name	Common Name	Scientific Name	Planting Size
4	NRM	Northwood Red Maple	Acer Rubrum 'northwood'	2" B&B
12	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'	6" B&B
3	RBC	River Birch (clp)	Betula Nigra (clp)	6" B&B
1	WBC	Whitespire Gray Birch (clp)	Betula Populifolia 'whitespire' (clp)	6" B&B
3	TCH	Thnls Cockspur Hawthorn (clp)	Crataegus Crus-Galli Var Iner	6" B&B
3	RRC	Royal Raindrops Crabapple	Malus 'Jfs-Kw5'	1 1/2" B&B
3	CCP	Chanticleer Callery Pear	Pyrus Calleryana 'chanticleer'	1 1/2" B&B
2	KSP	Korean Sun Pear	Pyrus Fauriei 'westwood'	1 3/4" B&B
2	SWO	Swamp White Oak	Quercus Bicolor	2" B&B
1	PO	Pin Oak	Quercus Palustris	2" B&B
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12	LBDA	Little Business Daylily	Hemerocallis 'little Business'	#1 CONT.
14	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.

Quantity	Code Name	Common Name	Scientific Name	Planting Size
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18	DBH	Dwf Bush-Honeysuckle	Diervilla Lonicera	#2 CONT.
12	DKOR	Double Knock Out Rose	Rosa 'radtko'	#2 CONT.
23	GFS	Goldflame Spirea	Spiraea Japonica 'goldflame'	#2 CONT.
11	PL	Palibin Lilac	Syringa Meyer 'palibin'	#7 CONT.
17	BMAV	Blue Muffin Arwd Viburnum	Viburnum Dentatum 'christom'	#5 CONT.



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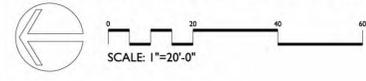
**BIO-RETENTION DEVICE PLANT LIST**

Quantity	Common Name	Scientific Name	Planting Size	Plant Spacing
44	VIRGINIA WILD RYE	ELYMUS VIRGINICUS	2.5" POT	12" O.C. Rect. Spacing
32	SWITCH GRASS	Panicum Virgatum	2.5" POT	12" O.C. Rect. Spacing
32	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	2.5" POT	12" O.C. Rect. Spacing
32	INDIAN GRASS	SORBASTRUM NUTANS	2.5" POT	12" O.C. Rect. Spacing

**GRASSES AND SEDGES**

Quantity	Common Name	Scientific Name	Planting Size	Plant Spacing
32	NEW ENGLAND ASTER	ASTER NOVAE-ANGLIAE	2.5" POT	12" O.C. Rect. Spacing
32	PURPLE CONEFLOWER	ECHINACEA PURPUREA	2.5" POT	12" O.C. Rect. Spacing
32	FALSE SUNFLOWER	HELIOPSIS HELIANTHOIDES	2.5" POT	12" O.C. Rect. Spacing
32	WILD IRIS	IRIS VIRGINIANA SHREVEI	2.5" POT	12" O.C. Rect. Spacing
32	BERGAMOT	MONARDA FISTULOSA	2.5" POT	12" O.C. Rect. Spacing
32	SWEET BLACK-EYED SUSAN	RUDBECKIA SUBTOMENTOSA	2.5" POT	12" O.C. Rect. Spacing
32	STIFF GOLDENROD	SOLIDAGO RIGIDA	2.5" POT	12" O.C. Rect. Spacing

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**MILL CREEK APARTMENTS**  
 1400 BOURBON ROAD  
 CROSS PLAINS, WISCONSIN 53528

Checked By: SS  
 Drawn By: 3/30/15 RS

Revised: 4/23/15 RS  
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10015 CAD/STEVE SHORT/AGL/CAL VILLAGE/1400 BOURBON - 15C2LDWG - Created: 8/6/2015, Saved: 8/7/2015, Printed: 8/7/2015



**knothe • bruce**  
ARCHITECTS

Phone: 7601 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562

ISSUED

April 24, 2015 GDP Application  
Issued for SIP Submittal - August 7, 2015

PROJECT TITLE

**MILL CREEK  
APARTMENTS**

1400 BOURBON RD  
CROSS PLAINS, WI

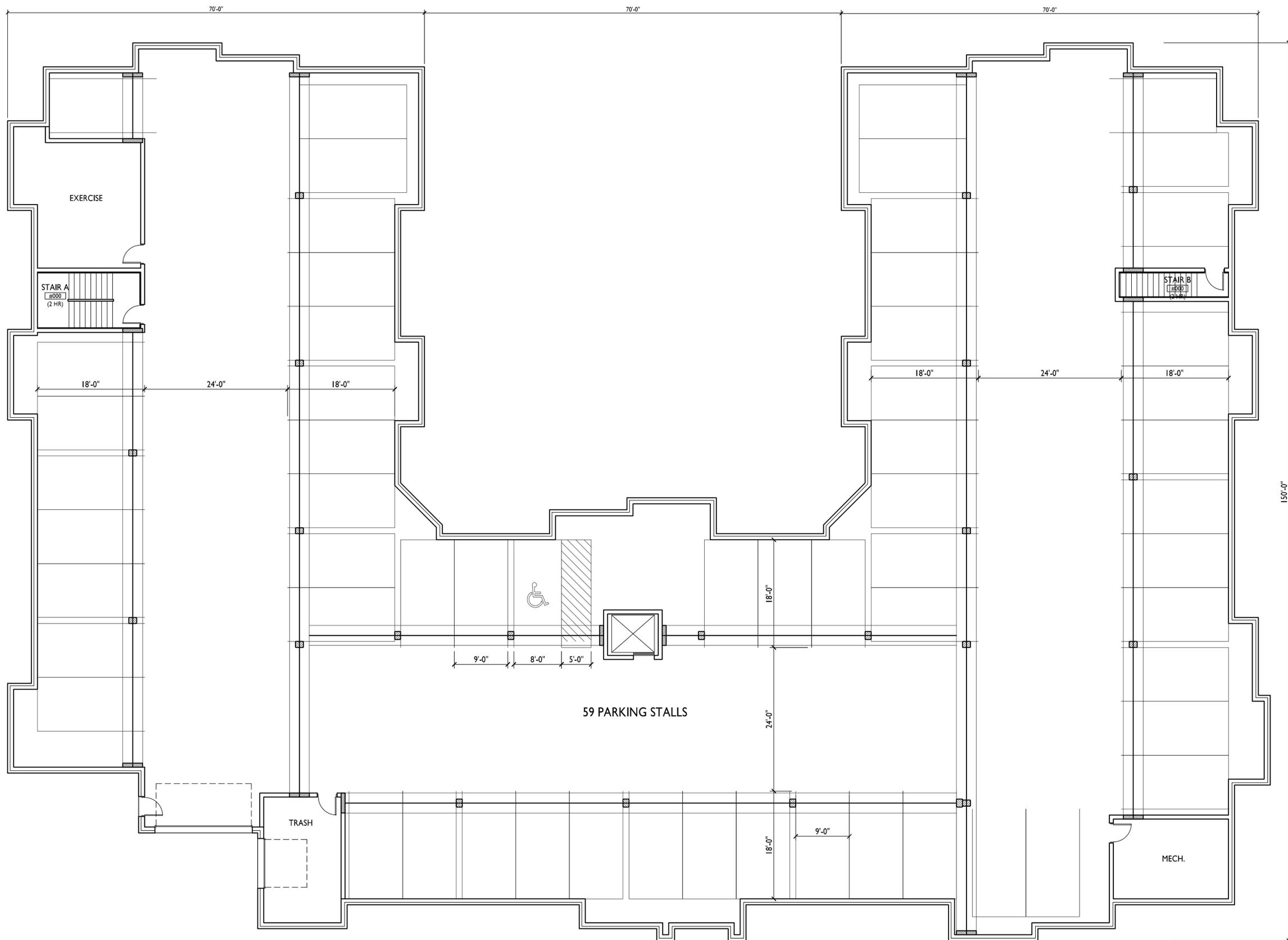
SHEET TITLE  
**Basement Floor  
Plan**

SHEET NUMBER

**A-1.0**

PROJECT NO. **0808**

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**BASEMENT FLOOR PLAN**  
A-1.0 1/8"=1'-0"





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ARCHITECTS

Phone: 7601 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562

ISSUED  
April 24, 2015 GDP Application  
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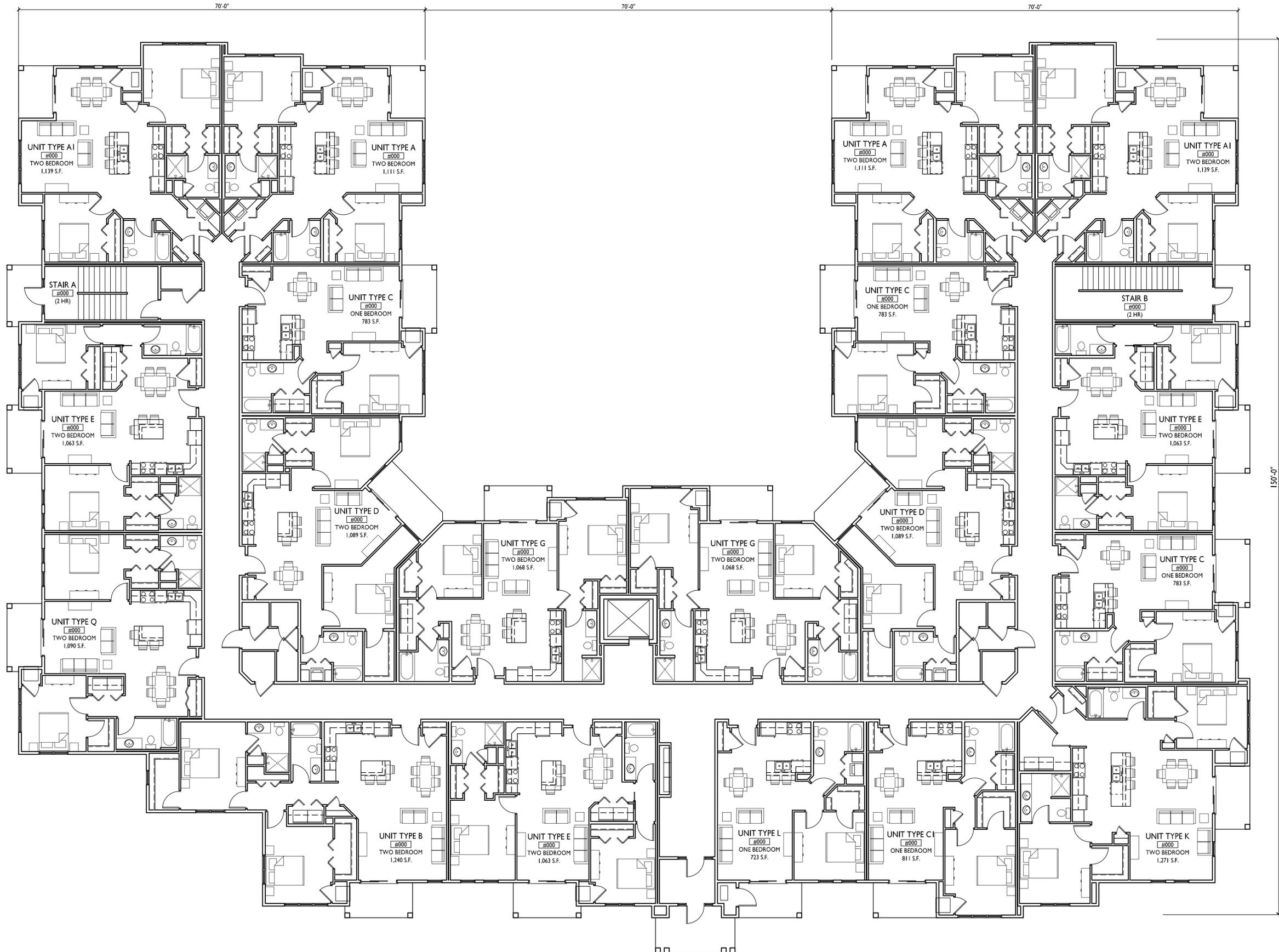
PROJECT TITLE  
**MILL CREEK  
APARTMENTS**

1400 BOURBON RD  
CROSS PLAINS, WI  
SHEET TITLE  
**First Floor Plan**

SHEET NUMBER

**A-1.1**

PROJECT NO. **0808**  
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**FIRST FLOOR PLAN**  
1/8" = 1'-0"



**knothe + bruce**  
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Phone: 7601 University Ave, Ste 201  
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ISSUED  
April 24, 2015 GDP Application  
Issued for SIP Submittal - August 7, 2015

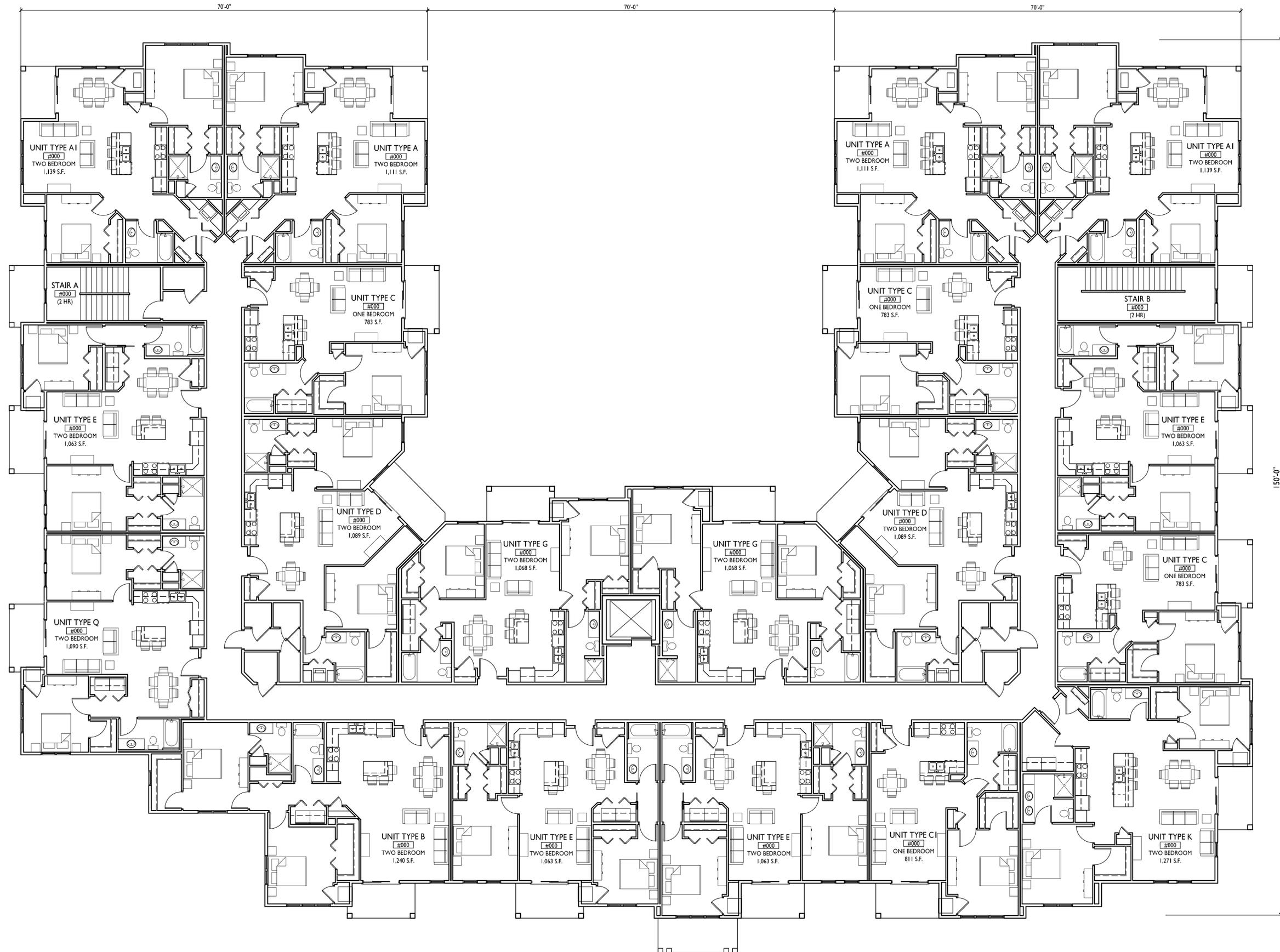
PROJECT TITLE  
**MILL CREEK  
APARTMENTS**

1400 BOURBON RD  
CROSS PLAINS, WI  
SHEET TITLE  
**Second Floor Plan**

SHEET NUMBER

**A-1.2**

PROJECT NO. **0808**  
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**SECOND FLOOR PLAN**  
1/8" = 1'-0"





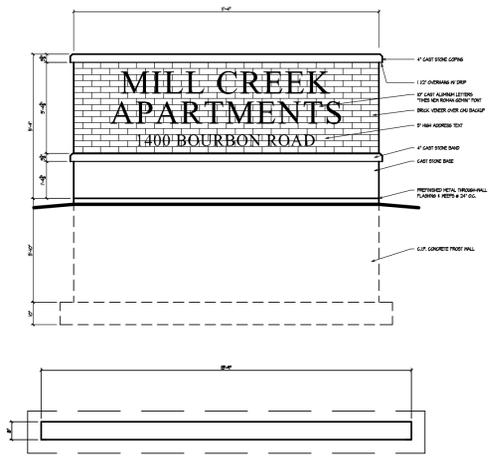
**THIRD FLOOR PLAN**  
A-1.3 1/8"=1'-0"





- TYPICAL MATERIALS
- ASPHALT SHINGLES
  - ALUMINUM WRAPPED FASCIA & SOFFIT
  - HORIZONTAL COMPOSITE SIDING
  - COMPOSITE SHUTTERS
  - ALUMINUM RAILING
  - PRECAST SILLS & BANDS
  - COMPOSITE WINDOW & TRIM
  - COMPOSITE WRAPPED COLUMNS & TRIM
  - BRICK VENEER

**1 EAST ELEVATION**  
A-2.1 1/16"=1'-0"



**3 SITE SIGN ELEVATION & PLAN**  
A-2.1 NTS



**2 NORTH ELEVATION**  
A-2.1 1/8"=1'-0"



- TYPICAL MATERIALS
- ASPHALT SHINGLES
  - ALUMINUM WRAPPED FASCIA & SOFFIT
  - HORIZONTAL COMPOSITE SIDING
  - COMPOSITE SHUTTERS
  - ALUMINUM RAILING
  - METAL ROOF
  - PRECAST SILLS & BANDS
  - COMPOSITE WINDOW & TRIM
  - COMPOSITE WRAPPED COLUMNS & TRIM
  - BRICK VENEER

**1 WEST ELEVATION**  
A-2.2 1/8"=1'-0"



**2 WEST COURTYARD ELEVATION**  
A-2.2 1/8"=1'-0"



**3 EAST COURTYARD ELEVATION**  
A-2.2 1/8"=1'-0"

ISSUED  
April 24, 2015 GDP Application  
Issued for SIP Submittal - August 7, 2015

PROJECT TITLE  
**1400 BOURBON ROAD**

CROSS PLAINS, WI  
SHEET TITLE  
**ELEVATIONS**

SHEET NUMBER

**A-2.1**  
PROJECT NO. **0808**  
© 2013 Knothe & Bruce Architects, LLC



1400 Bourbon Road - North Elevation  
Cross Plains, WI  
April 1, 2015



## Appendix B

- e. The variance will not allow any alteration of an historic structure, including its use, which would preclude its continued designation as an historic structure.
- (2) The Zoning Board of Appeals may request further information and/or additional reports from the Zoning Administrator and/or the applicant. The Zoning Board of Appeals may take final action on said request for approval of the requested variance at time of its initial meeting, or said proceedings may be continued from time-to-time for further consideration.
- (3) If the Zoning Board of Appeals fails to make a determination within 30 days after said public hearing, then the request for the variance shall be considered denied.
- (g) **Effect of Denial.** No application for a variance which has been denied (either wholly or in part) shall be resubmitted for a period of 12 months from the date of said order of denial, except on grounds of new evidence or proof of change of factors found valid by the Zoning Administrator.
- (h) **Limited Effect of a Variance.** Where the Zoning Board of Appeals has granted a variance, such approval shall neither change the use classification of the building or premises, nor give it any status as a nonconforming use other than that which it has as a result of the variance. Granting of a variance shall be considered as unique to the variance granted, and shall not be construed as precedent for any other proposed variance.
- (i) **Stay of Proceedings.** An application for a variance shall stay all legal proceedings furthering enforcement of any provisions of this Chapter from which the applicant is requesting a variance, unless the Zoning Administrator certifies to the Zoning Board of Appeals after the request for the variance has been filed, that by reason of the facts stated in the certificate a stay would, in his opinion, cause imminent peril to life or property. In such case proceedings shall not be stayed otherwise than by a restraining order which may be granted by the Zoning Board of Appeals, or by a court of record on application, on notice to the Zoning Administrator, and on due cause shown.

### SECTION 84.167 Planned Developments.

-  **Purpose.** The purpose of this Section is to provide regulations which govern the procedures for the review and approval, or denial, or proposed Planned Developments.
-  **Initiation of Request.** Proceedings for approval of a Planned Development may be initiated by any of the following:
  - (1) An application by the owner(s) of the subject property; [The Gallina Companies](#)
  - (2) A recommendation of the Plan Commission to the Village Board; or
  - (3) By action of the Village Board.
- (c) **Procedure for Planned Development Approval.** The procedure for zoning to a Planned Development (PD) district shall follow the Zoning Map Amendment

procedure included in Section 84.160, except that the Planned Development procedure shall be subject to the following additional requirements.



April 1st:  
Staff Meeting

**Pre-Application Conference.** Prior to formal petition for zoning to a PD district, the applicant shall confer with appropriate Village staff in order to establish mutual understanding as to the basic concept proposed and to ensure proper compliance with the requirements for processing. Points of discussion and conclusions reached in this stage of the process shall in no way be binding upon the applicant or the Village, but should be considered as the informal, non-binding basis for proceeding to the next step.



Opted for  
immediate  
consideration of  
GDP.

~~**Optional Concept Plan Review.**~~ Upon completion of the pre-application conference, described above, the applicant may decide to prepare an optional conceptual plan for review by the Plan Commission.

- a. At the Plan Commission meeting, the applicant shall engage in an informal discussion with the Plan Commission regarding the concept plan. Appropriate topics for discussion may include the any of the information provided in the concept plan, or other items as determined by the Plan Commission. Points of discussion and conclusions reached at this stage of the process shall be in no way be binding upon the applicant or the Village, but should be considered as the informal, non-binding basis for proceeding to the next step. The preferred procedure is for one or more iterations of Plan Commission review of the concept plan to occur prior to introduction of the formal application for rezoning, which accompanies the General Development Plan application (see (3), below).
- b. The concept plan submittal shall include the following items (digital files should be submitted rather than paper copies whenever possible).
  1. A location map of the subject property and its vicinity.
  2. A general written description of the proposed PD, including:
    - (i) General project themes and images.
    - (ii) The general mix of dwelling unit types and/or land uses.
    - (iii) Approximate residential densities and nonresidential intensities as described by dwelling units per acre, landscaping surface ratio, and/or other appropriate measures of density and intensity.
    - (iv) General treatment of natural features.
    - (v) Relationship to nearby properties and public streets.
    - (vi) Relationship of the project to the Comprehensive Plan.
    - (vii) Description of potentially requested exceptions from the requirements of this Chapter. The purpose of this information shall be to provide the Plan Commission

with information necessary to determine the relative merits of the project with respect to private versus public benefit, and to evaluate the potential adverse impacts created by making exceptions to standard zoning district requirements.

3. A conceptual drawing of the site plan layout, including the general locations of public streets and/or private drives.
4. The Plan Commission shall review the concept plan and, if accepted, shall inform the applicant to move on to the next step in the PD process, General Development Plan.



**General Development Plan Review.** ~~Upon acceptance of the Concept Plan by the Plan Commission,~~ the applicant shall submit a General Development Plan (GDP) to the Zoning Administrator for determination of completeness. Upon determination of completeness by the Zoning Administrator, the GDP shall be placed on the Plan Commission agenda for review and recommendation. Upon recommendation of the Plan Commission, the GDP shall be reviewed by the Village Board. Upon approval of the GDP by the Village Board, the GDP shall establish the zoning for the property.

- a. The GDP submittal shall include the following items(digital files should be submitted rather than paper copies whenever possible):
  1. General location map of the subject site depicting:
    - (i) All lands for which the Planned Development is proposed and all other lands within 100 feet of the boundaries of the subject site.
    - (ii) Names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds.
    - (iii) Current zoning of the subject site and abutting properties, and the jurisdiction(s) that maintains that control.
    - (iv) A graphic scale and a north arrow.
  2. Generalized site plan showing the pattern or proposed land uses, including:
    - (i) General size, shape, and arrangement of lots and specific use areas.
    - (ii) Basic street pattern.
    - (iii) General site grading plan showing preliminary road grades.
    - (iv) Basic storm drainage pattern, including proposed on-site stormwater detention.
    - (v) Preliminary sanitary sewer and water system layout.

Determined

Complete: April 30th

Approved

Plan

Commission: May 4th

Approved

Village

Board: May 18th

Both conditions met in SIP.

- (vi) General location of recreational and open space areas, including designation of any such areas to be classified as common open space.
3. Statistical data, including:
    - (i) Minimum lot sizes in the development.
    - (ii) Approximate areas of all lots.
    - (iii) Density/intensity of various parts of the development.
    - (iv) Building coverage.
    - (v) Landscaping surface area ratio of all land uses.
    - (vi) Expected staging.
  4. Conceptual landscaping plan, noting approximate locations of foundation, street, yard, and paving landscaping, and comparing the proposed landscaping plan to the standard landscaping requirements in Article VIII.
  5. General signage plan, including all project identification signs and concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles) which are proposed to vary from Village standards or common practices.
  6. General outline of property owners association, covenants, easements, and deed restrictions.
  7. A written description of the proposed Planned Development, including:
    - (i) General project themes and images.
    - (ii) The general mix of dwelling unit types and/or land uses.
    - (iii) Approximate residential densities and nonresidential intensities as described by dwelling units per acre, landscaping surface area ratio, and/or other appropriate measures of density and intensity.
    - (iv) General treatment of natural features.
    - (v) General relationship to nearby properties and public streets.
    - (vi) General relationship of the project to the Comprehensive Plan.
    - (vii) Proposed exceptions from the requirements of this Chapter.
  8. A Transportation Demand Management (TDM) Plan meeting Wisconsin Department of Transportation requirements for content and format may be required by the Village if deemed necessary by the Village Engineer.

- b. The Zoning Administrator, or by majority vote of the Village Board may waive submittal information listed above, and/or may likewise require additional information beyond that listed above.
- c. The process for review and approval of the GDP shall be identical to that for Zoning Map Amendments per Section 84.160.
- d. All portions of an approved GDP not initiated through granting of a building permit within 10 years of final Village Board approval shall expire and no additional Planned Development-based activity shall be permitted. The Village Board may allow multiple extensions via a majority vote following a public hearing. Completed portions of the GDP shall retain the GDP status.
- e. Within 12 months of GDP approval the applicant shall submit a Specific Implementation Plan. Filed August 7th.

Determined  
 Complete: August 13th  
 Plan  
 Commission: Aug 17th  
 Village  
 Board: August 24th

(4) **Specific Implementation Plan.** Upon completion of the GDP review process described above, the applicant shall submit a Specific Implementation Plan (SIP) to the Zoning Administrator for determination of completeness. Upon determination of completeness by the Zoning Administrator, the SIP may be placed on the Plan Commission agenda for SIP review.

- a. The SIP submittal shall include the following items. Note that the area included in an SIP may be only a portion of the area included in a previously approved GDP (digital files should be submitted rather than paper copies whenever possible).



An existing conditions map of the subject site depicting the following:

See attached and Appendix A

- (i) All lands for which the Planned Development is proposed and all other lands within 100 feet of the boundaries of the subject site.
- (ii) Names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds.
- (iii) Current zoning of the subject property and all abutting properties, and the jurisdiction(s) that maintains that control.
- (iv) Existing utilities and recorded easements.
- (v) All lot dimensions of the subject site.
- (vi) A graphic scale and a north arrow.



An SIP map of the proposed site showing at least the following:

- (i) Lot layout and the arrangements of buildings.
- (ii) Public and private roads, driveways, walkways, and parking facilities.

See Appendix A - Especially Landscaping Plan

All items covered  
within Appendix A

- (iii) Specific treatment and location of recreational and open space areas, including designation of any such areas to be classified as common open space.

Proposed grading plan.

Specific landscaping plan for the subject site, specifying the location, species, and installation size of all plantings. The landscaping plans shall include a table summarizing all proposed species.

Architectural plans for any nonresidential buildings, multifamily structures, or building clusters, other than conventional single-family homes or individual lots, in sufficient detail to indicate the floor area, bulk, and visual character of such buildings.

Engineering plans for all water and sewer systems, stormwater systems, roads, parking areas, and walkways.

Signage plan for the project, including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes that are proposed to vary from Village standards or common practices.

Specific written description of the proposed SIP including:

- (i) Specific project themes and images.
- (ii) Specific mix of dwelling unit types and/or land uses.
- (iii) Specific residential densities and nonresidential intensities as described by dwelling units per acre, and landscaping surface area ratio and/or other appropriate measures of density and intensity.
- (iv) Specific treatment of natural features, including parkland.
- (v) Specific relationship to nearby properties and public streets.
- (vi) Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads; density/intensity of various parts of the development; building coverage, and landscaping surface area ratio of all land uses; proposed staging; and any other plans required by the Plan Commission.
- (vii) A statement of rationale as to why PD zoning is proposed. This statement shall list the standard zoning requirements that, in the applicant's opinion, would inhibit the development project and the opportunities

for community betterment that are available through the proposed PD project.

(viii) A complete list of zoning standards that would not be met by the proposed SIP and the location(s) in which such exceptions would occur. The applicant may also provide a list of zoning standards that would be more than met by the proposed PD and the location(s) of such occurrences.

(ix) Phasing schedule, if more than one development phase is intended.



N/A

Agreements, bylaws, covenants, and other documents relative to the operational regulations of the development and particularly providing for the permanent preservation and maintenance of common open areas and amenities.



A written description that demonstrates how the SIP is consistent with the approved GDP and any and all differences between the requirements of the approved GDP and the proposed SIP.



The applicant shall submit proof of financing capability pertaining to construction and maintenance and operation of public works elements of the proposed development.



The Zoning Administrator, or by majority vote of the Village Board may waive submittal information listed above, and/or may likewise require additional information beyond that listed above.



The process for review and approval of the SIP shall be identical to that for site plans per Section 84.164. —————> See Appendix C

d.

The Plan Commission shall make recommendations to the Village Board. The Village Board shall then review and consider approval of the SIP. All portions of an approved SIP not fully developed within 10 years of final Village Board approval shall expire, and no additional Planned Development-based activity shall be permitted. The Village Board may allow multiple extensions via a majority vote following a public hearing. Completed portions of the SIP shall retain the SIP status.

Submitted and authorized as part of Development Agreement for Tax Increment Financing.

Everything required has been provided.

Scheduled for Monday, August 17th

(5) **Criteria for Approval.** In its review and action for an application for a Planned Development district, the Plan Commission and, subsequently, the Village Board shall make findings with respect to the following criteria:



The proposed Planned Development project is consistent with the overall purpose and intent of this Chapter. Meets all requirements.



The proposed Planned Development project is consistent with the Village's Comprehensive Plan (it is the responsibility of the Village to determine such consistency).

Yes, (1) noted as "Mixed Residential" on the Future Land use map; (2) promotes infill redevelopment of an under utilized and vacant parcel; (3) provides defined access to conservancy property.

- ✓. The proposed Planned Development project would maintain the desired relationships between land uses, land use densities and intensities, and land use impacts in the environs of the subject site.
- ✓. Adequate public infrastructure is or will be available to accommodate the range of uses being proposed for the Planned Development project, including but not limited to public sewer and water and public roads. [Water/Sewer Ready, Bourbon to be paved '16](#)
- ✓. The proposed Planned Development project will incorporate appropriate and adequate buffers and transitions between areas of difference land uses and development densities/intensities.
- ✓. The proposed Planned Development project design does not detract from areas of natural beauty surrounding the site.
- ✓. The proposed architecture and character of the proposed Planned Development project is compatible with adjacent/nearby development. [Adjacent to multi-family and residential.](#)
- ✓. The proposed Planned Development project will positively contribute to the physical appearance and functional arrangement of development in the area. [Existing condition is blighted.](#)
- ✓. The proposed Planned Development project will produce significant benefits in terms of environmental design and significant alternative approaches to addressing development performance that relate to and more than compensate for any requested exceptions or variation of any normal standard of this Chapter.
- ✓. For Planned Development projects that are proposed to be developed in phases, the applicant can provide a clear timeline for development and can demonstrate that the project would be successful even if all phases were not or could not be completed.

- (6) **Changes or Alterations.** Any change of the PD plans subsequent to approval of the PD-SIP shall be submitted to the Zoning Administrator. If the Zoning Administrator determines that the change constitutes a substantial modification, the developer will be required to amend the PD-SIP, and if necessary, the PD-GDP, following the procedures set forth in this section for review and approvals. If, in the opinion of the Zoning Administrator, such changes do not constitute a substantial alteration of either the GDP or SIP, the change may be accomplished by approval of the Zoning Administrator. Such approved changes or modifications shall be documented and recorded in the official file of the Village on the PD.
- (7) **Recording.** The final PD-SIP and GDP, and all amendments thereto, shall be recorded with the Dane County Register of Deed's Office at the applicant's sole expense.

# Village of Cross Plains

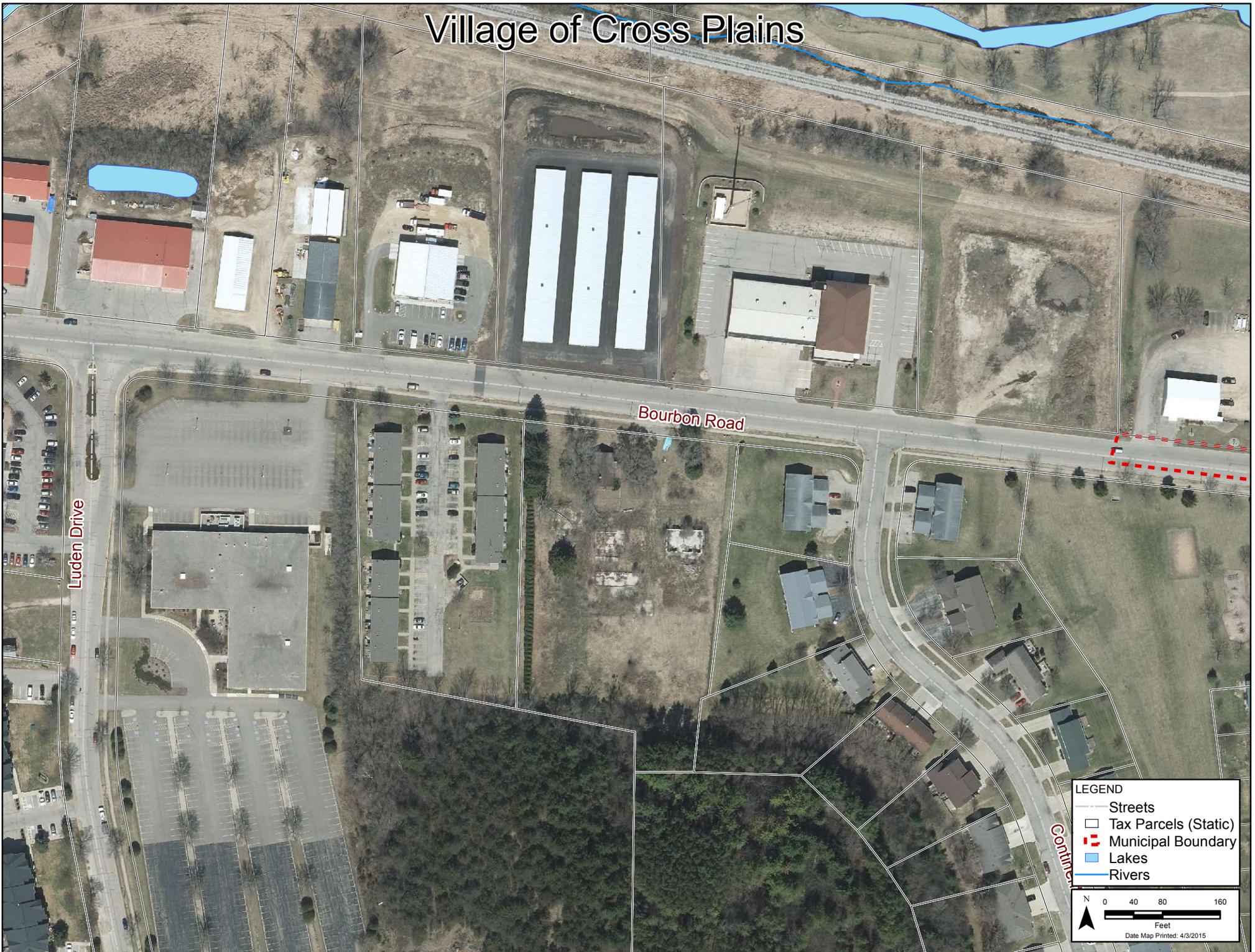


**LEGEND**

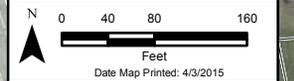
- Streets
- Tax Parcels (Static)
- Municipal Boundary
- Lakes
- Rivers

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0 40 80 160  
Feet  
Date Map Printed: 4/3/2015

# Village of Cross Plains



- LEGEND**
- Streets
  - Tax Parcels (Static)
  - Municipal Boundary
  - Lakes
  - Rivers

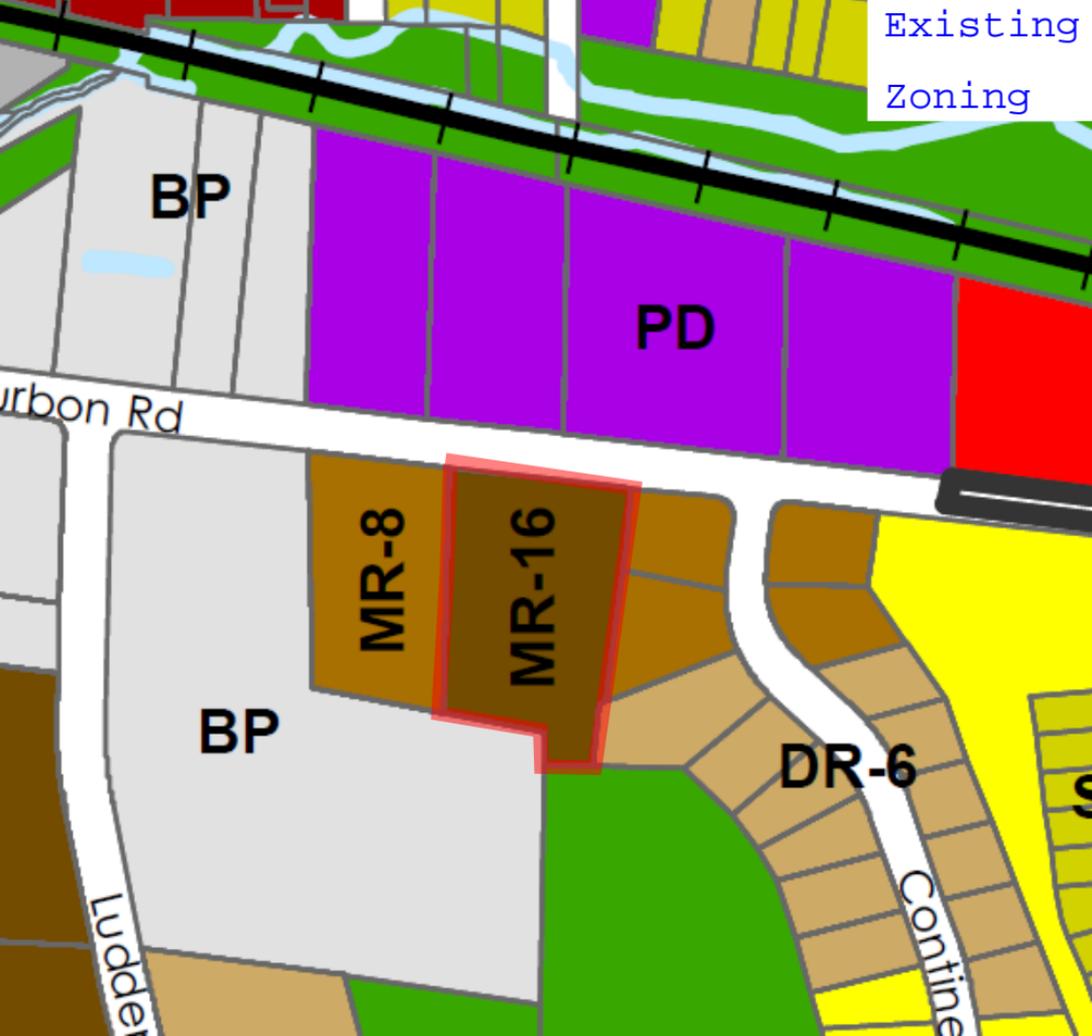


Date Map Printed: 4/3/2015

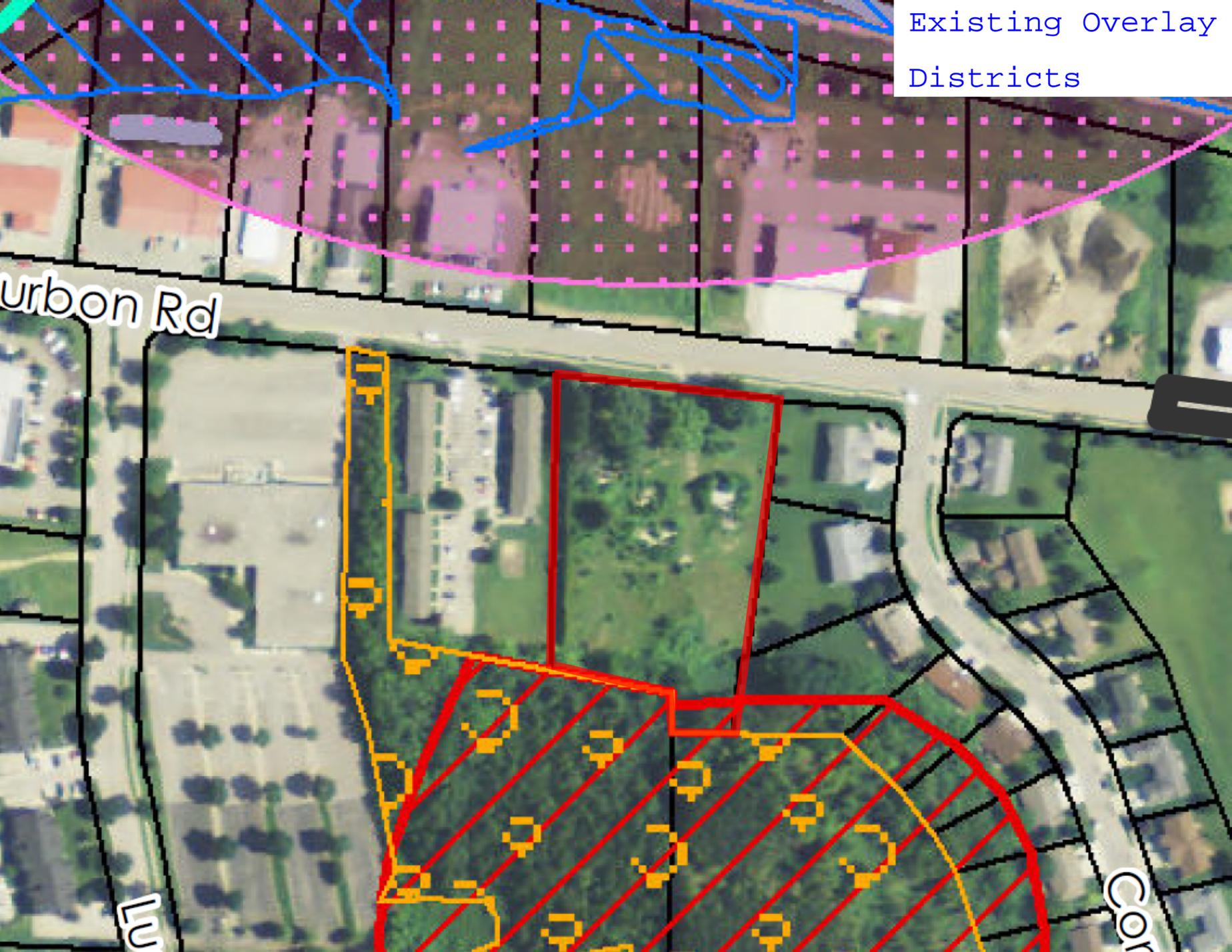
## Property Owners of Record within 100' of Development

Parcel	Property Owner	Attention	Property Address					Mailing Address								
			Number	Street Name	Type	City	State	Zip	Number	Direction	Street Name	Type	Suffix	City	State	Zip
0707-032-9712-1	Chester's Diesel & Automotive LLC		1401	Bourbon	Road	Cross Plains	WI	53528	605		Parkway	Drive		Mt. Horeb	WI	53572
0707-032-9718-1	Cross Plains Storage LLC		1451	Bourbon	Road	Cross Plains	WI	53528	7220		Henry	Court		Middleton	WI	53562
0707-032-9725-1	Cross Plains-Berry Fire District		1501	Bourbon	Road	Cross Plains	WI	53528								
0707-032-9740-1	Gregory & Kathy Roessler		1601	Bourbon	Road	Cross Plains	WI	53528				PO Box 99		Cross Plains	WI	53528
<b>0707-033-0474-1</b>	<b>Greenback Enterprises LLC</b>		<b>1400</b>	<b>Bourbon</b>	<b>Road</b>	<b>Cross Plains</b>	<b>WI</b>	<b>53528</b>				<b>PO Box 234</b>		<b>Mineral Point</b>	<b>WI</b>	<b>53565</b>
0707-033-0485-8	Gregory & Kathy Roessler		2000	Continental	Lane	Cross Plains	WI	53528				PO Box 99		Cross Plains	WI	53528
0707-033-0463-4	Gregory & Kathy Roessler		2001	Continental	Lane	Cross Plains	WI	53528				PO Box 99		Cross Plains	WI	53528
0707-033-0452-7	Boehnen Living Tr		2009	Continental	Lane	Cross Plains	WI	53528	3420		Sugar Maple	Lane		Verona	WI	53593
0707-033-0496-5	Charles Roessler Tr	David Roessler	2014	Continental	Lane	Cross Plains	WI	53528				PO Box 37		Cross Plains	WI	53528
0707-033-0507-1	Bradley Statz		2016	Continental	Lane	Cross Plains	WI	53528	3005		Hillside	Trail		Cross Plains	WI	53528
0707-033-0441-0	Robert & Redgy Nelson		2017	Continental	Lane	Cross Plains	WI	53528	2403		Martin	Street		Cross Plains	WI	53528
0707-033-0518-8	Timothy Maier		2020	Continental	Lane	Cross Plains	WI	53528								
0707-033-0430-3	Shawn & Lisa Aeschlimann		2021	Continental	Lane	Cross Plains	WI	53528	2717		Military	Road		Cross Plains	WI	53528
0707-033-0529-5	Bruce & Jeanne Schumann		2024	Continental	Lane	Cross Plains	WI	53528	4002		Creekside	Way		Cross Plains	WI	53528
0707-033-0419-8	JRCB LLC		2027	Continental	Lane	Cross Plains	WI	53528	303		King Arthurs	Court		Cross Plains	WI	53528
0707-033-0401-1	Kim Howes		2029	Continental	Lane	Cross Plains	WI	53528								
0707-033-2033-0	Cole Al Cross Plains WI LLC	Sandi Pruitt	1850	Ludden	Drive	Cross Plains	WI	53528	16767 N.		Perimeter	Drive	Suite 210	Scottsdale	AZ	85260
0707-033-8520-8	Pine Meadow Court LLC		100	Pine Meadow	Court	Cross Plains	WI	53528				PO Box 81		Waunakee	WI	53597

Existing  
Zoning



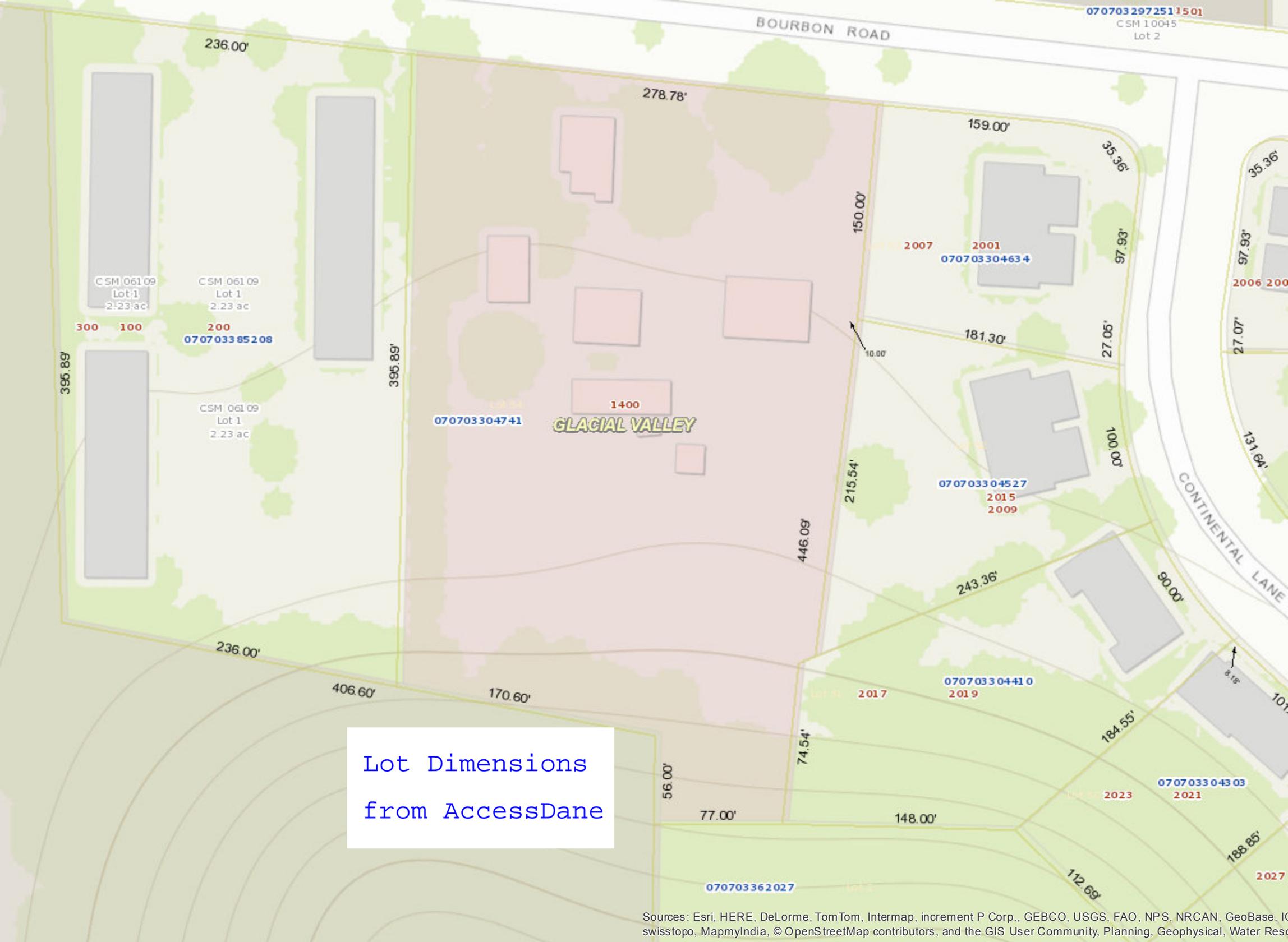
Existing Overlay  
Districts



Urban Rd

LW

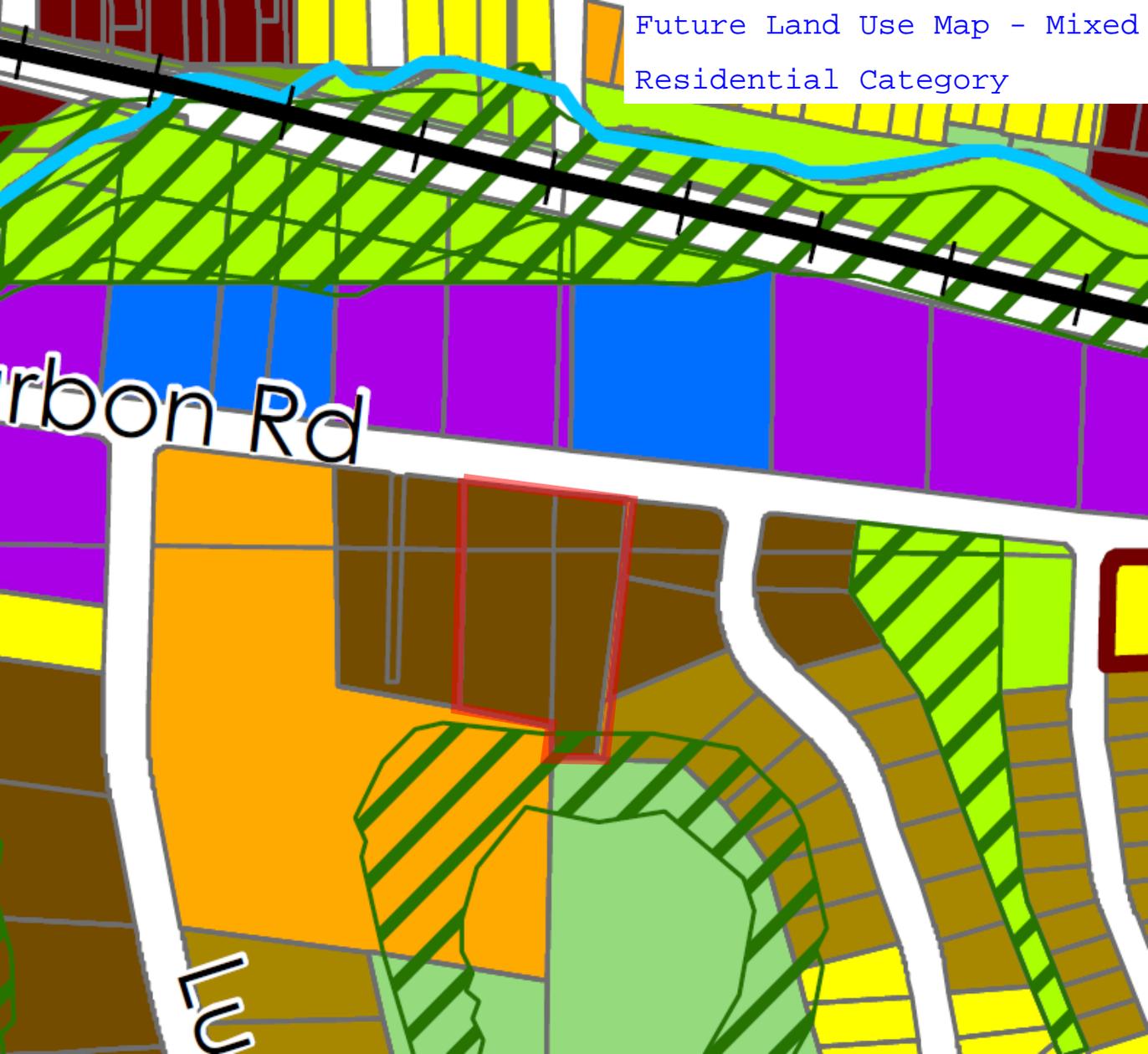
Cor



Lot Dimensions  
from AccessDane

Sources: Esri, HERE, DeLorme, TomTom, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community, Planning, Geophysical, Water Resources

Future Land Use Map - Mixed Residential Category



Carbon Rd

LU

**Policies and Programs**

1. Future development in this designation will be served by the Village's public sanitary sewer and water systems and comply with the erosion and stormwater management requirements of the Village's subdivision ordinance.
2. Develop new single family residential areas in accordance with carefully-considered development plans including progressive erosion control and stormwater management techniques.
3. Pursue residential infill opportunities where feasible.
4. As maintenance and rehabilitation needs arise, work with the County, State and local lenders to assist homeowners and landlords with rehabilitation projects.
5. Refer to the Housing Element for detailed housing recommendations.

*Two-Family/ Townhouse***Description**

This designation is primarily intended to allow groupings of attached single family residences with individual entries (e.g., zero lot line homes, townhouses, rowhouses, condominiums) and duplexes that are or will be served by public sanitary sewer and water systems. Small public and institutional uses—such as parks, schools, churches, and stormwater facilities—may also be built within this designation, if appropriate zoning is granted as considered on a case by case basis. The Two-Family/Townhouse development is mapped in areas of existing development. A limited amount of Two-Family/Townhouse uses may also be included in portions of new Planned Neighborhoods.

**Recommended Zoning**

The Villages R-2 two-family zoning district is the most appropriate for areas mapped in this future land use category.

**Policies and Programs**

1. Incorporate Two-Family/Townhouse residential uses in Planned Neighborhoods.
2. Future development in this designation will be served by the Village's public sanitary sewer and water systems and comply with the erosion and stormwater management requirements of the Village's subdivision ordinance.
3. As maintenance and rehabilitation needs arise, work with the County, State and local lenders to assist homeowners and landlords with rehabilitation projects.
4. Refer to the Housing Element for detailed housing recommendations.

**Mixed Residential** Future Land Use Map Category**Description**

This future land use category is intended for a variety of residential units focused on multi-family housing (3+ unit buildings), served by public sanitary sewer and water systems. Single-family detached housing, attached single family residences with individual entries (e.g., townhouses, rowhouses), senior housing, and small public and institutional uses—such as parks, schools, churches, and stormwater facilities—may also be within lands mapped in this category, if appropriate zoning is granted as considered on a case by case basis. Mixed

Residential uses are mapped in existing multi-family development and a limited amount of multi-family housing may also be included in portions of new Planned Neighborhoods.

**Recommended Zoning**

The Village’s RM multiple-family zoning district is the most appropriate district to implement this future land use category.

**Policies and Programs**

1. Future development in this designation will be served by the Village’s public sanitary sewer and water systems and comply with the erosion and stormwater management requirements of the Village’s subdivision ordinance.
2. Encourage multiple-family residential building sizes of between 4 and 6 units. In any case, the size of the building shall be in scale with the surrounding neighborhood.
3. Meet minimum site, building, landscape, lighting, and other design standards included in the Housing Element and the zoning ordinance.
4. Discourage large concentrations of multi-family and duplex/townhouse developments. Rather, this type of development should be dispersed throughout Planned Neighborhood areas.
5. Support projects that include a strong program for maintaining the quality, value, and safety of the development over time.



*Planned Neighborhood*

**Description**

The Planned Neighborhood future land use category is intended to provide for a variety of housing choices and a mix of non-residential uses such as parks, schools, religious institutions, and small-scale shopping and service areas. They are really a collection of different land use categories listed in this chapter. Planned Neighborhoods should be carefully designed as an integrated, interconnected mix of these use categories. They are by no means intended to justify an “anything goes” land use pattern. Overall, the composition and pattern of development should promote neighborhoods that instill a sense of community with their design.



The Planned Neighborhood concept encourages a mix of Single-Family Residential – Urban, Two-Family/Townhouse Residential, Mixed Residential, Community Facilities, Parks, and Neighborhood Business uses. Maintaining a minimum of 65 percent Single Family Residential – Urban uses has the effect of dispersing higher density development throughout the community and limiting the concentration of any one type of development in any one area. Appropriate commercial uses include neighborhood-oriented shopping opportunities, such as a small grocery store, barber shop, bakery, or pharmacy; smaller employment opportunities (usually located on the edges of these neighborhoods); and educational facilities (usually elementary schools) for area residents. Large areas of Planned Neighborhood area mapped at the edge of the Village.

# Appendix C

- (2) Description of the subject site by lot, block, and recorded subdivision or by metes and bounds.
  - (3) Address of the subject site.
  - (4) Type of structure.
  - (5) Existing and proposed operation or use of the structure or site.
  - (6) Number of employees.
  - (7) Zoning district within which the subject site lies.
  - (8) Additional information as may be required by the Village Engineer or Zoning Administrator.
- (d) **Review and Action by the Village Engineer/Zoning Administrator.** A land use permit shall be granted or denied by the Village Engineer or Zoning Administrator in writing within 30 days of the application, and the applicant shall post such permit in a conspicuous place at the site. Any permit issued in conflict with the provisions of the Chapter shall be null and void.
- (e) **Time Limits on Land Use Permits.** The work must begin within one year of approval and be completed within 2 years. Time limits for Conditional Use Permits and Variances may be established at the time of approval. All other permits shall meet the timelines required at the time of issuance as listed elsewhere in this Chapter.

## SECTION 84.164 Site Plan Review and Approval Procedures.

- (a) **Purpose.** The purpose of this Section is to specify the requirements and procedures for the review and approval of site plan applications. The provisions of this Section are designed to ensure that proposed land uses and development activity complies with the requirements of this Chapter.
- (b) **Applicability.** Site plan review and approval shall be required for changes to site characteristics in Subsections (d)(3) through (9) including redevelopment, expansion, and new development under 50,000 square feet and 3 to 10 unit residential development, except for the following:
- (1) Group and Large Developments.
  - (2) Residential accessory buildings, decks, and landscape features.
  - (3) Fences.
  -  Uses within a Specific Implementation Plan in a Planned Development in accordance with the procedures of Article IX, provided that the Specific Implementation Plan provides a similar level of detail and range of plans as a typical site plan submittal required under this Chapter.
- (c) **Pre-Application Conference.** Prior to formal submittal of a site plan application, it is recommended that the applicant confer with the Zoning Administrator in order to establish mutual understanding as to the basic concept proposed and to ensure proper compliance with the technical requirements and procedures for processing the site plan application. A timetable for project review may also be discussed.

The documentation provided thus far for the SIP is in full compliance with Section 84.167 within Article IX and provides the same level of detail and range as is required in Section 84.164. Both processes are identical as required by the code.

- (d) **Application.** A site plan application may be considered complete if it contains all of the following, unless specific application requirements are waived in writing by the Zoning Administrator. Maps depicting the following information shall be prepared (digital files should be submitted rather than paper copies whenever possible, if applicable).
- (1) Written description of the intended use describing in reasonable detail the following:
    - a. Existing zoning district(s) and proposed zoning district(s), if different.
    - b. Existing and proposed land uses.
    - c. Projected number of residents, employees, and/or daily customers.
    - d. Proposed number of dwelling units and density.
    - e. Demonstration of compliance with the applicable standards and requirements of this Chapter.
    - f. Demonstration of compliance with the Village's land dedication requirements per Chapter 83 Land Division and Subdivision of the Municipal Code.
    - g. Demonstration of consistency with the Comprehensive Plan.
    - h. Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.
    - i. Fencing materials (Section 84.108).
    - j. Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.
  - (2) A small location map showing the subject property and illustrating its relationship to the nearest street intersection.
  - (3) **Pre-Development Site Information.**
    - a. Legal description of the subject property.
    - b. Existing property lines and setback lines.
    - c. Existing structures and paved areas.
    - d. Existing right of way lines with bearings and dimensions clearly labeled.
    - e. Existing easements and utilities.
    - f. Existing and proposed topography with a maximum contour interval of 2 feet, except where existing ground is on a slope of less than 2 percent where one foot contours shall be shown.
    - g. The outer edges of all natural resource areas (i.e. floodplains, shorelands, wetlands, drainageways, woodlands, steep slopes).
  - (4) **Proposed Post-Development Site Information.**
    - a. Property lines and setback lines.

- b. Location of all proposed structures and use areas, including paved areas, building entrances, walks, drives, decks, patios, fences, utility poles, and drainage facilities.
  - c. Proposed right of way lines with bearings and dimensions clearly labeled.
  - d. Proposed access points onto public streets and access drives on the subject property.
  - e. Location of all pedestrian walkways.
  - f. Location and dimension of all on-site parking (and off-site provisions if they are to be employed), including a summary of the number of parking stalls provided.
  - g. Location of all proposed parking and traffic circulation areas.
  - h. Location and configuration of all visibility triangles proposed on the subject property.
  - i. Location and dimension of all loading and service areas on the subject property.
  - j. Location of all outdoor storage areas and the design of all screening devices.
  - k. Location and type of all stormwater facilities and management approach to be employed.
  - l. Location of snow storage areas, except for single family and two family residential.
  - m. Proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose.
  - n. Location, type, height, size, and lighting of all signage on the subject property.
  - o. In the legend, include the following data for the subject property: lot area, flood area, floor area ratio, impervious surface area, impervious surface ratio, and building heights.
- (5) **Detailed Landscaping Plan.** If required, a landscape plan depicting the location, type, and size at time of planting and maturity of all landscaping features as required in Article VIII.
- (6) **Grading and Erosion Control Plan.** Depicting existing and proposed grades, including retention walls and related devices, and erosion control measures per the approval of the Village Engineer.
- (7) **Elevation Drawings.**
- a. Elevations of proposed buildings or proposed remodeling of existing buildings showing finished exterior treatment.
  - b. Depict exterior materials, texture, color, and overall appearance.
  - c. Perspective renderings of the proposed project and/or photos of similar structures may also be submitted, but not in lieu of drawings showing the actual intended appearance of the building(s).

- (8) **Photometric Plan.**
  - a. Location, type, height, design, illumination power, and orientation of all exterior lighting on the subject property.
  - b. Impact of lighting across the entire property to the property lines rounding to the nearest 0.10 foot candles, and depicting an illumination limit of 0.50 foot candles. The 0.50 foot candle line cannot extend beyond the property line.
- (9) **Operational Plan.**
  - a. Describe the proposed hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation.
  - b. Procedures for snow removal, except for single and two family residential.
- (e) **Review and Approval.**
  - (1) The Zoning Administrator shall determine whether the site plan application is complete and fulfills the requirements of this Chapter. If the application is determined to be incomplete, the Zoning Administrator shall notify the applicant.
  - (2) The Zoning Administrator shall coordinate review with the Village’s Development Review Team.
  - (3) The Zoning Administrator shall review and approve or deny the site plan.

**SECTION 84.165 Downtown Design Overlay Review.**

- (a) **Purpose and Scope.** These districts are intended to implement the urban design recommendations of the Comprehensive Plan by preserving and enhancing the aesthetic qualities (historical and visual) of the community, and by attaining a consistent visually pleasing image for various portions of the Village. As emphasized by said plan, these districts are designed to forward both aesthetic and economic objectives of the Village by controlling the site design and appearance of development within the district in a manner which is consistent with sound land use, urban design, and economic revitalization principles. The application of these standards will ensure the long-term progress and broad participation toward these principles.
- (b) **Definitions.**
  - (1) **Cornice.** The topmost projecting portion of the entablature, or top portion of a building. This term also refers to any “crowning” projection of a building.
  - (2) **Header.** A brick laid so that the end only appears on the face of the wall, as opposed to a stretcher, which is a brick laid so that the side only appears.
  - (3) **Kickplate.** A horizontal area on the facade of a building located between the sidewalk/entrance pavement and the lowest storefront windows.



**PROFESSIONAL SERVICES**

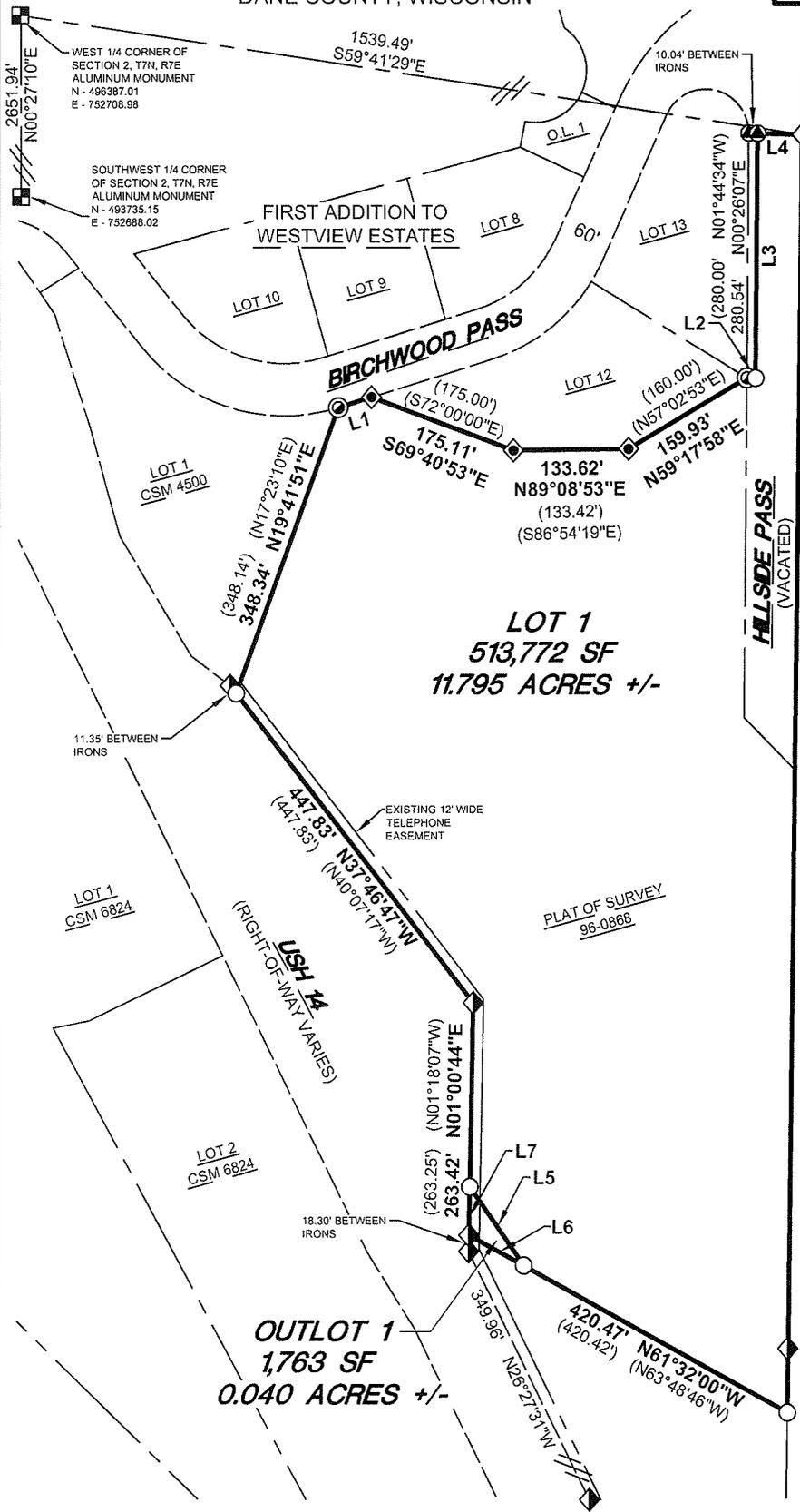
**TRANSPORTATION • MUNICIPAL  
DEVELOPMENT • ENVIRONMENTAL**  
2901 International Lane Madison, WI 53704  
608-242-7779 1-800-446-0679 Fax: 608-242-5664  
Web Address: www.msa-ps.com  
© MSA Professional Services, Inc.

PROJECT NO. 03535015  
DRAWN BY: KCL  
SURVEYOR: BLT  
FILE NO. 03535015 Extopo.dwg  
SHEET NO. 1 of 3

OWNER:  
Nicholas and Kimberly Hughes  
2708 Birchwood Pass  
Cross Plains, WI 53528

**DANE COUNTY CERTIFIED SURVEY MAP #**

ALL THAT PART OF VACATED HILLSIDE PASS IN THE PLAT OF FIRST ADDITION TO WESTVIEW ESTATES AND A PARCEL OF LAND LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 2, TOWNSHIP 7 NORTH, RANGE 7 EAST, VILLAGE OF CROSS PLAINS, DANE COUNTY, WISCONSIN



**SYMBOL LEGEND**

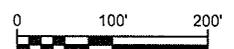
- SECTION CORNER MONUMENTED
- ◆ FOUND 1 1/4" IRON REBAR
- ◇ FOUND 3/4" IRON REBAR
- ⊙ FOUND 1" IRON PIPE
- FOUND 1" IRON PIPE
- SET 3/4" BY 18" IRON REBAR WEIGHING 1.50 LBS./FT.
- ( ) RECORD INFORMATION

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 72°36'38" E (N70°00'00"E)	40.16' (40.00')
L2	S 88°34'23" E (S88°15'26" W)	10.04' (10.00')
L3	N 00°26'07" E (S01°44'34"E)	280.54' (280.00')
L4	S 88°34'23" E (N88°15'26"E)	51.90'
L5	S 34°58'10" E	109.14'
L6	N 61°32'00" W	72.26'
L7	N 01°00'44" E	55.00'



BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), DANE COUNTY 2011 ADJUSTMENT. THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 2 BEARS N 00°27'10" E





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PROJECT NO.	03535015
DRAWN BY:	KCL
CHECKED BY:	BLT
FILE:	03535015 Extopo.dwg
SHEET NO.	2 of 3

DANE COUNTY CERTIFIED SURVEY MAP #

ALL THAT PART OF VACATED HILLSIDE PASS IN THE PLAT OF FIRST ADDITION TO WESTVIEW ESTATES AND A PARCEL OF LAND LOCATED IN THE NORTHWEST ¼ OF THE SOUTHWEST ¼ OF SECTION 2, TOWNSHIP 7 NORTH, RANGE 7 EAST, VILLAGE OF CROSS PLAINS, DANE COUNTY, WISCONSIN

LEGAL DESCRIPTION

ALL THAT PART OF VACATED HILLSIDE PASS IN THE PLAT OF FIRST ADDITION TO WESTVIEW ESTATES AND A PARCEL OF LAND LOCATED IN THE NORTHWEST ¼ OF THE SOUTHWEST ¼ OF SECTION 2, TOWNSHIP 7 NORTH, RANGE 7 EAST IN THE VILLAGE OF CROSS PLAINS, DANE COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST ¼ CORNER OF SAID SECTION 2; THENCE SOUTH 59°41'29" EAST, A DISTANCE OF 1539.49 FEET TO THE NORTHEAST CORNER OF VACATED HILLSIDE PASS ALSO BEING THE POINT OF BEGINNING; THENCE SOUTH 00°37'09" WEST, A DISTANCE OF 1459.61 FEET; THENCE NORTH 61°32'00" WEST, A DISTANCE OF 420.47 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S.H. 14; THENCE NORTH 01°00'44" EAST ALONG THE SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 263.42 FEET TO AN ANGLE POINT; THENCE NORTH 37°46'47" WEST ALONG SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 447.83 FEET TO THE MOST SOUTHERLY CORNER OF LOT 1 OF CERTIFIED SURVEY MAP NO. 4500; THENCE NORTH 19°41'51" EAST ALONG THE EAST LINE OF SAID LOT 1, A DISTANCE OF 348.34 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF BIRCHWOOD PASS AS PLATTED IN THE FIRST ADDITION TO WESTVIEW ESTATES; THENCE NORTH 72°36'38" EAST ALONG THE SAID SOUTHERLY RIGHT-OF-WAY, A DISTANCE OF 40.16 FEET TO THE MOST WESTERLY CORNER OF LOT 12 OF THE SAID FIRST ADDITION TO WESTVIEW ESTATES; THENCE SOUTH 69°40'53" EAST ALONG THE SOUTHERLY LINE OF SAID LOT 12, A DISTANCE OF 175.11 FEET TO AN ANGLE POINT; THENCE NORTH 89°08'53" EAST ALONG THE SOUTHERLY LINE OF SAID LOT 12, A DISTANCE OF 133.62 FEET TO AN ANGLE POINT; THENCE NORTH 59°17'58" EAST ALONG THE SOUTHERLY LINE OF SAID LOT 12, A DISTANCE OF 159.93 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 12; THENCE SOUTH 88°34'23" EAST, A DISTANCE OF 10.04 FEET; THENCE NORTH 00°26'07" EAST, A DISTANCE OF 280.54 FEET TO A POINT ON THE NORTHERLY LINE OF VACATED HILLSIDE PASS; THENCE SOUTH 88°34'23" EAST ALONG SAID NORTHERLY LINE, A DISTANCE OF 51.90 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 515,535 SQUARE FEET OR 11.835 ACRES MORE OR LESS.

SURVEYOR'S CERTIFICATE

I, KEVIN C. LORD, PROFESSIONAL LAND SURVEYOR S-2645, DO HEREBY CERTIFY THAT BY THE DIRECTION OF NICHOLAS R.S. HUGHES AND KIMBERLY A.S. HUGHES, I HAVE SURVEYED, DIVIDED, AND MAPPED THE LANDS DESCRIBED HEREON AND THAT THE MAP IS A CORRECT REPRESENTATION IN ACCORDANCE WITH THE INFORMATION PROVIDED. I FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS IN FULL COMPLIANCE WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE VILLAGE OF CROSS PLAINS AND DANE COUNTY, WISCONSIN.

\_\_\_\_\_  
KEVIN C. LORD, S-2645  
PROFESSIONAL LAND SURVEYOR

\_\_\_\_\_  
DATE

VILLAGE OF CROSS PLAINS APPROVAL CERTIFICATE

APPROVED FOR RECORDING PER THE VILLAGE BOARD OF THE VILLAGE OF CROSS PLAINS ACTION ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2015.

\_\_\_\_\_  
MATTHEW G. SCHUENKE  
VILLAGE ADMINISTRATOR/CLERK-TREASURER

\*SURVEYOR'S SEAL\*

VOL. \_\_\_\_\_ PAGE \_\_\_\_\_

DOC. NO. \_\_\_\_\_

C.S.M. NO. \_\_\_\_\_

CLIENT:

Nicholas and Kimberly Hughes  
2708 Birchwood Pass  
Cross Plains, WI



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DANE COUNTY CERTIFIED SURVEY MAP #

ALL THAT PART OF VACATED HILLSIDE PASS IN THE PLAT OF FIRST ADDITION TO WESTVIEW ESTATES AND A PARCEL OF LAND LOCATED IN THE NORTHWEST ¼ OF THE SOUTHWEST ¼ OF SECTION 2, TOWNSHIP 7 NORTH, RANGE 7 EAST, VILLAGE OF CROSS PLAINS, DANE COUNTY, WISCONSIN

OWNER'S CERTIFICATE

NICHOLAS R.S. HUGHES AND KIMBERLY A.S. HUGHES, AS OWNERS, DO HEREBY CERTIFY THAT SAID OWNERS HAVE CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED HEREON. SAID OWNERS FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.34, WISCONSIN STATUTES TO BE SUBMITTED TO THE VILLAGE OF CROSS PLAINS FOR APPROVAL.

IN WITNESS WHEREOF, NICHOLAS R.S. HUGHES AND KIMBERLY A.S. HUGHES, HAVE CAUSED THESE DOCUMENTS TO BE SIGNED BY THEIR REPRESENTATIVE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

\_\_\_\_\_  
NICHOLAS R.S. HUGHES

\_\_\_\_\_  
KIMBERLY A.S. HUGHES

STATE OF WISCONSIN) SS  
DANE COUNTY ) SS

PERSONALLY CAME BEFORE ME ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2015.  
THE ABOVE NAMED JAMES J. AND SUSAN FIORE, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

\_\_\_\_\_  
NOTARY PUBLIC, DANE COUNTY, WISCONSIN

\_\_\_\_\_  
MY COMMISSION EXPIRES

DANE COUNTY REGISTER OF DEEDS CERTIFICATE

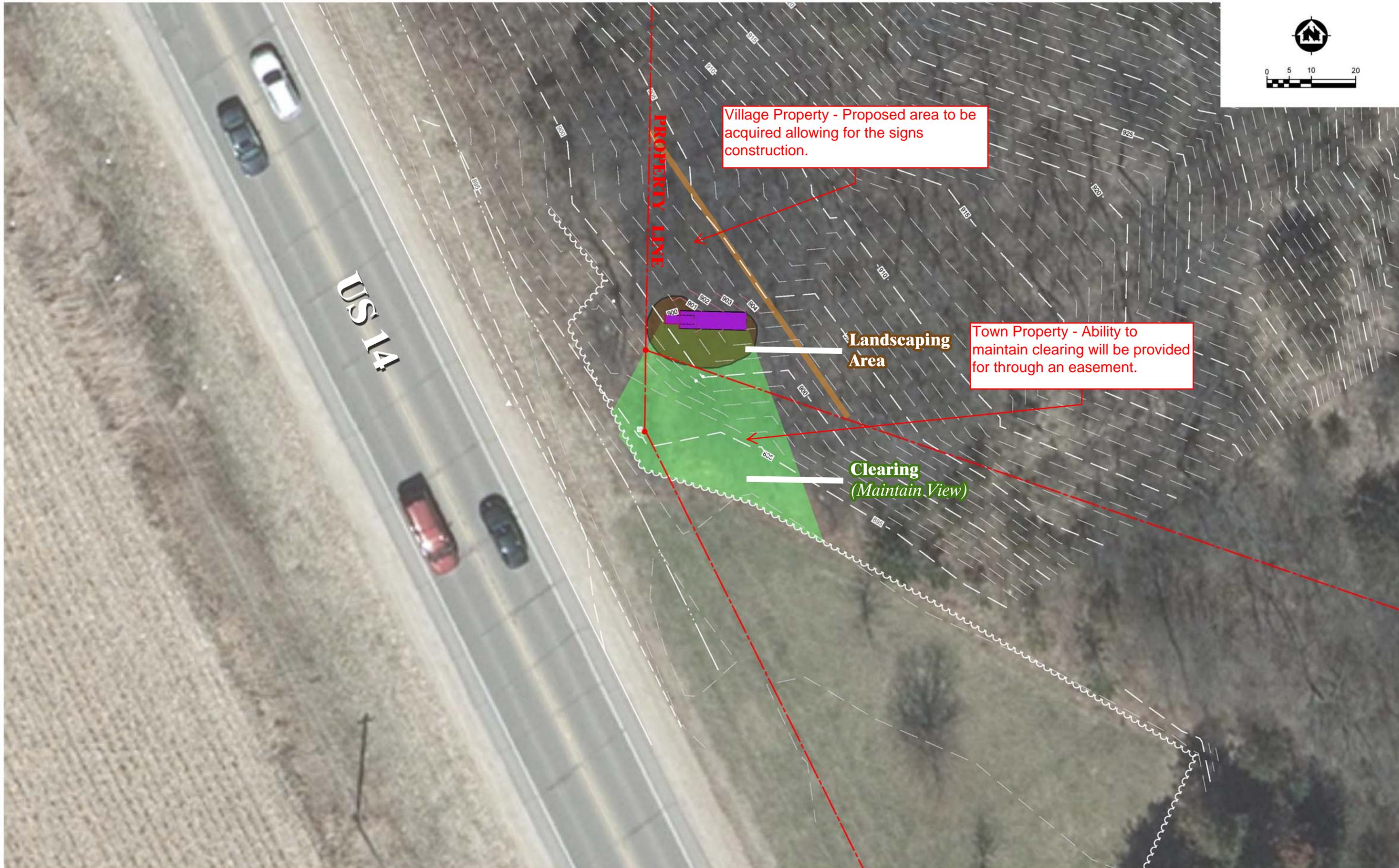
RECEIVED FOR RECORDING THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2015, AT \_\_\_\_ O'CLOCK \_\_.M. AND RECORDED IN VOLUME \_\_\_\_ OF CERTIFIED SURVEY MAPS OF DANE COUNTY ON PAGES \_\_\_\_\_ AS DOCUMENT NO. \_\_\_\_\_.

\_\_\_\_\_  
KRISTI CHELBOWSKI, REGISTER OF DEEDS  
DANE COUNTY, WISCONSIN

\*SURVEYOR'S SEAL\*

CLIENT:

Nicholas and Kimberly Hughes  
2708 Birchwood Pass  
Cross Plains, WI



PROJECT NO.:	SCALE:	AS SHOWN	NO.	DATE	REVISION	BY
03535015						
PROJECT DATE:	DRAWN BY:	KNN				
F.B.:	CHECKED BY:	KCL				
PLOT DATE: 8/20/15, P:\03500\03530\03535015\CADD\C3535015_Design.dwg						

**PRELIMINARY**

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**EAST GATEWAY  
 Site Layout**

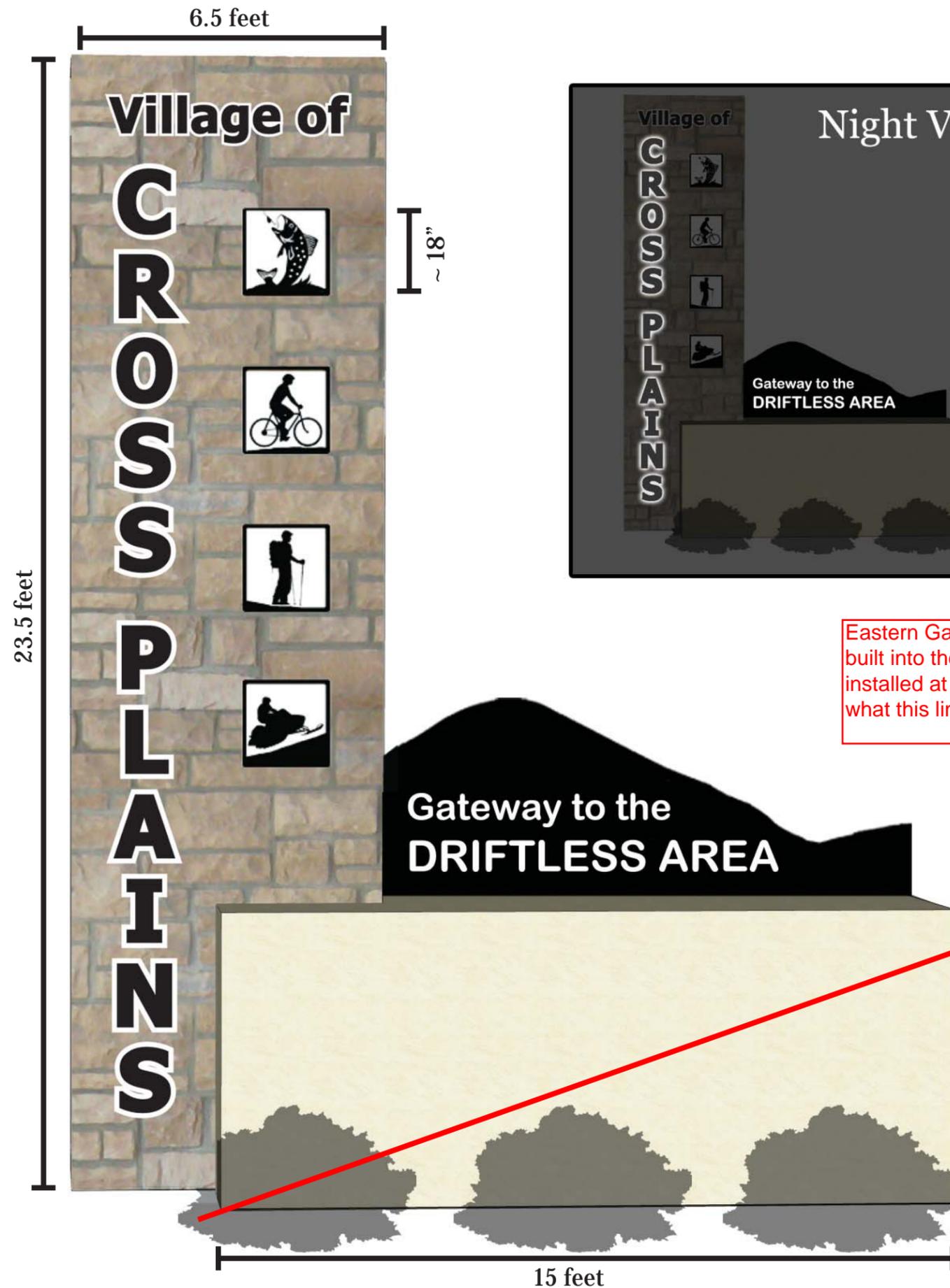
GATEWAY, STREET & WAYFINDING DESIGN  
 VILLAGE OF CROSS PLAINS  
 DANE COUNTY, WISCONSIN

FILE NO:  
 03535015  
 SHEET  
 ST 1

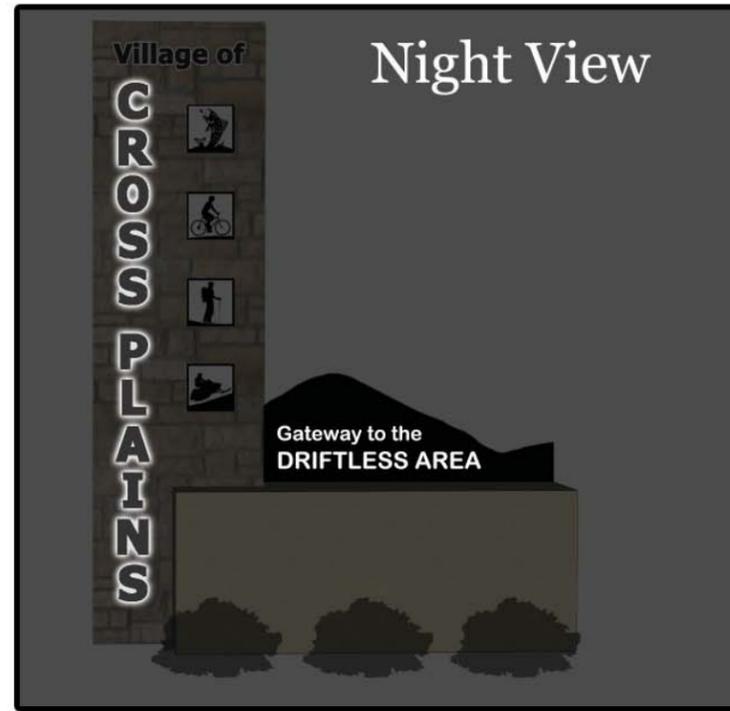
# CROSS PLAINS

## Gateway Sign Design

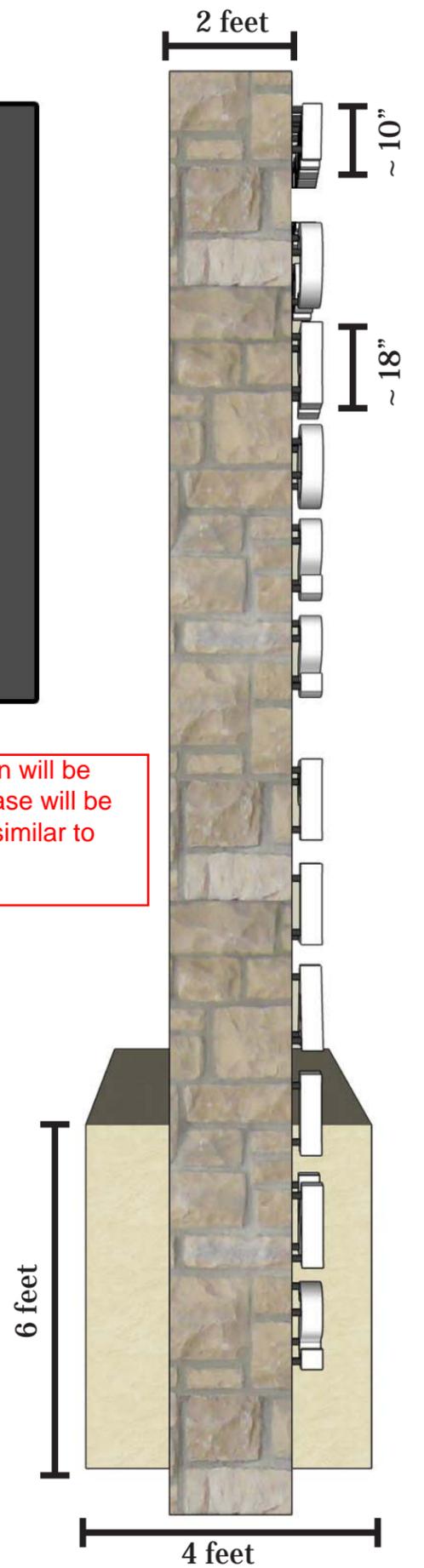
- Vertical Sign Face** Metal frame w/ limestone cladding (similar to reconstructed bridge)
- Horizontal Sign Face** Cast-in place colored concrete (to match median color)
- Hills Sign Face** Light box w/ extruded lettering to be lit at night (*one-sided - only visible to incoming traffic*)
- Recreation Symbols** Sandblasted Vinyl framed w/ black aluminum
- Village Letters** Cast Aluminum extruded from stone and "halo" backlighting (*not internally lit*)



Front View



Eastern Gateway Sign will be built into the slope, base will be installed at an angle similar to what this line depicts.



Side View

# Village of Cross Plains

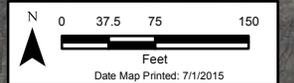
General area where Village will acquire property and construct new sign.

General area on neighboring property Village would need to clear and preserve in order to maintain visibility to new sign.

Village will remove existing signage and restore area.

14 United States Highway

- LEGEND
- Streets
  - Tax Parcels (Static)
  - Municipal Boundary
  - Lakes
  - Rivers



**DECLARATION OF EASEMENT**

RE:

Declaration made this \_\_\_\_ day of \_\_\_\_\_, 2015, by \_\_\_\_\_, as owners of the property referenced above (hereinafter "Owner").

Name and Return Address:  
Paul A. Johnson  
Boardman & Clark LLP  
PO Box 256  
Lodi, WI 53555

Parcel Identification Number(s)

**WHEREAS**, the Village of Cross Plains ("Cross Plains") has requested from Owner a Permanent Easement for Ingress and Egress for reasonable pedestrian and vehicular traffic over the Easement Area as provided in this Declaration.

**NOW, THEREFORE**, it is hereby declared by Owner as follows:

1. Owner hereby grants and conveys to Cross Plains a Permanent Easement for the purpose of reasonable ingress and egress for pedestrian and vehicular traffic over the land which is described as set forth on the attached Exhibit A ("the Easement Area").
2. The purpose of this Easement is to allow Cross Plains access to the Easement Area and to use the Easement Area by removing vegetation, mowing grass, installing landscaping and otherwise maintaining the area in and around a monument sign installed by Cross Plains on property adjacent to the Easement Area. All costs of maintaining the Easement Area shall be borne by Cross Plains. Cross Plains, at its sole expense, may improve the Easement Area for purposes set forth in this Declaration. .

3. Except as provided herein, Owner reserves and retains the full right to use the Easement Area; provided any such use shall not unreasonably interfere with or impede the rights of Cross Plains over the Easement Area for the purposes set forth in this Declaration.
4. Owner shall not obstruct Cross Plains' free and unobstructed use of the Easement Area in accordance with this Declaration. Any obstructions or impediments within the Easement Area may be removed without notice by Cross Plains and the cost of removal shall be borne by the person causing or responsible for such obstruction
5. Cross Plains, at the sole expense of Cross Plains, shall be responsible for any damage caused by it, its guests, licensees or invitees, whether intentionally, through negligence or otherwise to the Easement Area. Cross Plains shall be responsible, at the sole expense of Cross Plains, for promptly making any needed repairs, restoring the Easement Area to the condition it was in prior to such damage. Cross Plains shall release, hold harmless, indemnify and defend the owner and lessee of the Property for any loss, damage or injury to persons or property arising from the use of the Easement.
6. All claims, disputes, and other matters or questions arising out of or related to this Declaration or breach thereof shall be decided in a court of competent jurisdiction located in Dane County, Wisconsin. In the event it is already determined that the terms or conditions of this Declaration governing the Easement Area have been violated or breached, in addition to any other rights or remedies to which the non-defaulting party in litigation may be entitled, the defaulting party in litigation shall be obligated to pay all of the non-defaulting party's costs and expenses associated with enforcement of this Declaration whether incurred prior to or after the commencement of any lawsuit, including reasonable attorney fees.
7. The benefits and burdens of this Easement created herein shall run with the land and be binding upon Owner and Cross Plains, and inure to the benefit of the parties hereto and their respective heirs, successors and assigns.
8. The provisions of this Declaration may not be cancelled, terminated, released, amended or waived unless approved in a written agreement of the parties hereto and recorded in the Dane County Register of Deeds office.
9. This agreement shall be governed by and interpreted in accordance with the laws of the State of Wisconsin.





**ACCEPTANCE OF EASEMENT**

The Village of Cross Plains, a Wisconsin Municipal Corporation, does hereby accept the terms and conditions set forth in this Declaration of Easement and agrees to be bound by the terms and conditions set forth herein..

Dated: \_\_\_\_\_

Dated: \_\_\_\_\_

\_\_\_\_\_  
J. Patrick Andreoni, Village President

\_\_\_\_\_  
Matthew G. Schuenke, Village Clerk

**AUTHENTICATION**

Signatures of J. Patrick Andreoni and Matthew G. Schuenke, in their capacities indicated, authenticated  
On this \_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
Paul A. Johnson, SBN: 1021492  
TITLE: MEMBER, STATE BAR OF WISCONSIN

***This instrument drafted by:***  
***Attorney Paul A. Johnson***  
***Boardman & Clark LLP***  
***113 S. Main Street, Suite 301***  
***Post Office Box 256***  
***Lodi, WI 53555***  
***608-592-3877 (p)***  
***608-592-5844 (f)***  
***[pjohnson@boardmanclark.com](mailto:pjohnson@boardmanclark.com)***  
F:\DOCS\WD\53698\102\A2206257.DOCX