

Village Board

Regular Meeting Notice and Agenda

Village of Cross Plains
2417 Brewery Road, PO Box 97
Cross Plains, WI 53528
(608) 798-3241

Monday, March 28, 2016

7:00 pm

- I. Call to Order, Roll Call, and Pledge of Allegiance
- II. Public Comment – This is an opportunity for anyone to address the Village Board on any issue NOT on the current agenda. *Please observe the time limit of 3 minutes.* While the Village Board encourages input from residents, it may not discuss or act on any issue that is not duly noticed on the agenda.
- III. Consent Agenda – Upon request of any Trustee, any item may be removed from the Consent Agenda for separate consideration under General Business.
 1. Minutes of regular meeting held on February 22, 2016.
 2. Total Disbursements from September 23, 2015 through March 9, 2016 in the amount of \$278,331.10 broken down as follows:
 - 110 – General Fund: \$51,907.69
 - 120 – Capital Fund: \$21,133.47
 - 130 – Library Fund: \$4,204.22
 - 140 – Parks/Rec Fund: \$4,152.47
 - 150 – Debt Service Fund: \$124,622.97
 - 310 – TID Fund: \$1,972.19
 - 660 – Water Fund: \$10,703.77
 - 670 – Sewer Fund: \$59,634.32
 3. Approval of an Operator’s (Bartender’s) License for Nicolas R. Kraus.
 4. Approval of Nicolas R. Kraus as Agent for the Alcohol Beverage License for Kwik Trip located at 2508 Main Street.
 5. Approval of Invoices L42487 and L42488 from the Department of Transportation for work related to the reconstruction of Highway 14 (Main Street).
 6. Approval of a Temporary Class “B” License(s) for Cross Plains Home Talent Baseball located at 2820 Military Road (Baer Park) for 2016 home baseball games.
 7. Approval of a Special Event Permit for the Hill and Valley Auto & Americana located at Baer Park on September 17, 2016.

IV. Report of Village Officers

1. Village President
2. Village Administrator/Clerk-Treasurer
3. Miscellaneous Trustee Reports

V. Committee/Commission Recommendations

1. Plan Commission

- a. Discussion and action regarding the Preliminary Plat for Glacier Ridge Subdivision.
- b. Discussion and action regarding Ordinance #03-2016 setting the zoning for Glacier Ridge Subdivision located at 2504 Military Road (Buechner Farm) as part of its development as a residential subdivision.
- c. Discussion and action regarding a Temporary Limited Easement (TLE) between the Village and Middleton-Cross Plains School District to be used for grading the storm water basin.
- d. Discussion and action regarding a quit claim deed from the Middleton-Cross Plains School District to the Village for street right-of-way on Military Rd.
- e. Discussion and action regarding Ordinance #04-2016 dedicating the acquired right-of-way from the Middleton-Cross Plains School District to the public.

2. Parks/Recreation Committee

- a. Discussion and action regarding the purchase of a new truck.

VI. General Business

1. Discussion and action regarding a Special Event Permit for the Cross Plains Parkway Market to be located at 1715 Main Street.
2. Discussion and action regarding the selection procedure for the Finance Director/Village Treasurer position.
3. Presentation by West Gateway, Inc. regarding their Tax Increment Financing (TIF) Application #2016-01 for a mixed-use redevelopment at 1812-1904 Main Street.
4. Public comment regarding TIF Application #2016-01 for a mixed-use redevelopment at 1812-1904 Main Street from West Gateway, Inc.

VII. Closed Session

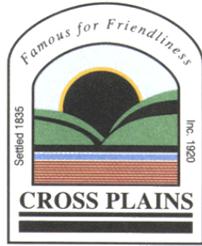
1. The Village Board will meet in Closed Session pursuant to 19.85(1)(e) of Wisconsin Statutes to deliberate or negotiate the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session, specifically regarding TIF Application #2016-01 for a mixed-use redevelopment at 1812-1904 Main Street from West Gateway, Inc.

2. Reconvene into Open Session.

3. Discussion and action regarding TIF Application #2016-01 for a mixed-use redevelopment at 1812-1904 Main Street from West Gateway, Inc.

VIII. Adjournment

This meeting notice constitutes an official meeting of the above referenced group and was posted in accordance with all applicable laws related Open Meetings Law. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals. For additional information or to request this service, contact the Village Hall at (608) 798-3241 or matt@cross-plains.wi.us.



Village of Cross Plains
PO Box 97, 2417 Brewery Road
Cross Plains, WI 53528
Phone: (608) 798-3241
Fax: (608) 798-3817

Memorandum

To: Village Board of Trustees
From: Matthew G. Schuenke, Village Administrator/Clerk-Treasurer
Date: March 17, 2016
Re: **Village Board Meeting – March 28, 2016**

III. Consent Agenda

1. Minutes of the regular meeting held February 22, 2016 – For approval.

2. Total Disbursements from September 23, 2015 through March 9, 2016 in the amount of \$278,331.10 broken down as follows – Presented for approval.

- 110 – General Fund: \$51,907.69
- 120 – Capital Fund: \$21,133.47
- 130 – Library Fund: \$4,204.22
- 140 – Parks/Rec Fund: \$4,152.47
- 150 – Debt Service Fund: \$124,622.97
- 310 – TID Fund: \$1,972.19
- 660 – Water Fund: \$10,703.77
- 670 – Sewer Fund: \$59,634.32

3. Approval of an Operator’s (Bartender’s) License for Nicolas R. Kraus – For approval.

4. Approval of Nicolas R. Kraus as Agent for the Alcohol Beverage License for Kwik Trip located at 2508 Main Street – For approval.

5. Approval of Invoices L42487 and L42488 from the Department of Transportation for work related to the reconstruction of Highway 14 (Main Street) – For approval.

6. Approval of a Temporary Class “B” License(s) for Cross Plains Home Talent Baseball located at 2820 Military Road (Baer Park) for 2016 home baseball games – For approval.

7. Approval of a Special Event Permit for the Hill and Valley Auto & Americana located at Baer Park on September 17, 2016 – For approval.

V. Committee/Commission Recommendations

1. Plan Commission

a. Discussion and action regarding the Preliminary Plat for Glacier Ridge Subdivision – A residential subdivision is planned for the Buechner Farm recently annexed into the Village. The next step in the development process is to subdivide the land via a Preliminary Plat. The Preliminary Plat is included in your packet for consideration along with a memo reviewing the requirements. There are several variances and waivers included within the memorandum to allow for the development as planned. The Plan Commission reviewed this document at its March 7th meeting and unanimously recommended conditional approval with the variances and waivers as presented. Following discussion, Staff recommends approval of the Preliminary Plat with the variances and waivers as recommended by the Plan Commission.

b. Discussion and action regarding Ordinance #03-2016 setting the zoning for Glacier Ridge Subdivision located at 2504 Military Road (Buechner Farm) as part of its development as a residential subdivision – The newly annexed and recently subdivide property needs to be zoned as planned for in the Development Proposal. The memorandum within your packet reviews the various residential and conservancy uses planned for this Development. The zoning as proposed is consistent with the Development Proposal previously approved by the Village. The Plan Commission held a public hearing and reviewed this proposed ordinance at its meeting on March 7th unanimously recommending approval with one condition. Following discussion, Staff recommends approval of Ordinance #03-2016 with the condition as recommended by the Plan Commission.

c. Discussion and action regarding a Temporary Limited Easement (TLE) between the Village and Middleton-Cross Plains School District to be used for grading the storm water basin – A TLE is needed with the School District to allow the Developer's contractor to grade a portion of the neighboring property to improve storm water flow. This was discussed with the School District on February 10th and they were agreeable to the concept presented at the time. Following discussion, Staff recommends approval of the TLE as recommended by the Plan Commission.

d. Discussion and action regarding a quit claim deed from the Middleton-Cross Plains School District to the Village for street right-of-way on Military Rd. – There is not enough available right of way to properly align the radius of the extension of Military Road at the northern property line with the School District. Additional ROW is needed from the School District to accomplish the designed improvement. The deed provides for the acquisition of the property by the Village from the School District. This was discussed with the School District on February 10th and they were agreeable to the concept presented at the time. Following discussion, Staff recommends approval to acquire the property in question via the quit claim deed as recommended by the Plan Commission.

e. Discussion and action regarding Ordinance #04-2016 dedicating the acquired right-of-way from the Middleton-Cross Plains School District to the public – Following acquisition of ROW from the School District in the previous item, the area needs to be dedicated to the public for street purposes. With this action now complete, the road can be constructed within available public ROW as presently designed. As a trade-off for all three actions, the Village and Developer will work with the School District to better align the southern driveway with Military Road is extended. This was discussed with the School District on February 10th and they were agreeable to the concept presented at the time. Following discussion, Staff recommends approval of Ordinance #04-2016 as recommended by the Plan Commission.

2. Parks/Recreation Committee

a. Discussion and action regarding the purchase of a new truck – A new vehicle was included in the 2016 Capital Budget to replace the existing truck used by the Department. Three quotes were solicited and reviewed by the Committee at their meeting on March 14th. The desired purchase was a half-ton Dodge Ram pickup truck from Kalscheur Dodge in Cross Plains at a price of \$32,500. It was about \$500 higher than a comparable model; however, the dealership is located out of town and the vehicle make is not consistent with the rest of the fleet. The budget was approved at \$30,000 for this line item to be paid for with borrowed money. Staff recommends approval of the Dodge truck as recommended by Committee.

VI. General Business

1. Discussion and action regarding a Special Event Permit for the Cross Plains Parkway Market to be located at 1715 Main Street – Organizers of the Parkway Market are gearing up for their second year of operation. Village Staff and the Chamber helped organizers get the event started in the first year and it is now transitioning to a separately managed model with the Village and Chamber still having a significant presence. One of the steps necessary in this process is to approve a Special Event Permit for the use of the parking lot as was used last year. They are also requesting the use of street light pole banners to help market the event in season. Enclosed is the requested application and proposed banner advertisement. Following discussion, Staff recommends approval of the permit as requested.

2. Discussion and action regarding the selection procedure for the Finance Director/Village Treasurer position – The Village began advertising for the new position about a month ago and applications were due to the Administrator by March 25th. Section 9.06(a) of the Village Code sets the selection procedure for full-time positions. The Village Board is required to complete the selection of full-time positions by majority vote. We need to establish a selection procedure and timeline for completing the recruitment.

- **Screening** – This task will be completed by the Village Administrator. Applicants will be screened against the job requirements and minimum qualifications in order to make a recommendation to the Interview Panel. No more than 5 candidates will be recommended for interview provided that they meet the job requirements and minimum qualifications. This task will be completed by April 1st.

- Interview Panel – The Village Administrator will chair the panel and lead the interviews. He will be joined by the Village President, a Village Trustee, Department Head(s), and the Village Auditor; or some combination thereof. The Village Administrator will determine the questions to be asked in the interview and will share with the panel prior to conducting their work. The panel will unanimously select one applicant as a recommendation to the Village Board to fill the position. An offer will be extended to the desired candidate contingent upon completion of a successful background check and Village Board approval. This task will be completed by April 15th.
- Background Check – The Village Administrator will verify references, work with the Police Department on the background check, and conduct a credit check. This task will be completed by April 22nd.
- Village Board Approval – The Village Board will consider the recommendation of the interview panel at its meeting on April 25th and take action on the appointment.

Staff recommends the Village Board take action to accept this process at its meeting on March 28th in order to complete the recruitment of the next Finance Director/Village Treasurer.

3. Presentation by West Gateway, Inc. regarding their Tax Increment Financing (TIF) Application #2016-01 for a mixed-use redevelopment at 1812-1904 Main Street – At its February 22nd Meeting, the Village Board received a presentation regarding a potential redevelopment of 1812-1904 Main Street as a mixed-use residential and commercial project. Included within your packet for the March 28th meeting is a request for \$1,250,000 in Tax Increment Financing assistance to help implement the project. The end result would be a \$6,500,000 post-improvement value far exceeding the properties former value of \$778,900 when the TID was created in 2008. It has since declined in value to \$671,800 as of January 1, 2015 and will be reduced even further as of January 1, 2016 to around \$476,100 due to the Village’s acquisition/demolition of Kurt’s on Main. Declining value has a negative impact on the TID as the objective is grow the increment created at the TID’s inception through increased property values over time. The project as proposed goes a long way to help accomplish that objective. The TIF request represents 16% of total construction cost (20% max) and will be matched by 15% of equity (15% min) with the remainder offset by a private loan. The Developer will provide a presentation regarding his application, public input will be requested, and then the board will consider the application in closed session.

4. Public comment regarding TIF Application #2016-01 for a mixed-use redevelopment at 1812-1904 Main Street from West Gateway, Inc. – While a public hearing is not required, it is customary to request public input regarding all TIF Applications to be used as part of the board’s review.

VII. Closed Session

1. The Village Board will meet in Closed Session pursuant to 19.85(1)(e) of Wisconsin Statutes to deliberate or negotiate the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session, specifically regarding TIF Application #2016-01 for a mixed-use redevelopment at 1812-1904 Main Street from West Gateway, Inc.

2. Reconvene into Open Session.

3. Discussion and action regarding TIF Application #2016-01 for a mixed-use redevelopment at 1812-1904 Main Street from West Gateway, Inc. – To take action, as appropriate, in Open Session on items discussed in Closed Session as determined by the Village Board.

Village Board

Regular Meeting Minutes

Village of Cross Plains
2417 Brewery Road, PO Box 97
Cross Plains, WI 53528
(608) 798-3241

Monday, February 22, 2016

7:00 pm

I. Call to Order, Roll Call, and Pledge of Allegiance

President Andreoni called the regular Village Board meeting to order at 7:00 pm.

Present: Trustees William Brosius, Judy Ketelboeter, Jay Lengfeld, Steve Schunk (arrived at 7:01 pm), Lee Sorensen, Clifford Zander, and President Pat Andreoni.

II. Public Comment

1. Casey Koenig of 2615 Westview Court (Cross Plains Community Bank) stated his involvement in chairing the reorganized Business Development Committee with the Cross Plains Area Chamber of Commerce and reviewed several of their first initiatives.

III. Consent Agenda – A motion was made by Trustee Brosius, seconded by Trustee Sorensen, and unanimously carried by the Village Board to adopt the consent agenda as follows:

1. Minutes of regular meeting held on January 25, 2016, special meeting on February 1, 2016, and special meeting on February 8, 2016.

2. Total Disbursements from February 3, 2016 through February 17, 2016 in the amount of \$2,270,019.42 broken down as follows:

- 110 – General Fund: \$1,594,311.21
- 120 – Capital Fund: \$18,636.03
- 130 – Library Fund: \$6,666.77
- 140 – Parks/Rec Fund: \$7,434.56
- 150 – Debt Service Fund: \$338,160.00
- 310 – TID Fund: \$269,443.03
- 660 – Water Fund: \$15,982.61
- 670 – Sewer Fund: \$19,385.21

3. Approval of an Operator's (Bartender's) License for Santa L. Lang and Devin A. Miller.

4. Approval of Santa L. Lang as Agent for the Alcohol Beverage License for Walgreens located at 2575 Main Street.

5. Approval of Invoices L39867, L39868, L40876, L40877, L41698, L41699, and L42034 from the Department of Transportation for work related to the reconstruction of Highway 14 (Main Street).

IV. Report of Village Officers

1. Village President

- Stated that Cross Plains Area EMS has organized an event at Baer Park for National Night Out on August 2nd. A Special Event Permit will be issued administratively.

2. Village Administrator/Clerk-Treasurer

- Stated that the sign up for the Chamber Annual Celebration and Meeting is scheduled for Thursday, March 10th.
- Provided the results of the Local Spring Primary Election held on February 16th. The Village participation rate was approximately 15%.

3. Miscellaneous Trustee Reports – None.

V. Committee/Commission Recommendations

1. Plan Commission

a. Discussion and action regarding proposed Ordinance #02-2016 annexing the property located at 2504 Military Road (Buechner Farm) into the Village – The following action was taken regarding this agenda item:

- Following discussion, a motion was made by Trustee Ketelboeter, seconded by Trustee Lengfeld, and unanimously carried by the Village Board to adopt Ordinance #02-2016 annexing the property located at 2504 Military Road (Buechner Farm) into the Village as presented.
- Following discussion, a motion was made by Trustee Lengfeld, seconded by Trustee Ketelboeter, and unanimously carried by the Village Board to consider a roll call vote on the unanimous voice vote acceptance of Ordinance #02-2016 annexing property located at 2504 Military Road (Buechner Farm) into the Village as presented.
- A motion was made by Trustee Ketelboeter, seconded by Trustee Sorensen, for the Village Board to adopt Ordinance #02-2016 annexing the property located at 2504 Military Road (Buechner Farm) into the Village as presented. A roll call vote was requested. Yes – Andreoni, Brosius, Ketelboeter, Lengfeld, Schunk, Sorensen, and Zander. No – None. Motion carried unanimously 7 – 0.

2. Public Safety Committee

a. Discussion and action regarding a revision to the Job Description for the Lieutenant/Detective position – Following discussion, a motion was made by Trustee Ketelboeter, seconded by Trustee Lengfeld, and unanimously carried by the Village Board to accept the revised Job Description with the addition of Subsection (3) to Section 3 regarding the desired years of supervisory experience.

3. Parks/Recreation Committee

a. Discussion and action regarding proposed funding for Dog Park implementation – Following discussion, a motion was made by Trustee Brosius, seconded by Trustee Lengfeld, and carried by the Village Board to provide \$30,000 in borrowed money in lieu of other funds towards Dog Park Implementation subject to final project approval when bids have been received.

VI. General Business

1. Presentation regarding a proposed mixed use redevelopment of 1812-1904 Main St.

– Tom Pientka of Iconica Design Build provided a presentation and led a discussion regarding a proposed mixed use redevelopment of 1812-1904 Main Street. No action was taken on this item.

2. Discussion and action regarding a Memorandum of Understanding (MOU) with VH Homes Cross Plains, LLC regarding the annexation and development of property located at 2504 Military Road (Buechner Farm)

– Following discussion, a motion was made by Trustee Lengfeld, seconded by Trustee Brosius, for the Village Board to approve a Memorandum of Understanding (MOU) with VH Homes Cross Plains, LLC regarding the annexation and development of property located at 2504 Military Road (Buechner Farm). A roll call vote was requested. Yes – Andreoni, Brosius, Ketelboeter, Lengfeld, Schunk, Sorensen, and Zander. No – None. Motion carried unanimously 7 – 0.

3. Discussion and action regarding the Civic Campus Master Plan proposal from Vandewalle & Associates Inc.

– Following discussion, a motion was made by Trustee Ketelboeter, seconded by Trustee Schunk, and unanimously carried by the Village Board the Civic Campus Master Plan proposal from Vandewalle & Associates Inc. in the amount of \$15,000 to be paid for in the 2016 Capital Fund.

4. Discussion and action regarding the selection of a proposal to complete a Traffic Study of the County Highway P (Church Street) corridor

– Following discussion, a motion was made by Trustee Brosius, seconded by Trustee Lengfeld, and unanimously carried by the Village Board to approve a proposal from SRF Consulting in the amount of \$28,000 to complete a Traffic Study of the County Highway P (Church Street) corridor.

5. Discussion and action to establish the position of Finance Director/Village Treasurer and commence recruitment

– Following discussion, a motion was made by Trustee Lengfeld, seconded by Trustee Sorensen, and unanimously carried by the Village Board to establish the position of Finance Director/Village Treasurer and commence position recruitment.

VII. Closed Session

1. A motion was made by Trustee Ketelboeter, seconded by Trustee Brosius, for the Village Board to meet in Closed Session at 8:56 pm pursuant to 19.85(1)(e) of Wisconsin Statutes to deliberate or negotiate the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session, specifically regarding the proposed use of Tax Increment Financing for a mixed use redevelopment of 1812-1904 Main Street – A roll call vote is required. Yes – Trustees Brosius, Ketelboeter, Lengfeld, Schunk, Sorensen, Zander, and President Andreoni. No – None. Motion carried 7 – 0.

A motion was made by Trustee Brosius, seconded by Trustee Zander, and carried unanimously by the Village Board to return to Open Session at 9:25 pm.

No further action was taken on this item.

VIII. Adjournment

A motion was made by Trustee Brosius, seconded by Trustee Lengfeld, and unanimously carried by the Village Board to adjourn the meeting at 9:26 pm.

Pursuant to law, written notice of this meeting was given to the public and posted on the public bulletin boards in accordance with Open Meetings Law.

Respectfully submitted,

Matthew G. Schuenke
Village Administrator/Clerk-Treasurer

3/09/2016 3:31 PM

Check Register - Full Report - ALL

Page: 1

ALL Checks

ACCT

ALL FUNDS

Dated From:

From Account:

Thru:

Thru Account:

Check Nbr	Check Date	Payee	Amount
39926	9/23/2015	RBS Active Wear	
		VOID Check, Double Paid	
			Manual Check
140-00-55300-304-000		SUPPLIES	-278.40
			Total
			-278.40
40812	3/01/2016	Matt Schuenke	
		Mileage & Gift Card Reimbursement	
			Manual Check
110-00-51440-205-000		MEETINGS	16.20
110-00-51410-205-000		MEETINGS	5.40
110-00-51510-205-000		MEETINGS	10.80
110-00-51410-399-000		MISCELLANEOUS	264.96
			Total
			297.36
40813	3/01/2016	Caryl Zander	
		Refund on Water-Sewer Bill	
			Manual Check
660-00-51400-930-000		MISCELLANEOUS	96.59
670-00-53610-399-000		MISCELLANEOUS	48.29
			Total
			144.88
40819	3/09/2016	Vandewalle & Associates, Inc.	
		Current Planning	
110-00-56400-207-101		SUPPORT SERVICES - GENERAL	921.05
		Invoice #201602036	
310-00-51410-207-000		SUPPORT SERVICES	231.75
			Total
			1,152.80
40820	3/09/2016	BAKER & TAYLOR, INC.	
		Books	
130-00-55110-304-101		SUPPLIES - BOOKS	174.16
		Invoice #2031697485	
130-00-55110-304-101		SUPPLIES - BOOKS	750.76
		Invoice #2031734041	
			Total
			924.92

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ALL Checks

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ALL FUNDS

Dated From:

From Account:

Thru:

Thru Account:

Check Nbr	Check Date	Payee	Amount
40821	3/09/2016	Junior Library Guild	
Books			
130-00-55110-304-101		SUPPLIES - BOOKS	168.75
Invoice #308760			
		Total	168.75
40822	3/09/2016	Ingram Library Services	
Books			
130-00-55110-304-101		SUPPLIES - BOOKS	23.50
Invoice #91776365			
130-00-55110-304-101		SUPPLIES - BOOKS	59.76
Invoice #91953744			
		Total	83.26
40823	3/09/2016	Gale/CENGAGE Learning	
Books			
130-00-55110-304-101		SUPPLIES - BOOKS	20.99
Invoice #57587173			
130-00-55110-304-101		SUPPLIES - BOOKS	28.78
Invoice #57534510			
		Total	49.77
40824	3/09/2016	Cross Plains Chamber of Commerce	
Membership			
110-00-51100-204-000		DUES & SUBSCRIPTIONS	125.00
		Total	125.00
40825	3/09/2016	Lark Uniform Outfitters, Inc.	
Jacket, Invoice #214913			
110-00-52100-178-000		UNIFORM	129.95
		Total	129.95
40826	3/09/2016	Ricoh Americas Corporation	
Copy Machine Lease			
110-00-51600-301-000		EQUIPMENT	238.96
Invoice #20938065			
		Total	238.96

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Check Register - Full Report - ALL

Page: 3

ALL Checks

ACCT

ALL FUNDS

Dated From:

From Account:

Thru:

Thru Account:

Check Nbr	Check Date	Payee	Amount
40827	3/09/2016	Associated Appraisal Consultants Inc. Assessor Services	
110-00-51530-207-000		SUPPORT SERVICES Invoice #120705	761.97
Total			761.97
40828	3/09/2016	D'Onofrio Kottke & Associates, Inc. Land Surveying Services	
120-00-57300-805-102		INFRASTRUCTURE - LAGOON STREET Invoice #1402114-05	879.46
Total			879.46
40829	3/09/2016	AlphaGraphics Fundraiser Brochures	
120-00-57300-805-103		INFRASTRUCTURE - HWY 14 Invoice #13006	1,134.95
Total			1,134.95
40830	3/09/2016	MSA Professional Services, Inc. Professional Services	
310-00-51410-207-000		SUPPORT SERVICES Project #R03535012.0	1,216.44
120-00-57140-207-000		SUPPORT SERVICES Project #R03535018.0	3,600.00
120-00-57300-207-000		SUPPORT SERVICES Project #R03535020.0	2,690.36
Total			7,506.80
40831	3/09/2016	Bond Trust Services Corporation Loan Payment, Agent Fee	
150-00-58000-601-000		PRINCIPAL Statement #29228	50,000.00
150-00-58000-602-000		INTEREST Statement #29228	19,108.58
150-00-58000-207-000		DEBT ISSUE EXPENSE Invoice #29348	350.00
Total			69,458.58
40832	3/09/2016	The Progressive Subscription Renewal	

3/09/2016 3:31 PM

Check Register - Full Report - ALL

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ALL Checks

ACCT

ALL FUNDS

Dated From:

From Account:

Thru:

Thru Account:

Check Nbr	Check Date	Payee	Amount
130-00-55110-304-103		SUPPLIES - PERIODICALS	13.97
		Total	13.97
40833	3/09/2016	Goth Plumbing Replace Water Heater Element	
130-00-55110-301-000		EQUIPMENT	76.10
		Total	76.10
40834	3/09/2016	AlphaGraphics Newsletter Printing & Mailing	
110-00-51100-206-000		PRINTING Invoice #13189	1,727.72
110-00-51100-201-000		POSTAGE	295.62
		Total	2,023.34
40835	3/09/2016	WISCONSIN PROFESSIONAL POLICE ASSOCIATION Union Dues, #55	
110-00-21350-000-000		UNION DUES - POLICE	124.50
		Total	124.50
40836	3/09/2016	Middleton Community Bank Loan #1001405	
150-00-58000-601-000		PRINCIPAL	54,999.38
150-00-58000-602-000		INTEREST	165.01
		Total	55,164.39
40837	3/09/2016	Boardman & Clark LLP Legal Fees	
110-00-51410-208-000		LEGAL FEES Invoice #65132	510.00
110-00-51200-208-000		LEGAL FEES Invoice #65133	1,100.80
110-00-51410-208-000		LEGAL FEES Invoice #65134	1,276.49

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Check Register - Full Report - ALL

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ALL Checks

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ALL FUNDS

Dated From:

From Account:

Thru:

Thru Account:

Check Nbr	Check Date	Payee	Amount
110-00-56400-207-101 Invoice #65135		SUPPORT SERVICES - GENERAL	3,158.00
110-00-56400-207-101 Invoice #65136		SUPPORT SERVICES - GENERAL	1,386.00
120-00-57620-207-000 Invoice #65137		SUPPORT SERVICES	323.00
670-00-53610-208-000 Invoice #65138		LEGAL	68.00
310-00-51410-207-000 Invoice #65139		SUPPORT SERVICES	289.00
		Total	8,111.29
40838 Building Inspections	3/09/2016	Johnson Inspection LLC	
110-00-52400-207-000 Invoice #541		SUPPORT SERVICES	461.94
		Total	461.94
40839 Internet Service	3/09/2016	CHARTER COMMUNICATIONS	
110-00-51100-207-000 Account #8245 11 686 0018482		SUPPORT SERVICES	146.96
		Total	146.96
40840 Workers Comp. Audit	3/09/2016	Baer Insurance Services, LLC	
110-00-51540-209-000 Invoice #59743		INSURANCE	4,061.20
660-00-51400-924-000		PROPERTY INSURANCE	937.20
670-00-53610-209-000		INSURANCE	1,249.60
		Total	6,248.00
40841 Copy Machine Lease	3/09/2016	ALTERNATIVE COPIER	
130-00-55110-301-000 Invoice #1704		EQUIPMENT	150.00
		Total	150.00

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From Account:
Thru Account:

Check Nbr	Check Date	Payee	Amount
40842	3/09/2016	Lisa M. Davis Cleaning Services	
110-00-52100-207-000		SUPPORT SERVICES	150.00
		Total	150.00
40843	3/09/2016	Immaculate Cleaning, Inc. Janitorial Services, Invoice #5372	
110-00-51600-207-000		SUPPORT SERVICES	275.00
		Total	275.00
40844	3/09/2016	Jen Feltz Yoga Instructor	
140-00-55300-207-000		SUPPORT SERVICES	40.00
		Total	40.00
40845	3/09/2016	Terri Z. Buechner Yoga Instructor	
140-00-55300-207-000		SUPPORT SERVICES	480.00
		Total	480.00
40846	3/09/2016	Kyle Neuser Basketball Ref.	
140-00-55300-207-000		SUPPORT SERVICES	51.00
		Total	51.00
40847	3/09/2016	Hunter Statz Basketball Ref.	
140-00-55300-207-000		SUPPORT SERVICES	24.00
		Total	24.00
40848	3/09/2016	Kaytlyn Nelson Basketball & Gymnastics	
140-00-55300-207-000		SUPPORT SERVICES	132.00
		Total	132.00

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Dated From:
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From Account:
Thru Account:

Check Nbr	Check Date	Payee	Amount
40849	3/09/2016	Joshua Acker	
		Basketball Ref.	
140-00-55300-207-000		SUPPORT SERVICES	115.50
		Total	115.50
40850	3/09/2016	US CELLULAR	
		Cellular Phone Service	
110-00-52100-202-000		COMMUNICATION	41.20
		Total	41.20
40851	3/09/2016	WISCONSIN RURAL WATER ASSOCIATION	
		Safety & Health Procedures & Handbooks	
660-00-53700-601-200		OPERATION - EXPENSE	296.43
		Invoice #2885	
670-00-53610-301-000		EQUIPMENT	296.42
		Total	592.85
40852	3/09/2016	US CELLULAR	
		Cellular Phone Service	
660-00-53700-601-200		OPERATION - EXPENSE	170.35
670-00-51600-202-000		COMMUNICATION	170.35
110-00-53300-202-000		COMMUNICATION	170.34
		Total	511.04
40853	3/09/2016	TEAM LABORATORY CHEMICAL CORP.	
		Super Bugs, Invoice #INV000392	
670-00-53610-307-000		SYSTEM MAINTENANCE	1,200.00
		Total	1,200.00
40854	3/09/2016	NIESEN & SON LANDSCAPING	
		Landscaping, Invoice #009664	
670-00-57410-805-103		INFRASTRUCTURE - HWY 14	1,815.50
		Total	1,815.50

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Thru Account:

Check Nbr	Check Date	Payee	Amount
40855	3/09/2016	NORTH CENTRAL LABORATORIES Supplies, Invoice #368525	
670-00-53610-304-000		SUPPLIES	163.71
Total			163.71
40856	3/09/2016	DANE-IOWA WASTEWATER Sludge Hauling & Testing	
670-00-53610-207-000		SUPPORT SERVICES Invoice #2528	181.50
670-00-53630-207-000		SUPPORT SERVICES Invoice #2526	19,236.35
Total			19,417.85
40857	3/09/2016	USA Blue Book Reagent Refill,Hose Shank,Tablet Crusher	
660-00-53700-642-200		OPERATION - EXPENSE Invoice #871546	72.36
Total			72.36
40858	3/09/2016	TAPCO Bracket Metro Wing L-Bracket	
110-00-53300-305-103		MAINTENANCE - INFRASTRUCTURE Invoice #I518416	37.23
Total			37.23
40859	3/09/2016	WORLD OF VARIETY Toilet Paper,Paper Towels	
110-00-53300-304-101		SUPPLIES - GENERAL Invoice #18292	24.97
Total			24.97
40860	3/09/2016	Rachel Marx Rec. Instructor	
140-00-55300-207-000		SUPPORT SERVICES	440.00
Total			440.00
40861	3/09/2016	Gray's, Inc. Supplies, Invoice #33232	

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Dated From:

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Thru Account:

Check Nbr	Check Date	Payee	Amount
110-00-53300-305-101		MAINTENANCE - VEHICLE	2,133.24
Total			2,133.24

40862 3/09/2016 Cross Plains True Value Hardware
 February Billing

120-00-57300-805-103		INFRASTRUCTURE - HWY 14 Mailboxes	1,099.45
140-00-55200-305-000		MAINTENANCE Batteries, Lantern	49.98
110-00-53300-304-101		SUPPLIES - GENERAL Brush	6.99
110-00-53300-304-101		SUPPLIES - GENERAL Rubber Straps,NBS	33.59
670-00-53610-304-000		SUPPLIES Casters	22.26
670-00-53610-304-000		SUPPLIES Muriatic Repl. Acid	23.98
110-00-53300-304-101		SUPPLIES - GENERAL Snow Pusher	34.99
110-00-53300-304-101		SUPPLIES - GENERAL Bulbs	1.99
110-00-53300-304-101		SUPPLIES - GENERAL Paint	5.49
110-00-53300-304-101		SUPPLIES - GENERAL SBS	5.60
110-00-53300-304-101		SUPPLIES - GENERAL Snap In Knock Out	1.18
110-00-53300-301-000		EQUIPMENT Cut Wheel	13.16
670-00-53610-304-000		SUPPLIES Valve, Foam Insulation	13.78
130-00-55110-304-105		SUPPLIES - GENERAL Screws	5.49
110-00-53300-304-101		SUPPLIES - GENERAL Deck	6.29
130-00-55110-304-105		SUPPLIES - GENERAL Twine, Lamp	18.57

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Thru Account:

Check Nbr	Check Date	Payee	Amount
110-00-53300-304-101		SUPPLIES - GENERAL	6.99
Rod			
Total			1,349.78
<hr/>			
40863	3/09/2016	WEAVER AUTO PARTS	
Dielectric Grease			
110-00-53300-305-101		MAINTENANCE - VEHICLE	9.20
Account #6-16502			
110-00-53300-305-101		MAINTENANCE - VEHICLE	36.80
110-00-53300-304-101		SUPPLIES - GENERAL	18.40
110-00-53300-304-101		SUPPLIES - GENERAL	18.40
110-00-53300-304-101		SUPPLIES - GENERAL	18.40
Total			101.20
<hr/>			
40864	3/09/2016	Agsources Cooperative Services	
Testing, Invoice #90184023			
670-00-53610-207-000		SUPPORT SERVICES	1,079.10
Total			1,079.10
<hr/>			
40865	3/09/2016	MARK'S CHEMICAL, LLC	
HFS, Sodium Hypochlorite Solution			
660-00-53700-641-000		CHEMICALS	834.00
Invoice #11333			
Total			834.00
<hr/>			
40866	3/09/2016	United States Geological Survey	
Monitoring, Bill #90421451			
670-00-57410-207-000		SUPPORT SERVICES	28,300.00
Total			28,300.00
<hr/>			
40867	3/09/2016	UNITED LABORATORIES	
Fog-Away Pretreat for WW			
670-00-53610-307-000		SYSTEM MAINTENANCE	3,417.00
Invoice #INV147721			
Total			3,417.00

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Check Nbr	Check Date	Payee	Amount
40868	3/09/2016	STATE LABORATORY OF HYGIENE Sampling, Invoice #452533	
660-00-53700-642-200		OPERATION - EXPENSE	25.00
Total			25.00
40869	3/09/2016	KALSCHEUR IMPLEMENT CO. Parts, Customer #672	
110-00-53300-305-102		MAINTENANCE - EQUIPMENT	658.38
110-00-53300-305-102		MAINTENANCE - EQUIPMENT	1,030.03
Total			1,688.41
40870	3/09/2016	CROSS PLAINS MOTORS, INC. Vehicle Repair & Towing	
110-00-53300-305-101		MAINTENANCE - VEHICLE	1,450.70
110-00-52100-305-000		MAINTENANCE	214.10
110-00-52100-399-000		MISCELLANEOUS	100.00
Total			1,764.80
40871	3/09/2016	SAEMAN LUMBER CO. Supplies, Account #CR850	
110-00-53300-305-103		MAINTENANCE - INFRASTRUCTURE	308.32
Total			308.32
40872	3/09/2016	Middleton Farmers Co-op Diesel Fuel, customer #170070	
110-00-53300-303-000		FUEL	790.61
Total			790.61
40873	3/09/2016	Cintas Corporation #446 Matt & Uniform Service,Clean Floors	
110-00-51600-207-000		SUPPORT SERVICES Account #446-09733	112.00
110-00-53300-178-000		UNIFORM Account #446-01247	279.94

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Dated From:

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Thru Account:

Check Nbr	Check Date	Payee	Amount
110-00-52100-207-000		SUPPORT SERVICES	132.05
		Account #446-09039	
110-00-51600-207-000		SUPPORT SERVICES	28.50
		Account #446-09039	
Total			552.49

40874 3/09/2016 CHARTER COMMUNICATIONS
Internet Service

110-00-52100-202-000		COMMUNICATION	144.99
Total			144.99

40875 3/09/2016 TOWN & COUNTRY SANITATION
Garbage & Recycling Pickup

110-00-53620-207-001		GARBAGE COLLECTION	9,150.00
		Account #4176	
110-00-53620-207-002		RECYCLING COLLECTION	3,965.00
Total			13,115.00

40876 3/09/2016 News Publishing Company
Public Notices, Account #99101876

110-00-51440-206-000		PRINTING	25.65
110-00-51410-206-000		PRINTING	50.76
Total			76.41

40877 3/09/2016 TOWN & COUNTRY ENGINEERING, INC.
Engineering Fees

120-00-57300-805-104		INFRASTRUCTURE - CTY HWY P	2,717.50
		Invoice #16366	
120-00-57300-207-102		SUPP. SRVCS - STORMWATER PLAN	7,411.25
		Invoice #16382	
660-00-57000-207-000		SUPPORT SERVICES	3,787.50
		Invoice #16367	
310-00-51410-207-000		SUPPORT SERVICES	235.00
		Invoice #16372	
110-00-56400-207-101		SUPPORT SERVICES - GENERAL	807.70
		Invoice #16368	

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Check Nbr	Check Date	Payee	Amount
Total			14,958.95
40878	3/09/2016	BOEHNEN, INC. Main Breaks,Hwy. 14 Sign	
660-00-53700-673-000		MAINTENANCE OF MAINS Invoice #23165	1,117.00
660-00-53700-673-000		MAINTENANCE OF MAINS Invoice #23152	1,724.50
120-00-57300-805-103		INFRASTRUCTURE - HWY 14 Invoice #23201	1,197.50
120-00-57300-805-103		INFRASTRUCTURE - HWY 14 Invoice #23194	80.00
Total			4,119.00
40879	3/09/2016	TERRY'S PIGGLY WIGGLY Election Food & Supplies	
110-00-51440-205-000		MEETINGS Account #310	68.37
140-00-55300-304-000		SUPPLIES	7.95
Total			76.32
40880	3/09/2016	State Bank of Cross Plains1	
140-00-55300-306-101		PROGRAMS Account #3230	1,187.97
Total			1,187.97
40881	3/09/2016	State Bank of Cross Plains1 Govern Conference, AED Pad	
110-00-52100-205-000		MEETINGS Account #4584	157.00
110-00-52100-301-000		EQUIPMENT	112.00
Total			269.00
HEALTH 3.16	3/04/2016	EMPLOYEE TRUST FUNDS-INSURANCE PYMTS April Insurance premium	
110-00-21341-000-000		POP EMPLOYEE HEALTH INSUR	3,200.72

Manual Check

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Check Nbr	Check Date	Payee	Amount
110-00-51430-171-000		HEALTH INSURANCE	2,375.77
110-00-52100-171-000		HEALTH INSURANCE	5,087.61
110-00-53300-171-000		HEALTH INSURANCE	3,203.82
130-00-51430-171-000		HEALTH INSURANCE	2,713.39
140-00-51430-171-000		HEALTH INSURANCE	1,902.47
660-00-51400-926-000		EMPLOYEE BENEFITS	1,642.84
670-00-53610-171-000		HEALTH INSURANCE	2,348.48
110-00-51430-171-000		HEALTH INSURANCE	-1,319.30
Total			21,155.80
Grand Total			278,331.10

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	Amount
Total Expenditure from Fund # 110 - GENERAL FUND	51,907.69
Total Expenditure from Fund # 120 - CAPITAL PROJECT FUND	21,133.47
Total Expenditure from Fund # 130 - LIBRARY FUND	4,204.22
Total Expenditure from Fund # 140 - PARKS/RECREATION FUND	4,152.47
Total Expenditure from Fund # 150 - DEBT SERVICE FUND	124,622.97
Total Expenditure from Fund # 310 - TAX INCREMENT DISTRICT	1,972.19
Total Expenditure from Fund # 660 - WATER	10,703.77
Total Expenditure from Fund # 670 - SEWER	59,634.32
Total Expenditure from all Funds	278,331.10

Application for an "Operator's" License _____ WI _____
To Serve Fermented Malt Beverages and Intoxicating Liquors _____ Date _____ Year _____

I, the undersigned, do hereby respectfully make application to the local governing body of the Village of Cross Plains, County of Dane, Wisconsin for a License to serve, from the date hereof to June 30, 20____, inclusive (unless sooner revoked), Fermented Malt Beverages and Intoxicating Liquors, subject to the limitations imposed by Section 125.32(2) and 125.68(2) of the Wisconsin Statutes and all acts amendatory thereof and supplementary thereto, and hereby agree to comply with all laws, resolution, ordinances and regulation, Federal, State or Local, affecting the sale of such beverages and liquors if a license be granted to me.

I certify that I am _____ years of age. Date of Birth: _____
Name of Establishment _____

Answer the following questions fully and completely:

Name: Nicholas R Kraus Is application new or a renewal? New
First MI Last

Address of Applicant: 727 Aspen Ave. Verona 53580 715/937-7075
Street Address City ZIP Code Phone Number

If renewal (within the past 2 years held a Class "A", "Class A", "Class C", Class "B" or "Class B" license or permit or a manager's or operator's license).

Where was the privilege obtained? (Town) Village of Cross Plains
City Village

As required by WI Statutes Section 125.17(6), have you completed the alcohol awareness course? Yes

If so, where? Kwik Trip Inc (online)

Have you ever had a criminal conviction? If yes, what and where? No

Have you been convicted of any license law or ordinance regulating Fermented malt beverages or intoxicating liquors? No

If so, name of court: N/A

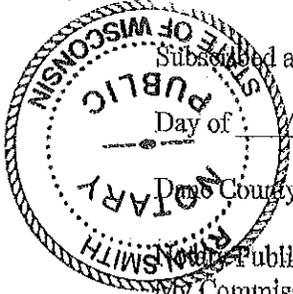
STATE OF WISCONSIN
DANE COUNTY

Nicholas R. Kraus, being first duly sworn on oath says that (s)he is the person who made and signed the foregoing application for an operator's license; that all the statements made by the applicant are true.

X [Signature]
Applicant sign here

X 2-12-16
Date of Application

Date of Board Approval _____



Subscribed and sworn to before me this 12
Day of February, 2016

Dane County, Wis.

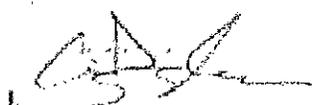
Notary Public: [Signature]
My Commission Expires: 02/28/2016

WISCONSIN

SELLER / SERVER CERTIFICATION

Trainee Name: Nicholas Kraus
Date of Completion: 12/23/2015

School Name: 360training.com, Inc.
Certification # WI-33062



I certify that the above named person
successfully completed an approved
Learn2Serve Seller/Server course.

COMPLIES WITH WISCONSIN STATUTES 125.04, 125.17, 134.66





Cross Plains Police Department

Date: February 24, 2016

To: Village Administrator Matthew Schuenke

Ref: Operator's License Application

On February 24, 2016 I received an Application for an Operator's License from a Nicholas R. Kraus. A review of Mr. Kraus' arrest and conviction record was completed in accordance with Village Ordinance 41.09 (b). The results of that review indicate Mr. Kraus has no arrest or convictions in contrast with Village ordinance 41.09(c).

Nicholas R. Kraus therefore meets the criteria set forth in Village Ordinance 41.09(c) to receive an operator's license.

Thomas J. Janssen
Chief of Police



February 16, 2016

Mr. Matthew Schuenke, Administrator/Clerk-Treasurer
Village of Cross Plains
2417 Brewery Rd.
Cross Plains, WI 53528-9471

RE: Appointment of Agent Change
Kwik Trip 833
2508 Main St.

Dear Matt,

Trisha Hutzenbuhler, the agent of Kwik Trip 833, has accepted another position within our company. A new manager, Nicholas Kraus, will take over leadership responsibilities for the store. Therefore, we would like to appoint Nicholas as the agent of the store.

Enclosed please find the completed Appointment of Agent and Auxiliary Questionnaire forms, as well as, \$10.00 to cover the administrative fee for this service. I respectfully request that you include this on the agenda of your Village Council meeting for consideration.

Please let me know if you require anything further. Thank you for your assistance with this matter.

Yours truly,

Gena Cannestra
Licensing Agent

Enclosures

Kwik Trip, Inc. • P.O. Box 2107 • 1626 Oak St.
La Crosse, WI 54602-2107
608-781-8988 • www.kwiktrip.com



Gena Cannestra
Legal Department

Phone: 608-791-7385
Fax: 608-779-9252
eMail: gcannestra@kwiktrip.com

SCHEDULE FOR APPOINTMENT OF AGENT BY CORPORATION/NONPROFIT ORGANIZATION OR LIMITED LIABILITY COMPANY

Submit to municipal clerk.

All corporations/organizations or limited liability companies applying for a license to sell fermented malt beverages and/or intoxicating liquor must appoint an agent. The following questions must be answered by the agent. The appointment must be signed by the officer(s) of the corporation/organization or members/managers of a limited liability company and the recommendation made by the proper local official.

To the governing body of: Town Village of Village of Cross Plains County of Dane
 City

The undersigned duly authorized officer(s)/members/managers of Kwik Trip, Inc.
(registered name of corporation/organization or limited liability company)

a corporation/organization or limited liability company making application for an alcohol beverage license for a premises known as

Kwik Trip 833
(trade name)

located at 2508 Main St., Cross Plains, WI 53528

appoints Nicholas R. Kraus
(name of appointed agent)

727 Aspen Ave., Verona, WI 53593
(home address of appointed agent)

to act for the corporation/organization/limited liability company with full authority and control of the premises and of all business relative to alcohol beverages conducted therein. Is applicant agent presently acting in that capacity or requesting approval for any corporation/organization/limited liability company having or applying for a beer and/or liquor license for any other location in Wisconsin?

Yes No If so, indicate the corporate name(s)/limited liability company(ies) and municipality(ies).
Agent at Kwik Trip #035, Lodi until new agent approved.

Is applicant agent subject to completion of the responsible beverage server training course? Yes No All my life.

How long immediately prior to making this application has the applicant agent resided continuously in Wisconsin? _____

Place of residence last year 727 Aspen Ave., Verona, WI 53593

For: Kwik Trip, Inc.
(name of corporation/organization/limited liability company)

By: [Signature]
(signature of Officer/Member/Manager)

And: [Signature]
(signature of Officer/Member/Manager)

ACCEPTANCE BY AGENT

I, Nicholas R. Kraus, hereby accept this appointment as agent for the
(print/type agent's name)

corporation/organization/limited liability company and assume full responsibility for the conduct of all business relative to alcohol beverages conducted on the premises for the corporation/organization/limited liability company.

[Signature] 2-12-16 Agent's age [Redacted]
(signature of agent) (date)
727 Aspen Ave., Verona, WI 53593 Date of birth [Redacted]
(home address of agent)

**APPROVAL OF AGENT BY MUNICIPAL AUTHORITY
 (Clerk cannot sign on behalf of Municipal Official)**

I hereby certify that I have checked municipal and state criminal records. To the best of my knowledge, with the available information, the character, record and reputation are satisfactory and I have no objection to the agent appointed.

Approved on _____ by _____ Title _____
(date) (signature of proper local official) (town chair, village president, police chief)

**AUXILIARY QUESTIONNAIRE
ALCOHOL BEVERAGE LICENSE APPLICATION**

WI DR Lic #K620-1015-9752-08

Submit to municipal clerk.

Individual's Full Name (please print) (last name) Kraus		(first name) Nicholas		(middle name) Ray	
Home Address (street/route) 727 Aspen Ave.		Post Office Verona	City	State WI	Zip Code 53580
Home Phone Number 715/937-7675		Age 24	Date of Birth 3/30/91	Place of Birth Mansfield, OH	

The above named individual provides the following information as a person who is (check one):

- Applying for an alcohol beverage license as an individual.
- A member of a partnership which is making application for an alcohol beverage license.
- Agent** of **Kwik Trip, Inc.**
(Officer/Director/Member/Manager/Agent) (Name of Corporation, Limited Liability Company or Nonprofit Organization)

which is making application for an alcohol beverage license.

The above named individual provides the following information to the licensing authority:

1. How long have you continuously resided in Wisconsin prior to this date? **Since 1992**
2. Have you ever been convicted of any offenses (other than traffic unrelated to alcohol beverages) for violation of any federal laws, any Wisconsin laws, any laws of any other states or ordinances of any county or municipality? Yes No
 If yes, give law or ordinance violated, trial court, trial date and penalty imposed, and/or date, description and status of charges pending. (If more room is needed, continue on reverse side of this form.)
3. Are charges for any offenses presently pending against you (other than traffic unrelated to alcohol beverages) for violation of any federal laws, any Wisconsin laws, any laws of other states or ordinances of any county or municipality? Yes No
 If yes, describe status of charges pending.
4. Do you hold, are you making application for or are you an officer, director or agent of a corporation/nonprofit organization or member/manager/agent of a limited liability company holding or applying for any other alcohol beverage license or permit? Yes No
 If yes, identify. **Agent at Kwik Trip #1035, Lodi until new agent approved**
(Name, Location and Type of License/Permit)
5. Do you hold and/or are you an officer, director, stockholder, agent or employe of any person or corporation or member/manager/agent of a limited liability company holding or applying for a wholesale beer permit, brewery/winery permit or wholesale liquor, manufacturer or rectifier permit in the State of Wisconsin? Yes No
 If yes, identify.
(Name of Wholesale Licensee or Permittee) (Address By City and County)

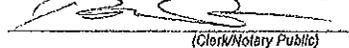
6. Named individual must list in chronological order last two employers.

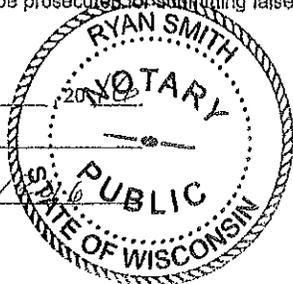
Employer's Name Subway	Employer's Address 1301 State Hwy 69, New Glarus, WI 53574	Employed From 2006	To 5/10
Employer's Name	Employer's Address	Employed From	To

The undersigned, being first duly sworn on oath, deposes and says that he/she is the person named in the foregoing application; that the applicant has read and made a complete answer to each question, and that the answers in each instance are true and correct. The undersigned further understands that any license issued contrary to Chapter 125 of the Wisconsin Statutes shall be void, and under penalty of state law, the applicant may be prosecuted for submitting false statements and affidavits in connection with this application.

Subscribed and sworn to before me

Notary Public

this 12 day of February, 2009

(Clerk/Notary Public)




(Signature of Named Individual)

Nicholas R. Kraus

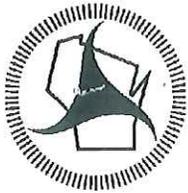
My commission expires 08/28/2011



Const/Recst & Intersection Mod

Project ID: 5310-02-70

					Debit	Credit
06/04/2015	06/11/2015	WisDOT	Invoice	General Billing	\$ 1,275,068.13	
06/04/2015	06/11/2015	WisDOT	Invoice	Credit		\$ (1,194,243.98)
07/10/2015	07/10/2015	Village	Payment	Costs Outstanding		\$ (80,824.15)
08/06/2015	08/17/2015	WisDOT	Invoice	General Billing	\$ 1,884,152.70	
08/06/2015	08/17/2015	WisDOT	Invoice	Credit		\$ (1,860,269.42)
09/15/2015	09/15/2015	Village	Payment	Costs Outstanding		\$ (23,883.28)
09/04/2015	09/14/2015	WisDOT	Invoice	General Billing	\$ 1,419,432.64	
09/04/2015	09/14/2015	WisDOT	Invoice	Credit		\$ (1,395,165.14)
10/14/2015	10/14/2015	Village	Payment	Costs Outstanding		\$ (24,267.50)
10/06/2015	10/13/2015	WisDOT	Invoice	General Billing	\$ 1,619,812.68	
10/06/2015	10/06/2015	WisDOT	Invoice	Credit		\$ (1,444,222.79)
11/10/2015	11/10/2015	Village	Payment	Costs Outstanding		\$ (175,589.89)
11/05/2015	11/19/2015	WisDOT	Invoice	General Billing	\$ 1,066,275.93	
11/05/2015	11/19/2015	WisDOT	Invoice	Credit		\$ (1,042,552.60)
12/16/2015	12/16/2015	Village	Payment	Costs Outstanding		\$ (23,723.33)
12/04/2015	12/17/2015	WisDOT	Invoice	General Billing	\$ 740,952.52	
12/04/2015	12/17/2015	WisDOT	Invoice	Credit		\$ (622,194.38)
12/16/2015	12/16/2015	Village	Payment	Costs Outstanding		\$ (118,758.14)
01/07/2016	01/25/2016	WisDOT	Invoice	General Billing	\$ 160,594.61	
		WisDOT	Invoice	Credit		\$ (158,342.05)
		Village	Payment	Costs Outstanding		\$ (2,252.56)
03/04/2016	03/08/2016	WisDOT	Invoice	General Billing	\$ 102,985.31	
		WisDOT	Invoice	Credit		\$ (88,690.56)
		Village	Payment	Costs Outstanding		\$ (14,294.75)
					State/Federal Total	\$ (7,805,680.92)
					Village Total	\$ (463,593.60)
					\$ 8,269,274.52	\$ (8,269,274.52)
						\$ -



DIVISION OF BUSINESS MANAGEMENT
 Bureau Of Business Services
 PO Box 7366
 Madison, WI 53707-7366

**PROGRESS INVOICE - THIS IS NOT A FINAL BILL
 SOUTHWEST REGION**

FOR ADDITIONAL INFORMATION CONTACT THE REGION OFFICE (608) 246-5624

To: MATT SCHUENKE
 VILLAGE OF CROSS PLAINS
 PO BOX 97
 CROSS PLAINS WI 53528-0097

MARCH 4, 2016

Invoice: L42487



State Project No.: 5310-02-70
 SPRING GREEN - MADISON
 CTH KP TO WESTVIEW CT/V CROSS PLAINS
 CONST/RECST & INTERSECTION MOD

FEDERAL PROJECT NO.: WISC 2015084
Local Unit ID : 13113
Local Appropriation : 373

VILLAGE OF CROSS PLAINS: \$463,593.60

PREVIOUS PAYMENTS AND WORK CREDITS: \$447,046.29

Balance Due: \$16,547.31

***** BALANCE DUE - PAYMENT DUE WITHIN 30 DAYS OF RECEIPT *****

DEPT: _____
 LINE ITEM: _____
 APPROVE: _____
 DATE: _____

(Please refer to the above state project number and invoice number for all inquiries)
 (Please detach the part below & return with your payment - Retain the rest for your records)
 =====Detach Here=====Detach Here=====Detach Here=====

Invoice Number: L42487
 Date: 2016-03-04

Balance Due: \$16,547.31

Amount Paid: _____

Make Checks Payable To:
 WISCONSIN DEPT. OF TRANSPORTATION

Mail To:
 WISCONSIN DEPT. OF TRANSPORTATION
 Bureau of Business Services
 P.O. Box 7366
 Madison, WI 53707-7366

***** BALANCE DUE - PAYMENT DUE WITHIN 30 DAYS OF RECEIPT *****
 **** FOR PROPER CREDIT, RETURN THIS PART WITH YOUR REMITTANCE ****

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Category # 0010		ROADWAY ITEMS					
Including Engineering	Category To Date	Funding	Limit	Pty	%W/In Pty	Fed Appr	
\$5,408,113.82	\$4,683,332.30	FEDERAL	UNLIMITED	1	80.000 %	M0E1	
\$1,352,028.45	\$1,170,833.07	STATE OF WISCONSIN	UNLIMITED	1	20.000 %		
<u>\$6,760,142.27</u>	<u>\$5,854,165.37</u>						

Category # 0020		NON-PARTICIPATING PARKING					
Including Engineering	Category To Date	Funding	Limit	Pty	%W/In Pty	Fed Appr	
\$994.10	\$860.87	VILLAGE OF CROSS PLAINS	UNLIMITED	1	100.000%		
<u>\$994.10</u>	<u>\$860.87</u>						

Category # 0030		DECORATIVE LIGHTING					
Including Engineering	Category To Date	Funding	Limit	Pty	%W/In Pty	Fed Appr	
\$194,200.00	\$168,173.82	FEDERAL	\$194,200.00	1	50.000 %	M0E1	
\$194,200.00	\$168,173.81	VILLAGE OF CROSS PLAINS	UNLIMITED	1	50.000 %		
\$64,000.00	\$55,422.89	FEDERAL	\$64,000.00	2	80.000 %	M0E1	
\$16,000.00	\$13,855.72	STATE OF WISCONSIN	UNLIMITED	2	20.000 %		
\$150,417.02	\$130,258.51	VILLAGE OF CROSS PLAINS	UNLIMITED	3	100.000%		
<u>\$618,817.02</u>	<u>\$535,884.75</u>						

Category # 0040		COLORED CROSSWALK, CSS					
Including Engineering	Category To Date	Funding	Limit	Pty	%W/In Pty	Fed Appr	
\$36,000.00	\$31,175.38	FEDERAL	\$36,000.00	1	80.000 %	M0E1	
\$9,000.00	\$7,793.84	STATE OF WISCONSIN	UNLIMITED	1	20.000 %		
\$36,902.53	\$31,956.94	VILLAGE OF CROSS PLAINS	UNLIMITED	2	100.000%		
<u>\$81,902.53</u>	<u>\$70,926.16</u>						

Category # 0050 BREWERY CREEK B-13-799

Including Engineering	Category To Date	Funding	Limit	Pty	%W/In Pty	Fed Appr
\$516,206.96	\$447,026.23	FEDERAL	UNLIMITED	1	80.000 %	M0E1
\$129,051.74	\$111,756.56	STATE OF WISCONSIN	UNLIMITED	1	20.000 %	
\$645,258.70	\$558,782.79					

Category # 0060 STORM WATER FACILITY

Including Engineering	Category To Date	Funding	Limit	Pty	%W/In Pty	Fed Appr
\$81,079.95	\$70,213.82	FEDERAL	UNLIMITED	1	50.000 %	M0E1
\$81,079.95	\$70,213.83	VILLAGE OF CROSS PLAINS	UNLIMITED	1	50.000 %	
\$162,159.90	\$140,427.65					

DISTRIBUTION OF COSTS TO DATE

Including Engineering	Category Costs To Date	Funding	Federal Appr
\$6,299,600.73	\$5,455,344.44	FEDERAL	M0E1
\$463,593.60	\$401,463.96	VILLAGE OF CROSS PLAINS	
\$1,506,080.19	\$1,304,239.19	STATE OF WISCONSIN	
\$8,269,274.52	\$7,161,047.59		

Const/Sanitary Sewer & Water Main

Project ID: 5310-02-73

					Debit	Credit
06/04/2015	06/11/2015	WisDOT	Invoice	General Billing	\$ 1,278,455.60	
06/04/2015	06/11/2015	WisDOT	Invoice	Credit		\$ (555,803.00)
07/10/2015	07/10/2015	Village	Deduction	Mobilization		\$ (50,072.04)
07/10/2015	09/16/2015	Village	Payment	Costs Outstanding		\$ (672,580.56)
07/04/2015	07/10/2015	WisDOT	Invoice	General Billing	\$ 298,058.68	
07/10/2015	07/10/2015	Village	Deduction	Mobilization		\$ (49,533.63)
08/03/2015	08/03/2015	Village	Payment	Costs Outstanding		\$ (248,525.05)
08/06/2015	08/17/2015	WisDOT	Invoice	General Billing	\$ 581,031.71	
08/18/2015	08/18/2015	Village	Deduction	Mobilization		\$ -
09/15/2015	09/15/2015	Village	Payment	Costs Outstanding		\$ (581,031.71)
09/04/2015	09/14/2015	WisDOT	Invoice	General Billing	\$ 255,518.96	
10/14/2015	10/14/2015	Village	Deduction	Mobilization		\$ (49,533.62)
10/14/2015	10/14/2015	Village	Payment	Costs Outstanding		\$ (205,985.34)
10/06/2015	10/13/2015	WisDOT	Invoice	General Billing	\$ 468,813.02	
11/10/2015	11/10/2015	Village	Deduction	Mobilization		\$ (50,072.04)
11/10/2015	11/10/2015	Village	Payment	Costs Outstanding		\$ (418,740.98)
11/05/2015	11/19/2015	WisDOT	Invoice	General Billing	\$ 114,652.38	
12/16/2015	12/16/2015	Village	Deduction	Mobilization		\$ -
12/16/2015	12/16/2015	Village	Payment	Costs Outstanding		\$ (114,652.38)
12/04/2015	12/17/2015	WisDOT	Invoice	General Billing	\$ 2,234.35	
12/18/2015	12/18/2015	Village	Deduction	Mobilization		\$ -
12/18/2015	12/18/2015	Village	Payment	Costs Outstanding		\$ (2,234.35)
01/07/2016	01/25/2016	WisDOT	Invoice	General Billing	\$ (19,344.92)	
		Village	Deduction	Mobilization		\$ -
		Village	Payment	Costs Outstanding		\$ 19,344.92
02/04/2016	02/15/2016	WisDOT	Invoice	General Billing	\$ 124.02	
		Village	Deduction	Mobilization		\$ -
		Village	Payment	Costs Outstanding		\$ (124.02)
03/04/2016	03/08/2016	WisDOT	Invoice	General Billing	\$ 978.67	
		Village	Deduction	Mobilization		\$ -
		Village	Payment	Costs Outstanding		\$ (978.67)
					State Total	\$ (555,803.00)
					Mobilization	\$ (199,211.33)
					Village Total	\$ (2,225,508.14)
					\$ 2,980,522.47	\$ (2,980,522.47)



DIVISION OF BUSINESS MANAGEMENT
 Bureau Of Business Services
 PO Box 7366
 Madison, WI 53707-7366

**PROGRESS INVOICE - THIS IS NOT A FINAL BILL
 SOUTHWEST REGION**

FOR ADDITIONAL INFORMATION CONTACT THE REGION OFFICE (608) 246-5624

To: MATT SCHUENKE
 VILLAGE OF CROSS PLAINS
 PO BOX 97
 CROSS PLAINS WI 53528-0097



MARCH 4, 2016

Invoice: L42488

State Project No.: 5310-02-73
 SPRING GREEN - MADISON
 CTH KP TO WESTVIEW CT/CROSS PLAINS
 CONST/SANITARY SEWER & WATER MAIN

Local Unit ID : 13113
Local Appropriation : 373

VILLAGE OF CROSS PLAINS: \$2,424,719.47

PREVIOUS PAYMENTS AND WORK CREDITS: \$2,243,750.37

Balance Due: \$180,969.10

***** BALANCE DUE - PAYMENT DUE WITHIN 30 DAYS OF RECEIPT *****

DEPT: _____
 LINE ITEM: _____
 APPROVE: _____
 DATE: _____

(Please refer to the above state project number and invoice number for all inquiries)
 (Please detach the part below & return with your payment - Retain the rest for your records)

=====Detach Here=====Detach Here=====Detach Here=====

Invoice Number: L42488
 Date: 2016-03-04

Balance Due: \$180,969.10

Amount Paid: _____

Make Checks Payable To:
 WISCONSIN DEPT. OF TRANSPORTATION

Mail To:
 WISCONSIN DEPT. OF TRANSPORTATION
 Bureau of Business Services
 P.O. Box 7366
 Madison, WI 53707-7366

***** BALANCE DUE - PAYMENT DUE WITHIN 30 DAYS OF RECEIPT *****
 **** FOR PROPER CREDIT, RETURN THIS PART WITH YOUR REMITTANCE ****

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Category # 0010 SANITARY SEWER & WATER MAIN

Including Engineering	Category To Date	Funding	Limit	Pty	%W/In Pty	Fed Appr
\$555,803.00	\$551,991.40	STATE OF WISCONSIN	\$555,803.00	1	100.000%	
\$2,424,719.47	\$2,408,091.19	VILLAGE OF CROSS PLAINS	UNLIMITED	2	100.000%	
<u>\$2,980,522.47</u>	<u>\$2,960,082.59</u>					

DISTRIBUTION OF COSTS TO DATE

Including Engineering	Category Costs To Date	Funding	Federal Appr
\$2,424,719.47	\$2,408,091.19	VILLAGE OF CROSS PLAINS	
\$555,803.00	\$551,991.40	STATE OF WISCONSIN	
<u>\$2,980,522.47</u>	<u>\$2,960,082.59</u>		

Application for Temporary Class "B" / "Class B" Retailer's License

See Additional Information on reverse side. Contact the municipal clerk if you have questions.

FEE \$ 80.00

Application Date: 3-8-16

Town Village City of CROSS PLAINS

County of DANE

The named organization applies for: (check appropriate box(es).)

A Temporary Class "B" license to sell fermented malt beverages at picnics or similar gatherings under s. 125.26(6), Wis. Stats.

A Temporary "Class B" license to sell wine at picnics or similar gatherings under s. 125.51(10), Wis. Stats.

at the premises described below during a special event beginning MAY 8 and ending AUG 15, 2016 and agrees to comply with all laws, resolutions, ordinances and regulations (state, federal or local) affecting the sale of fermented malt beverages and/or wine if the license is granted.

1. Organization (check appropriate box) →
- Bona fide Club
 - Church
 - Lodge/Society
 - Chamber of Commerce or similar Civic or Trade Organization
 - Veteran's Organization
 - Fair Association

(a) Name CROSS PLAINS HOME TALENT

(b) Address 2410 MARTIN ST
(Street) Town Village City

(c) Date organized 1970

(d) If corporation, give date of incorporation _____

(e) If the named organization is not required to hold a Wisconsin seller's permit pursuant to s. 77.54 (7m), Wis. Stats., check this box:

(f) Names and addresses of all officers:
 President _____
 Vice President _____
 Secretary _____
 Treasurer _____

(g) Name and address of manager or person in charge of affair:
STAN DOWD 2410 MARTIN ST CROSS PLAINS WI 53528

2. Location of Premises Where Beer and/or Wine Will Be Sold, Served, Consumed, or Stored, and Areas Where Alcohol Beverage Records Will be Stored:

(a) Street number MILITARY RD BAER PARK LARGE PAULION

(b) Lot _____ Block _____

(c) Do premises occupy all or part of building? _____

(d) If part of building, describe fully all premises covered under this application, which floor or floors, or room or rooms, license is to cover: _____

3. Name of Event
(a) List name of the event BASEBALL GAMES
(b) Dates of event _____

DECLARATION

The Officer(s) of the organization, individually and together, declare under penalties of law that the information provided in this application is true and correct to the best of their knowledge and belief.

Officer Stanley D Dowd
(Signature/date) 798.2020

Cross Plains Home Talent
(Name of Organization)

Officer _____
(Signature/date)

Officer _____
(Signature/date)

Officer _____
(Signature/date)

Date Filed with Clerk 3-8-2016

Date Reported to Council or Board _____

Date Granted by Council _____

License No. _____

2016 NORTHERN SECTION SUNDAY SCHEDULE

MAY '1

CROSS PLAINS @ CAZANOVIA
LODI @ REEDSBURG
SAUK @ MIDDLETON
MAZOMANIE @ ASHTON
BLACK EARTH @ WIS.DELLS
WAUNAKEE @ RICH. CENTER

MAY'8

MIDDLETON @ MAZOMANIE
SAUK @ LODI
RICH. CENTER @ CR. PLAINS
CAZANOVIA @ BLACK EARTH
ASHTON @ REEDSBURG
WAUNAKEE @ WIS. DELLS

MAY'15

CAZANOVIA @ WAUNAKEE
REEDSBURG @ MIDDLETON
CROSS PLAINS @ MAZOMANIE
WIS. DELLS @ LODI
ASHTON @ SAUK
BLACK EARTH @ RICH. CENTER

MAY'22

MAZOMANIE @ BLACK EARTH
CROSS PLAINS @ SAUK
ASHTON @ WIS.DELLS
RICH.CENTER @ LODI
MIDDLETON @ CAZANOVIA
REEDSBURG @ WAUNAKEE

MAY '29

WIS DELLS @ SAUK
MAZOMANIE @ RICH. CENTER
REEDSBURG @ CAZANOVIA
LODI @ BLACK EARTH
WAUNAKEE @ ASHTON
MIDDLETON @ CR PLAINS

MAY'30

CROSS PLAINS @ WAUNAKEE
BLACK EARTH @ MIDDLETON
ASHTON @ LODI
SAUK @ MAZOMANIE
WIS. DELLS @ REEDSBURG
RICH. CENTER @ CAZANOVIA

JUNE' 5

WAUNAKEE @ SAUK
CAZANOVIA @ ASHTON
WIS. DELLS @ CROSS PLAINS
LODI @ MAZOMANIE
BLACK EARTH @ REEDSBURG
MIDDLETON @ RICH.CENTER

JUNE' 12

WAUNAKEE @ MIDDLETON
CROSS PLAINS @ LODI
BLACK EARTH @ ASHTON
SAUK @ RICH. CENTER
REEDSBURG @ MAZOMANIE
CAZANOVIA @ WIS. DELLS
2.10.16

JUNE'19

CROSS PLAINS @ ASHTON
MIDDLETON @ LODI
WAUNAKEE @ BLACK EARTH
WIS. DELLS @ RICH. CENTER
MAZOMANIE @ CAZANOVIA
REEDSBURG @ SAUK

JUNE'26

ASHTON @ MIDDLETON
BLACK EARTH @ CROSS PLAINS
LODI @ WAUNAKEE
MAZOMANIE @ WIS.DELLS
CAZANOVIA @ SAUK
RICH.CENTER @ REEDSBURG

WORLD FAIR

JULY'3

RICH.CENTER @ ASHTON
REEDSBURG @ CROSS PAINS
LODI @ CAZANOVIA
WIS. DELLS @ MIDDLETON
MAZOMANIE @ WAUNAKEE
SAUK @ BLACK EARTH

JULY'4

CAZANOVIA @ RICH. CENTER
MAZOMANIE @ SAUK
REEDSBURG @ WIS.DELLS
MIDDLETON @ BLACK EARTH
WAUNAKEE @ CROSS PLAINS
LODI @ ASHTON

JULY'10

SAUK @ WIS. DELLS
RICH. CENTER @ MAZOMANIE
CAZANOVIA @ REEDSBURG
BLACK EARTH @ LODI
ASHTON @ WAUNAKEE
CROSS PLAINS @ MIDDLETON

JULY' 17

LODI @ CROSS PLAINS
MIDDLETON @ WAUNAKEE
ASHTON @ BLACK EARTH
RICH. CENTER @ SAUK
MAZOMANIE @ REEDSBURG
WIS. DELLS @ CAZANOVIA

JULY' 24

ASHTON @ CROSS PLAINS
LODI @ MIDDLETON
BLACK EARTH @ WAUNAKEE
RICH. CENTER @ WIS. DELLS
CAZANOVIA @ MAZOMANIE
SAUK @ REEDSBURG

JULY' 31

WAUNAKEE @ LODI
CROSS PLAINS @ BLACK EARTH
MIDDLETON @ ASHTON
REEDSBURG @ RICH.CENTER
WIS.DELLS @ MAZOMANIE
SAUK @ CAZANOVIA

Village of Cross Plains

Permit #: _____

SPECIAL EVENT PERMIT

Event Title:	Hill & Valley Auto & Americana Show		
Event Organizer:	Don Chandler / John Riley	Primary Contact:	John Riley
Applicant Address:	John Riley 8271 W. Birch Cir Cross Plains WI 53528		
Primary Phone #:	798-0045	Mobile Phone #:	770-5046
		Secondary Phone #:	513-8254
Email:	JOHN@SULLIVANDESIGNBUILD.COM	Fax:	257-2906
			L DON

Event Location (Please provide general description or address as well as depict on the attached Village map):

BAER PARK & OLD PARK SHELTER

Please provide a summary of the event including but not limited to a description of planned activities and/or amenities:

- OLD CAR DISPLAY, TOUR, DISPLAYS, CRAFTERS, FOOD, CAR GAMES.

Event Setup Start:	FRI SEPT. 16	Event Start:	SAT SEPT. 17	Hours of Operation:	
Event Takedown End:	SAT PM / SUN AM	Event End:	SAT SEPT. 17		SAT SEPT 17
Participants #:	300-500 PEOPLE - WEATHER PENDING				6:30-3:00
Street Closure:	YES	Barricades:	YES	Barricade Location(s):	EACH END OF MILITARY RD.
Alcohol Sold or Serve:	NONE	Fireworks:	NONE		
Food Sold or Served:	BREAKFAST / LUNCH	Rain Date:	NONE		

Public Safety - Please describe any plans regarding security, traffic/crowd control, or other emergency services:

SHOW TO BE SAME AS USUAL, TRAFFIC CONTROL / BARRICADES @ EACH END OF PARK TO CONTROL ACCESS. REQUEST VILLAGE ASSISTANCE FOR SECURITY PATROL & EMERGENCY SERVICES. MILITARY ROAD BEHIND PARK TO BE FOR SHOW ACCESS.

Village Services - Please describe all other services required from the Village (i.e. - Public Facilities, Parks/Rec, etc.):

SOUTH PARK SHELTER & RESTROOM NEEDED. PORTABLE TOILETS LOCATED IN PARK. ACCESS TO HOSE & WATER FOR STEAM TRACTOR.

The applicant shall, no later than seven (7) days prior to the start of the event, provide proof of bodily injury and property damage liability insurance naming the Village as an insured and covering the entire public area of the event for the duration of the event in a minimum amount of \$2,000,000 for the injury to or death of any one individual and \$2,000,000 for the injury to or death of any number of individuals in once occurrence, and property damage liability insurance in the amount of \$2,000,000 (Village Ordinance 22.22(f)). Please attach the Certificate of Insurance to this application.

Has a certificate of insurance been provided: **YES**

Village of Cross Plains

SPECIAL EVENT PERMIT

DUTIES OF PARTICIPANTS

Participants means only those persons actually taking part in the event, including, but not limited to, those sponsoring, organizing, promoting, or initiating the event; those invited to attend; those paying to attend; or those for whom the event is sponsored, organized, or initiated, including the general public (Village Ordinance 22.22(a)(1)). The Duties of Participants will be as follows (Village Ordinance 22.22(j)). Please initial next to each duty to signify agreement.

1. All persons involved with an event regulated by this section shall comply with all permit directions and conditions imposed under the terms of this section for the use of public property and with all applicable ordinances, statutes and laws.	
2. All persons involved with an event regulated by this section shall stay within the area or route designated for the event during the conduct of this event.	
3. The event chairman or other person leading such activity shall carry the special event permit upon his or her person during the conduct of the event.	
4. The applicant shall be responsible for returning all premises used for the event or impacted by the event to the condition such premises were in prior to the event within twelve (12) hours after the permit expires.	

Please note that the applicant and/or event organizer will be responsible for the conduct of the group and for the condition of the public area. The permit is subject to all municipal codes in addition to all rules governing street right-of-ways. The applicant agrees that during use of the public area, the sponsoring organization will not exclude any person from participation in, deny anyone the benefits of, or otherwise subject anyone to discrimination because of race, color, national origin, or handicap. The applicant and/or the event organizer further agrees to indemnify, defend and hold harmless the Village of Cross Plains and its officers, officials, employees and agents from and against any and all liability, loss, damage, expenses, costs, including attorney fees arising out of the activities performed as described herein, caused in whole or in part by any acts, negligent or otherwise, or any omission of the applicant/organization, anyone directly or indirectly employed by any of them or anyone whose acts on behalf of them may be liable, except where caused by the sole negligence or willful misconduct of the Village.



 Applicant Signature

3/2/14

 Date

JOHN RILEY

 Applicant Print Name

For Office Use Only:

Date Received: _____ Received By: _____ Date Reported to Board: _____

Village of Cross Plains

Parks and Recreation

Comments/Conditions: I WILL MEET JOHN PRIOR TO THE EVENT TO
GO OVER ANY/ALL DEPARTMENT NEEDS.

Total Actual Cost: \$375.00 (PORTA POTIES) Approved: Yes No

Mike [Signature]
Signature

3.3.16
Date

Police Department

Comments/Conditions: Traffic control only needed to get cars
out of park area for tour of area

Total Actual Cost: - Approved: Yes No

Chief Thomas [Signature]
Signature

3.3.16
Date

Public Facilities

Comments/Conditions: _____

SEE ABOVE

Total Actual Cost: _____ Approved: Yes No

[Signature]
Signature

3/3/16
Date

Village Administrator/Clerk-Treasurer

Review Fee: _____ Approved: Yes No

Signature

Date

Village Board

Review Fee: _____ Approved: Yes No Date: _____

Comments: _____



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

03/01/2016

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER HARRINGTON-HOCH, INC 1126 EAST MAIN STREET RICHMOND, IN 47374 Ann L Brooks	CONTACT NAME: Ann L Brooks	PHONE (A/C, No, Ext): 765-962-9502	FAX (A/C, No): 765-962-9506
	E-MAIL ADDRESS: abrooks@harringtonhoch.com		
INSURER(S) AFFORDING COVERAGE INSURER A: Philadelphia Insurance Company		NAIC #	
INSURER B:			
INSURER C:			
INSURER D:			
INSURER E:			
INSURER F:			

INSURED **Model T Ford Club of America**
Susan Yaeger
PO Box 996
Richmond, IN 47375

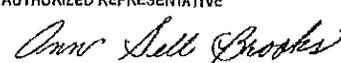
COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDC SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Business Owners GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:		PHSD930913	03/06/2016	03/06/2017	EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COM/OP AGG \$ CSL \$ 1,000,000
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS		PHSD930913	03/06/2016	03/06/2017	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 10000		PHUB454545	03/06/2016	03/06/2017	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N/A				PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
						PROPERTY \$ 5,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Village of Cross Plains is an additional insured for car show held by Model T Ford Club of America

CERTIFICATE HOLDER CROSS-2 Village of Cross Plains 2417 Brewery Road, PO Box 97 Cross Plains, WI 53528	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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Regular Plan Commission Meeting

Regular Meeting Minutes

Village of Cross Plains
2417 Brewery Road, PO Box 97
Cross Plains, WI 53528
(608) 798-3241

Monday, March 7, 2016
7:00 pm

I. **Call to Order, Pledge of Allegiance, and Roll Call**

President Andreoni called the meeting was called to order at 7:00 pm.

Present: Commissioners Randy Case, Todd Duquette, Ron Hilmanowski, Mitch Hogan, Judy Ketelboeter, Cliff Zander, and President Pat Andreoni.

Also Present: Janet Kernen, Gary Bewick, Lori Ames, and Tim Henneman.

II. **Public Comment** – None.

III. **General Business**

1. Discussion and action regarding minutes of regular meeting held February 1, 2016 –

A motion was made by Commissioner Ketelboeter, seconded by Commissioner Duquette, and unanimously carried by the Plan Commission to approve the regular meeting minutes held February 1, 2016.

2. Discussion and action to make a recommendation to the Village Board regarding the Preliminary Plat for Glacier Ridge Subdivision – Following discussion, a motion was made by Commissioner Case, seconded by Commissioner Duquette, and unanimously carried by the Plan Commission to recommend conditional approval of the Preliminary Plat for Glacier Ridge Subdivision conditioned upon the following variances and waivers:

- Variance from the display of the required parkland dedication on the Preliminary Plat as stipulated in Section 83.34(k).
- Variance from the requirement in Section 83.38 to submit an Erosion and Stormwater Drainage Control Plan noting that 1) the civil engineering plans/specifications submitted as of February 15, 2016 (Exhibit D) are sufficient as part of the review of the Preliminary Plat; and 2) the review of the Erosion and Stormwater Drainage Control Plan will take place as part of the process for the Final Plat.

- Waiver of the Environmental Assessment Checklist listed in Section 83.39 stating that the requirements of this section were provided for in the Development Proposal approved by the Village Board on January 25, 2016.
- Waiver of the Impact Study listed in Sub-Section 83.41(b) stating that the requirements of this section were provided for in the Development Proposal approved by the Village Board on January 25, 2016.
- Variance from the minimum lot area size and building line width as listed in Sub-Section 83.83(c) stating that land use regulations will be controlled by Chapter 84 (Zoning Code) of the Village Code of Ordinances.

3. Consideration of Ord. #03-2016 setting the zoning for Glacier Ridge Subdivision located at 2504 Military Road (Buechner Farm) as part of its development as a residential subdivision.

a. Public Hearing – A motion was made by Commissioner Ketelboeter, seconded by Commissioner Hogan, and unanimously carried by the Plan Commission to open the Public Hearing at 7:11 pm.

1. James Garfoot of 9234 Garfoot Circle in the Town of Cross Plains commented asked if the Village had received a letter from the Township on this annexation.

2. Kevin Coughlin of 2404 Apple Wood Drive asked questions regarding the proposed future uses on Lot #1 of the Preliminary Plat to be acquired by the Village.

Following discussion, a motion was made by Commissioner Duquette, seconded by Commissioner Hilmanowski, and unanimously carried by the Plan Commission to close the public hearing at 7:14 pm.

b. Discussion and action to make a recommendation to the Village Board – Following discussion, a motion was made by Commissioner Zander, seconded by Commissioner Case, and unanimously carried by the Plan Commission to recommend approval of Ordinance #03-2016 setting the zoning for Glacier Ridge Subdivision located at 2504 Military Road (Buechner Farm) as part of its development as a residential subdivision contingent upon adoption of the Final Plat for Glacier Ridge Subdivision.

4. Discussion and action to make a recommendation to the Village Board regarding a Temporary Limited Easement (TLE) between the Village and Middleton-Cross Plains School District to be used for grading the storm water basin – Following discussion, a motion was made by Commissioner Duquette, seconded by Commissioner Zander, and unanimously carried by the Plan Commission to recommend approval to the Village Board regarding a Temporary Limited Easement (TLE) between the Village and Middleton-Cross Plains School District to be used for grading the storm water basin.

5. Discussion and action to make a recommendation to the Village Board regarding a quit claim deed from the Middleton-Cross Plains School District to the Village for street right-of-way purposes and Ordinance #04-2016 dedicating the acquired right-of-way to the public – Following discussion, a motion was made by Commissioner Case, seconded by Commissioner Hilmanowski, and unanimously carried by the Plan Commission to recommend approval to the Village Board regarding a quit claim deed from the Middleton-Cross Plains School District to the Village for street right-of-way purposes and Ordinance #04-2016 dedicating the right-of-way to the public.

6. Discussion and action to make a recommendation to the Village Board regarding a Development Proposal from Sundance Development, LLC in order to annex and develop the property of and adjoining to 4923 Brewery Road (Weber Farm) as a residential subdivision – Following discussion, a motion was made by Commissioner Duquette, seconded by Commissioner Zander, for the Plan Commission to recommend approval to the Village Board regarding a Development Proposal from Sundance Development, LLC in order to annex and develop the property of and adjoining to 4923 Brewery Road (Weber Farm) as a residential subdivision. A roll call vote was requested. Yes – Andreoni and Duquette. No – Case, Hilmanowski, Hogan, Ketelboeter, and Zander. Motion failed 2 – 5. Further action on this item will be considered by the Plan Commission at its meeting on April 4, 2016.

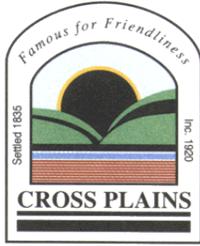
IV. Adjournment

A motion was made by Commissioner Zander, seconded by Commissioner Hogan, and unanimously carried by the Plan Commission to adjourn the meeting at 8:15 pm.

Pursuant to law, written notice of this meeting was given to the public and posted on the public bulletin boards in accordance with Open Meetings Law.

Respectfully submitted,

Matthew G. Schuenke
Village Administrator/Clerk-Treasurer



Village of Cross Plains
PO Box 97, 2417 Brewery Road
Cross Plains, WI 53528
Phone: (608) 798-3241
Fax: (608) 798-3817

Memorandum

To: Village Board
From: Matthew G. Schuenke, Village Administrator/Clerk-Treasurer
Date: March 11, 2016
Re: Review of Preliminary Plat for the proposed Glacier Ridge Subdivision (Veridian Homes)

Executive Summary

The Village adopted an ordinance at its February 22, 2016 meeting annexing approximately 40 acres into the Village located at 2504 Military Road including Parcel #0707-022-9500-3 and #0707-022-9650-2. The Development Proposal for the site was adopted by the Village in January with a portion of the property to be used for new single family homes and another portion of the property will be used to site future public facility improvements. The Preliminary Plat and Zoning Ordinance were considered by the Plan Commission at their March 7, 2016 meeting. Following their review and the Public Hearing for the Zoning Ordinance, the Plan Commission unanimously recommended conditional approval of both items to the Village Board. This memorandum will provide a review of the Preliminary Plat, review the requested zoning for the property, and summarize the next steps.

Preliminary Plat (Exhibit A)

Review Process – Section 83.25

The review process for a Preliminary Plat is contained within Section 83.25 (Exhibit B) of the Village Code. The Developer is responsible for submitting a Preliminary Plat that encompasses all lands within the property to be subdivided at least 30 days in advance of the Plan Commission review. This document was first submitted by the Developer for review on January 13th and has seen several iterations following Staff Review with the Public Facilities Director, Village Engineer, Parks/Recreation Director, Village Attorney, Village Planner, and Village President. A copy will also be forwarded to communication providers and other utilities. The Village Administrator/Clerk-Treasurer is responsible for making a determination that the document is complete and conforms to the requirements of the Land Division chapter. The Plan Commission is recommending conditional approval of the Preliminary Plat with the conditions noted at the end of this memorandum. Plats recommended for conditional approval are referred to the Village Board for their consideration.

Platting Requirements – Section 83.33-83.41

In order to subdivide the recently annexed land, a Preliminary Plat needs to be adopted according to the requirements listed in Section 83.33 through 83.41 of the Village Code (Exhibit C). The proposed Preliminary Plat for the Glacier Ridge Subdivision is listed in Exhibit A and was prepared based on a land survey as is required. Please note the following sections of the platting requirements:

- Section 83.33 – General Requirements: This section requires several formatting aspects of the document to include basic parameters such as the title, date, legal description, property owner name, developer, consultants, and adjoining conditions. The plat as proposed meets the general requirements of this section.
- Section 83.34 – Plat Data: Subsections (a)-(q) list all of the required data to be drawn within the proposed plat. This includes dedication requirements, lot numbering, easements, existing utility/infrastructure, adjacent conditions, and many other items contained within the detail. The only item missing is the parkland dedication. This is provided for as 1,455 square feet per dwelling unit or in the case of this development it would equal 1.436 acres. It is not shown on the plat because it is included within Lot #1 that has a total size of 13.635 acres to be acquired by the Village for future public improvements. There is no need to create a separate parcel within Lot #1 just for this dedication which eliminates the need to show it on the plat. The required dedication of parkland is being made, a variance is needed from the requirement that this dedication be shown on the Preliminary Plat.
- Section 83.35 – Street and Utility Plans and Profiles: Contained within Exhibit D are the civil engineering plans for the subdivision at 80% completion. This shows the engineering behind the construction of the subdivision from erosion control through final paving with utilities in between. The plans as submitted meet the requirements of this section.
- Section 83.36 – Testing: Soil boring logs have been submitted to the Village Engineer for review. This is done to review the subsurface soil, rock/water conditions, depth of bedrock, depth to ground water table, and other measurables within the ground. The results have been found to be acceptable to meet the requirements of this section.
- Section 83.37 – Covenants: The Plan Commission *may* require these documents at this time. The Developer does plan to institute these requirements but is not prepared to do so at this time. This document will be provided for review at the time of Final Plat consideration. The Plan Commission did not require these documents and will conduct its review as part of consideration for the Final Plat.
- Section 83.38 – Erosion and Stormwater Drainage Control Plan: Exhibit D contains the civil engineering plans that detail the grading and erosion control plan plus specifications for stormwater installation. A Stormwater Management Plan (SMP) is still needed to conform to the requirements of Chapter 65, and will be considered as part of the review process for the Final Plat. A variance is needed from this requirement for the Preliminary Plat noting that the plans provided thus far are acceptable as part of the approval for the Preliminary Plat and the full SMP will be considered as part of the review of the Final Plat.

- Section 83.39 – Environmental Assessment (EA): A typical EA Checklist will review different elements of Land Development, Socioeconomic Conditions, Community Facilities/Services, Natural Features, and Other Factors all of which have been addressed by the Development Proposal already approved by the Village. Further, the Village had to apply for a boundary adjustment to the Urban Service Area (USA) from the Capital Area Regional Planning Commission (CARPC). The requested boundary adjustment to the USA was reviewed and approved by CARPC at their March 10th meeting following public hearing and their review. The CARPC application and review process also considered the same factors as the EA with a special emphasis on water quality. The Village Administrator/Clerk-Treasurer is required to make a determination regarding the format of the checklist and its completeness in order for the Preliminary Plat to be considered. The Development Proposal was reviewed and approved by the Village Board at its January 25th meeting. Due to its size, the document is not being provided as an exhibit in this review but is on file with the Village Clerk available upon request. A waiver is needed from this requirement for the Preliminary Plat noting that the prior approval of the Development Proposal meets the requirements of this section.
- Section 83.40 – Affidavit: The Surveyor’s Certificate is provided for on the first page and is sufficient to meet the requirements of this section.
- Section 83.41 – Public Facilities and Services: The Village Board approved the Development Proposal on January 25th making the determination that there were adequate public facilities and services to support this subdivision if it were to be annexed. It is further determined that the Development Proposal is suitable to serve as the Impact Study in order to satisfy this requirement. The Development Proposal reviewed several Annexation Factors designed to pre-determine the impacts of the development at the time of annexation prior to the Preliminary Plat’s consideration. This looked at utility capacity, financial impact, effect on public safety, park needs, transportation network, and many other factors to determine the impact of the proposed annexation should it be brought forward later for platting. Due to its size, the document is not being provided as an exhibit in this review but is on file with the Village Clerk available upon request. A waiver is needed from this requirement for the Preliminary Plat noting that the prior approval of the Development Proposal meets the requirements of this section.

Land Division Design Standards (Appendix E)

Section 83.76 through 83.85 contain the design standards for the preparation of the Preliminary Plat. The project as presented thus far complies with these requirements but for the need for one variance as follows:

- Section 83.83 – Lots: Subsection (c) requires that residential lots maintain a minimum area of 9,600 square feet and a minimum width of 80 feet at the building line. Several of the proposed lots are of the SR-5 variety (Exhibit G) variety that allow for lower minimum standards. The Land Division code was adopted in 2013 as part of a recodification followed by the Zoning Code in 2014 where they have been found to be inconsistent with these requirements. A variance is needed from this requirement for the Preliminary Plat noting that the minimum lot requirements will defer to the zoning code, which are in compliance as presented.

Zoning

Village Ordinance #03-2016 will set the zoning for the property as listed in the notes of the Preliminary Plat and within the associated mapping for the Ordinance. A combination of two different residential zoning districts is being proposed plus some conservancy for areas designated for that purpose. Please note the following:

- (SR-4) Single Family Residential – 4 (Exhibit F): This is our most predominant residential district throughout the Village. It will allow for slightly larger lots that will generate bigger homes. Lots 7-27 will utilize this for homes while Lot 1 will be acquired by the Village for future public development, Outlot 1 dedicated to the Village for the management of stormwater for the development, and Outlot 4 dedicated to the Village for the management of stormwater from the environmental corridor.
- (SR-5) Single Family Residential – 5 (Exhibit G): Lots 2-6 and 28-44 will be zoned SR-5. This is our most dense option for residential housing within the zoning code. It currently exists in various pockets throughout the Village but mainly along Main Street. The lots will be a little smaller but still compatible with neighboring uses.
- (C) Conservancy (Exhibit H): Outlot 2 and 3 will be zoned conservancy and dedicated to the public for conservation and trail development. These areas allow for future connections to neighboring properties for trail connections and conservancy growth as well as protect areas that are incompatible for construction.

A second map is also provided with the Ordinance as several overlay districts (Exhibit I) also apply to these properties as noted. Overlay districts provide an additional layer of protection for specifically sensitive areas as defined within the code. They are marked on the map and compatible with the uses planned forth with this development. A Public Hearing with a Class II Notice is required to be held by the Plan Commission prior to consideration of the ordinance. The Plan Commission held the Public Hearing, conducted its review, and recommended approval of Ordinance #03-2016 with the condition noted below at their March 7th meeting.

Next Steps

The Plan Commission considered the Preliminary Plat and Zoning Ordinance at its March 7th meeting and is recommending conditional approval of both items. Several variances, waivers, and conditions are necessary as part of their decision outlined below in the recommendation. The procedure for granting Variances and Waivers within the Land Division Chapter is outlined in Section 83.120 (Exhibit J). The Village Board will consider the recommendation(s) of the Plan Commission and take action on these items following its review. Assuming the Preliminary Plat and Zoning Ordinance are ultimately adopted by both groups, the next item will be consideration for the Final Plat and Development Agreement beginning in April. All remaining steps including the proposed timeline area included as Exhibit K.

Recommendation

The Plan Commission and Village Staff recommend the Village Board consider the following two actions following their review:

1. Approval of the Preliminary Plat as presented with the following variances and waivers:
 - a. Variance from the display of the required parkland dedication on the plat as stipulated in Section 83.34(k).
 - b. Variance from the requirement in Section 83.38 to submit an Erosion and Stormwater Drainage Control Plan noting that the civil engineering plans and specifications submitted as of February 15, 2016 (Exhibit D) are sufficient as part of the review of the Preliminary Plat and the review of the Erosion and Stormwater Drainage Control Plan will take place as part of the process for the Final Plat.
 - c. Waiver of the Environmental Assessment Checklist listed in Section 83.39 stating that the requirements of this section were provided for in the Development Proposal approved by the Village Board on January 25, 2016.
 - d. Waiver of the Impact Study listed in Sub-Section 83.41(b) stating that the requirements of this section were provided for in the Development Proposal approved by the Village Board on January 25, 2016.
 - e. Variance from the minimum lot area size and building line width as listed in Sub-Section 83.83(c) stating that land use regulations will be controlled by Chapter 84 (Zoning Code) of the Village Code of Ordinances.
2. Approval of Ordinance #03-2016 setting the zoning for Glacier Ridge Subdivision.
 - a. Contingent upon approval of the Final Plat for Glacier Ridge Subdivision.

Exhibits

Exhibit A – Glacier Ridge Preliminary Plat (March 1, 2016)

Exhibit B – Section 83.25 (Preliminary Plat Review)

Exhibit C – Section 83.33-83.41 (Preliminary Plat Requirements)

Exhibit D – Glacial Ridge Civil Engineering Plan Set (February 15, 2016)

Exhibit E – Section 83.76-83.85 (Design Standards)

Exhibit F – Section 84.29 (SR-4) Single Family Residential

Exhibit G – Section 84.30 (SR-5) Single Family Residential

Exhibit H – Section 84.25 (C) Conservancy

Exhibit I – Article VI of the Zoning Code (Overlay Zoning Districts)

Exhibit J – Section 83.120 (Variances and Waivers)

Exhibit K – Proposed Timeline for Development Project Review

PRELIMINARY PLAT

GLACIER RIDGE

LOCATED IN THE NE1/4 AND THE SE1/4 OF THE NW1/4 OF SECTION 2, T7N, R7E,
TOWN OF CROSS PLAINS, DANE COUNTY, WISCONSIN



THE NORTH/SOUTH LINE OF SECTION 2, T7N, R7E IS ASSUMED TO BEAR S00°47'23"W

SCALE: 1" = 100'



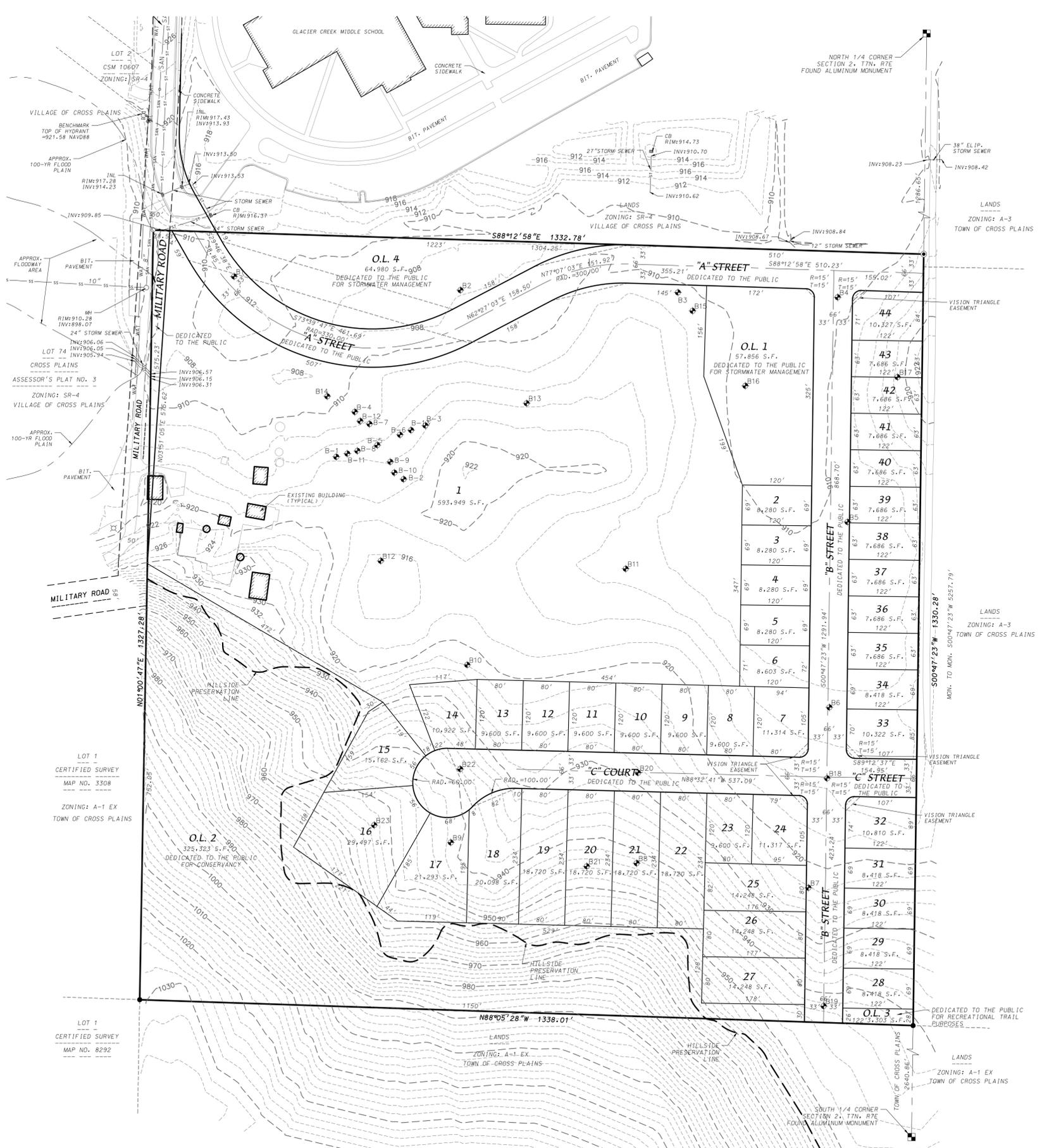
DATE: 01-04-16
REVISED:
01-27-16
02-05-16
02-17-16
03-01-16

DRAWN BY: BTS

FN: 15-07-123

Sheet Number:

1 of 1



- LEGEND
- PLACED 3/4"x18" IRON REBAR (WT. = 1.5 LBS/FT)
 - FOUND 3/4" IRON REBAR
 - FOUND 1" IRON PIPE
 - B13 SOIL BORING
 - SS — SANITARY SEWER
 - WM — WATER MAIN
 - ST — STORM SEWER
 - CATCH BASIN/INLET
 - MANHOLE
 - HYDRANT
 - ⊕ LIGHT POLE

SURVEYOR'S CERTIFICATE

I, Brett T. Stoffregan, Registered Land Surveyor, S-2742, hereby certify that this preliminary plat is a true and correct representation of all the adjacent existing land divisions and of the boundary of the preliminary plat and features and that I have fully complied with the Village of Cross Plains Subdivision Ordinance and Chapter 236 of the Wisconsin Statutes.

Dated this 4th day of January, 2016

Brett T. Stoffregan
Brett T. Stoffregan, Registered Land Surveyor, S-2742



LEGAL DESCRIPTION

A parcel of land located in the NE1/4 and the SE1/4 of the NW1/4 of Section 2, T7N, R7E, Town of Cross Plains, Dane County, Wisconsin to-wit: Commencing at the North 1/4 corner of said Section 2; thence S00°47'23"W, 1296.65 feet along the North/South line of said Section 2 to the point of beginning; thence continuing S00°47'23"W, 1330.28 feet along said North/South line; thence N88°05'28"W, 1338.01 feet to the Southeast corner of Lot 1, Certified Survey Map No. 3308; thence N01°00'47"E, 1327.28 feet along the East line of said Lot 1 and the Northerly extension thereof; thence S88°12'58"E, 1332.78 feet to the point of beginning. Subject to Military Road right-of-way, containing 40.730 acres including Military Road right-of-way and 40.542 acres excluding Military Road right-of-way.

OWNER	LAND PLANNER	SUBDIVIDER
Edith Buechner c/o Janet Karmen 6590 Mill Race Trail DeForest, WI 53532	Vandewalle Associates, Inc. 120 East Lakeside Madison, WI 53715	VH Cross Plains, LLC 6801 South Towne Drive Madison, WI 53713

- NOTES**
- Outlots 1 and 4 are dedicated to the public for stormwater management purposes.
 - Outlot 2 is dedicated to the public for conservancy purposes.
 - Outlots 3 is dedicated to the public for recreational trail purposes.
 - Existing zoning: A-2
Proposed Zoning: Lots 1, 7-27, Outlots 1 and 4: SR-4
Lots 2-6, 28-44: SR-5
Outlots 2 and 3: C
 - Entire parcel is currently in the Town of Cross Plains. Annexation into the Village of Cross Plains is being proposed.
 - Distances shown along curves are chord lengths.

separate, nonlapsing trust fund to be used for acquisition of land or initial improvements such as grading, landscaping, installation of utilities and playground equipment, construction of sidewalks, and installation and construction of restroom facilities to meet the needs created by the land division or subdivision.

SECTIONS 83.21 – 83.23 Reserved

PROCEDURE

SECTION 83.24 Preliminary Consultation.

Prior to the filing of an application for the approval of a preliminary plat, the subdivider shall consult with Village Staff. This consultation is intended to inform the subdivider of the purpose and objectives of these regulations, the Comprehensive Plan, and duly adopted plan implementation devices of the Village and to otherwise assist the subdivider in planning its development.

SECTION 83.25 Preliminary Plat Review.



Before submitting a final plat for approval, the subdivider shall prepare a preliminary plat and a written application for approval and shall file 10 paper copies of the plat and the application with the Village Administrator/Clerk-Treasurer at least 30 days prior to the meeting of the Plan Commission at which action is desired. At the same time, the subdivider shall also file electronic copies of the documents with the Administrator/Clerk-Treasurer, Village Engineer and the Director of Public Facilities. The subdivider shall also forward a copy to the local electric and telephone utilities. When the subdivider expects the Village to act as the transmitting authority in accordance with Section 236.12, Wis. Stats., the application shall state that transmittal responsibility lies with the Village, shall contain a list of the other authorities to which the plat must be submitted, and shall be accompanied by such additional fees and copies of the plat as are necessary to be transmitted to such authorities.



The preliminary plat shall cover the entire area owned or controlled by the subdivider even though only a small portion thereof is proposed for development at the time and shall be prepared in accordance with this chapter. ~~The Plan Commission may waive the requirement that the preliminary plat cover the entire area where it is unnecessary to fulfill the purpose of this chapter and undue hardship would result from strict application thereof. Where a subdivider has control of lands equal to or in excess of 80 acres separated only by existing public~~

Draft
Submittal:
January 13th

Plat is all
inclusive of
property
controlled
by Developer.

~~roads or railroads, in lieu of a preliminary plat on the entire area, a comprehensive development plan may be submitted pursuant to this chapter.~~



Escrow balance is currently positive. All review services are paid in full. Platting fees will be deducted from escrow fund balance.

Before accepting any preliminary plat for filing and submittal to the Plan Commission, the Administrator/Clerk-Treasurer shall determine whether the preliminary plat and other filings required under this chapter are complete and comply with the requirements of this chapter as to form and whether all review fees and deposit moneys have been paid pursuant to this chapter. No preliminary plat shall be deemed to be filed until the Administrator/Clerk-Treasurer determines that the application is complete. After the Administrator/Clerk-Treasurer determines that the application has been properly filed, the Administrator/Clerk-Treasurer shall forward two copies of the preliminary plat to the Plan Commission which shall examine it for conformity with the requirements of this chapter and with the requirements of any other ordinance, statute or administrative rule and regulation and for compliance with the Comprehensive Plan and other applicable plans. Where appropriate, the Administrator/Clerk-Treasurer shall also forward a copy of the preliminary plat to the Village Engineer and/or Village Attorney for technical review. The Plan Commission, in its discretion, may, but is not required to, hold a public hearing on the preliminary plat.

- (d) The Plan Commission shall recommend approval or conditional approval of the plat to the Village Board or shall reject the plat. ~~Consideration of the environmental assessment checklist pursuant to Section 83.39 hereof shall be part of the Plan Commission's review.~~ If approval or conditional approval is recommended, the preliminary plat shall be referred to the Village Board for consideration. The Village Board shall then approve, conditionally approve, or reject the preliminary plat. One copy of the plat shall be returned to the subdivider, its surveyor, or engineer with the date and action endorsed thereon, and, if approved conditionally or rejected, the conditions of approval or reasons for rejection shall be endorsed thereon or attached thereto. Unless the time is extended by written agreement between the subdivider and the Village, failure to complete the action herein required within 90 days of a completed filing of the preliminary plat shall constitute an approval of the preliminary plat.

Recommended for waiver.

- (e) Approval or conditional approval of a preliminary plat entitles the final plat to approval provided that the final plat conforms substantially to the preliminary plat, including any conditions of that approval, and conforms to any applicable local plans and ordinances. If the final plat is not submitted within 36 months of the last required approval of the preliminary plat, any approving authority may refuse to approve the final plat regardless of prior action taken on the preliminary plat.
- (f) ~~Whenever a proposal to replat or resubdivide one or more recorded subdivisions, or any part of a recorded subdivision, is filed with the Plan Commission, it shall schedule and hold a public hearing on the proposed preliminary plat of the replat or resubdivision before taking action. The Commission shall mail notices of the proposed replat or resubdivision and of the scheduled hearing thereon at least 10~~

~~days prior to the time of such hearing to the owners of all properties adjacent to the proposed replat or resubdivision.~~

SECTION 83.26 Final Plat Review.

- (a) The subdivider shall prepare and file eight copies of the final plat together with a written application for approval with the Village Administrator/Clerk-Treasurer within 36 months of the approval of the last required preliminary plat and at least 30 days prior to the meeting of the Village Plan Commission at which action is desired. At the same time, the subdivider shall file electronic copies of the documents with the Administrator/Clerk-Treasurer, the Village Engineer, and the Director of Public Facilities. When the subdivider expects the Village to act as the transmitting authority in accordance with Section 236.12, Wis. Stats., the application shall state that transmittal responsibility lies with the Village, shall contain a list of the other authorities to which the plat must be submitted, and shall be accompanied by such additional fees and copies of the plat as are necessary to be transmitted to such authorities.
- (b) Before accepting any final plat for filing and submittal to the Plan Commission, the Administrator/Clerk-Treasurer shall determine whether the final plat and other filings required under this chapter are complete and comply with the requirements of this chapter as to form and whether all review fees and deposit moneys have been paid pursuant to this chapter. No final plat shall be deemed to be filed until the Administrator/Clerk-Treasurer determines that the application is complete. After the Administrator/Clerk-Treasurer determines that the application has been properly filed, the Village Administrator/Clerk-Treasurer shall forward two copies of the plat to the Plan Commission. The Plan Commission shall examine it for conformity with the preliminary plat and any conditions of approval, with the requirements of this chapter, and with the requirements of any other ordinances, statutes, administrative rules and regulations, or local plans which may be applicable to it. Where appropriate, the Administrator/Clerk-Treasurer shall also forward a copy of the plat and related documents to the Village Engineer and/or Village Attorney for technical review.
- (c) The Plan Commission shall recommend approval of the final plat to the Village Board or shall reject the plat. If approval is recommended, the final plat shall be referred to the Village Board for consideration. The Village Board shall then approve, conditionally approve, or reject the final plat. As part of the approval process, a professional engineer, a planner, or another person charged with the responsibility to review plats shall provide the Village Board with his or her conclusions as to whether the final plat conforms substantially to the preliminary plat and with his or her recommendation on approval of the final plat. The conclusions and recommendation shall be made a part of the record of the proceeding at which the final plat is being considered and are not required to be submitted in writing.

A zero lot line land division designed to put each dwelling unit of a side-by-side duplex, townhouse, or row house where the lot line will be placed along the common wall or walls may be approved by Village staff without Plan Commission or Village Board approval, provided that it is on a properly zoned lot. If approved by Village staff, the owner shall record a zero lot line agreement that is satisfactory to the Village.

SECTIONS 83.31 – 83.32 Reserved.

PRELIMINARY PLAT

SECTION 83.33 General Requirements.

A preliminary plat shall be required for all subdivisions and shall be based upon a survey by a land surveyor registered in this state. At the discretion of the Plan Commission, a preliminary plat may be required for a land division which presents special development issues. A preliminary plat shall be prepared on paper of good quality capable of clearly legible reproduction at a scale of not more than 100 feet to the inch and shall show correctly on its face the following information:

- (a) Title under which the proposed subdivision is to be recorded.
- (b) Location of proposed subdivision by government lot, quarter-quarter section, township, range, county, and state and a location map showing the relationship between the plat and its surrounding area and to existing streets.
- (c) Date, scale and North point.
- (d) A description of the material of which the corner marker is composed.
- (e) Names and addresses of the owner, the subdivider, the surveyor, the engineer, and the professional land planner involved in the plat preparation.
- (f) The entire area contiguous to the proposed plat owned or controlled by the subdivider shall be included on the preliminary plat even though only a portion of said area is proposed for immediate development. The Village Plan Commission may waive this requirement where a comprehensive development plan has been previously approved and recorded for the area and where it is otherwise unnecessary to fulfill the purposes and intent of this chapter and undue hardship would result from strict application thereof.
- (g) The present zoning and any proposed zoning change for the plat and all lands adjacent thereto.
- (h) Location and elevation of any land situated in a floodplain.

SECTION 83.34 Plat Data.

All preliminary plats shall show the following:

- (a) Exact length and bearing of the exterior boundaries of the proposed subdivision referenced to a corner established in U.S. Public Land Survey and the total acreage encompassed thereby.
- (b) Contours at vertical intervals of not more than two feet where the slope of the ground surface is less than 20% and of not more than five feet where the slope of the ground surface is 20% or more. Elevations shall be marked on such contours based on USGS data.
- (c) Water elevations of adjoining lakes and streams at the date of the survey and approximate high- and low-water elevations, based upon or established by the best available data.
- (d) Location, right-of-way width and names of all existing streets, alleys or other public ways, easements, railroad and utility rights-of-way and all section and quarter-section lines within the exterior boundaries of the plat or immediately adjacent thereto.
- (e) Location and names of any adjacent subdivisions, parks and cemeteries, and owners of record of abutting unplatted lands.
- (f) Type, width and elevation of any existing street pavements within the exterior boundaries of the plat or immediately adjacent thereto together with any legally established center-line elevations, based upon or established by the best available data.
- (g) Location, size and invert elevation of any existing sanitary or storm sewers, culverts and drainpipes; the location of manholes, catch basins, hydrants, and power and telephone poles; and the location and size of any existing water and gas mains within the exterior boundaries of the plat or immediately adjacent thereto. If no sewers or water mains are located on or immediately adjacent to the tract, the nearest such sewers or water mains which might be extended to serve the tract shall be indicated by their direction and distance from the tract, size, and invert elevations.
- (h) Locations of all existing property boundary lines, structures, drives, streams and watercourses, marshes, rock outcrops, wooded areas, railroad tracks and other similar significant features within the tract being subdivided or immediately adjacent thereto.
- (i) Location, width, length, bearing and names of all proposed streets and public rights-of-way, such as alleys and easements.
- (j) Any proposed lake and stream improvement or relocation.
- ~~(k)~~ Location and approximate dimensions of any sites to be reserved or dedicated for parks, playgrounds, drainageways, or other public use or which are to be used for group housing, shopping centers, church sites, or other nonpublic uses not requiring lotting.
- (l) When a street is on a circular curve, the main chords of the right-of-way lines shall be drawn as dotted or dashed lines in their proper places. All curved lines shall show, either on the lines or in an adjoining table, the radius of the circle, the central angle subtended, the chord bearing, the chord length and the arc length for

A variance from the display of the required Parkland Dedication on the plat is needed as part of the approval for the Preliminary Plat. Parkland is being dedicated and included within Lot #1 to be acquired by the Village.

each segment. The tangent bearing shall be shown for each end of the main chord for all circular lines. When a circular curve of thirty-foot radius or less is used to round off the intersection between two straight lines, it shall be tangent to both straight lines, and in such event, it is sufficient to show on the plat the radius of the curve and the tangent distances from the points of curvature to the point of intersection of the straight lines.

- (m) Existing zoning on and adjacent to the proposed subdivision when the plat is located within the extraterritorial plat approval jurisdiction of the Village.
- (n) Corporate limits lines.
- (o) Any proposed lake and stream access with a small drawing clearly indicating the location of the proposed subdivision in relation to the access.
- (p) Approximate dimensions and setback lines shall be shown for all lots and outlots together with proposed lot, outlot and block numbers.
- (q) Any other information requested by the Plan Commission or Village Board.

SECTION 83.35 Street and Utility Plans and Profiles.

The subdivider shall provide street and utility plans and profiles showing existing ground surface, established and proposed grades and locations for streets and public sanitary sewers, storm sewers and water mains, including extensions for a reasonable distance beyond the limits of the proposed subdivision when requested. All elevations shall be based upon USGS data, and plans and profiles shall meet the approval of the Village Engineer. See Exhibit D for more details.

SECTION 83.36 Testing.

- (a) The Village Engineer may require, and where sanitary sewers are unavailable shall require, that borings and soundings be made in specified areas to ascertain subsurface soil, rock and water conditions, including depth to bedrock and depth to groundwater table.
- (b) Where sanitary sewers are unavailable, the soil and percolation tests required by Ch. SPS 385, Wis. Adm. Code, shall be performed and the results shall be submitted with the preliminary plat. After approval of the preliminary plat but prior to submitting an application for approval of the final plat, each individual lot shall be tested for percolation as specified in Ch. SPS 383, Wis. Adm. Code, and the results of such tests shall be submitted to the Plan Commission.

SECTION 83.37 Covenants.

The Village Plan Commission may require submission of a draft of protective covenants whereby the subdivider intends to regulate land use in the proposed subdivision and otherwise protect the proposed development.

Not required at this stage but will be provided for review with the Final Plat.

~~SECTION 83.38~~ Erosion and Stormwater Drainage Control Plan.

At the time application is made for the review of a preliminary plat, the subdivider shall also file with the Village Administrator/Clerk-Treasurer 10 copies of a proposed erosion and stormwater drainage control plan for the area contemplated for development. The proposed erosion and stormwater drainage control plan shall comply with the requirements of Chapter 65 of this Code and with this chapter. The erosion and stormwater drainage control plan shall require the owner(s) of the area contemplated for development to execute and record restrictive covenants applicable to the property, subject to the approval of the Village Attorney, requiring that all improvements be constructed and maintained such that water runoff from roofs and drainage or discharge from sump pumps will be diverted to grassy areas and not to streets, sidewalks or other paved areas.

Otherwise known as a Stormwater Mgmt Plan, which is not yet complete. Exhibit D outlines the utility plans and specs for Stormwater. Variance required.

~~SECTION 83.39~~ Environmental Assessment.

(a) Environmental Assessment Checklist. At the time application is made for the review of a preliminary plat or comprehensive development plan, the subdivider shall also file with the Village Administrator/Clerk-Treasurer 10 copies of a completed environmental assessment checklist on the form made available by the Village Administrator/Clerk-Treasurer. At the same time, the subdivider shall file electronic copies of the document with the Administrator/Clerk-Treasurer, the Village Engineer, and the Director of Public Facilities. No application for a preliminary plat or comprehensive development plan shall be deemed complete until the completed environmental assessment checklist is filed. The purpose of the environmental assessment checklist is to provide information necessary for reviewing the proposed division's impact on the environment, for determining the land's suitability for division and to otherwise further the purposes set forth in Section 83.02 of this chapter and Section 236.45(1), Wis. Stats., and the Village's Comprehensive Plan.

(b) **Determination of Need for Expanded Environmental Assessment.** The environmental assessment checklist shall be reviewed by the Plan Commission. The Plan Commission may decide that the preliminary environmental assessment raises significant or unanswered questions regarding the impact of the proposed land division on the environment and/or that review by other committees and commissions is required. The Plan Commission may also request input from other governmental agencies. If the Plan Commission determines that an expanded environmental assessment is warranted, it shall notify the subdivider in writing of the specific questions and/or areas in which further information is required and set

The Development Proposal adopted by the Village in January satisfies the requirements for this section; however, a waiver for this requirements as part of the approval for the Preliminary Plat is needed.

a reasonable date for the return of the requested information. It may also specify the format in which the information is to be presented. Failure to respond adequately or timely to the Commission's request for additional information may constitute grounds to reject and/or conditionally approve the preliminary plat or comprehensive development plan.

- (c) **Review.** The Plan Commission shall review the environmental assessment report, with supporting data, department and committee reviews and any other data required for determining the suitability of the land for the proposed development. The Plan Commission shall decide whether said land is suitable for development and whether such subdivision is consistent with the purposes of this chapter and other Village ordinances, Section 236.45, Wis. Stats., and the Village's Comprehensive Plan and shall then proceed as required by this Chapter.

✓ SECTION 83.40 Affidavit.

The surveyor preparing the preliminary plat shall certify on the face of the plat that it is a correct representation of all existing land divisions and features and that he has fully complied with the provisions of this chapter and Ch. 236, Wis. Stats.

SECTION 83.41 Public Facilities and Services.

- ✓ (a) **Determination of Adequacy.** A preliminary plat or comprehensive development plan shall not be approved unless the Village Board, after recommendation from the Plan Commission, reviews the development's impact on public facilities and services and determines that adequate public facilities and public services are available to meet the needs of the proposed development.

✗ Impact Study.

- (1) An impact study shall be required for any preliminary plat or comprehensive development plan containing either 10 or more lots or five or more acres. The subdivider shall be responsible for preparation of the impact study, and the impact study shall be filed at the time application is made. No application for preliminary plat approval will be complete until the Village Administrator/Clerk-Treasurer has determined that the impact study is complete and in acceptable form.
- (2) The impact study shall describe the impact of the proposed development on the following public facilities and shall analyze the adequacy of the following public facilities to serve the proposed development: public water; sanitary sewer; storm sewer and other public stormwater drainage facilities; fire, police and emergency medical facilities; parks, open space and recreation facilities; transportation facilities; and school facilities.

The Development Proposal adopted by the Village in January satisfies the requirements for this section; however, a waiver for this requirements as part of the approval for the Preliminary Plat is needed.

- (3) The Plan Commission and Village departments shall cooperate with the subdivider by providing information in the Village's possession regarding the Village's public facilities. The Plan Commission may have its own consultants, including but not limited to Village staff and the Village's Engineer, review the impact study and prepare their own evaluation of the adequacy of public facilities to serve the proposed development. If the Plan Commission concludes that the subdivider's impact study is inadequate or inaccurate, the Plan Commission may reject the subdivider's impact study. Any rejection of a subdivider's impact study shall be accompanied by a description of the reason or reasons for the rejection.

SECTIONS 83.42 – 83.44 Reserved

FINAL PLAT

SECTION 83.45 General Requirements.

A final plat prepared by a land surveyor registered in this state shall be required for all subdivisions. It shall comply in all respects with the requirements of Section 236.20, Wis. Stats., and with this chapter.

SECTION 83.46 Information to be Provided.

The plat shall show correctly on its face, in addition to the information required by Section 236.20, Wis. Stats., and Sections 83.33 through 83.35 hereof, the following:

- (a) Exact length and bearing of the center line of all streets.
- (b) Exact street width along the line of any obliquely intersecting street.
- (c) Railroad rights-of-way within and abutting the plat.
- (d) Setbacks or building lines required by the Village Plan Commission.
- (e) All lands reserved for future public acquisition or reserved for the common use of property owners within the plat.
- (f) Special restrictions required by the Village Plan Commission relating to access control along public ways or to the provision of planting strips.
- (g) The house number or rural fire number assigned to each lot.

SECTION 83.47 Drainage Flows.

The subdivider shall cause to be set upon the face of the plat, or included within the master grading plan, arrows along each street as will result from the grading of the site, the construction of the required public improvements, or which are existing drainage flows and will remain. The arrows indicating the directions off flows shall be

80% PLAN SET

GLACIER RIDGE

VILLAGE OF CROSS PLAINS DANE COUNTY, WISCONSIN



PROJECT LOCATION



D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

Sheet List Table	
Sheet Number	Sheet Title
1 OF X	COVER
2 OF X	GRADING & EROSION CONTROL
3 OF X	DETAILS
4 OF X	DETAILS
5 OF X	DETAILS
6 OF X	DETAILS
7 OF X	MILITARY ROAD
8 OF X	MILITARY ROAD
9 OF X	MILITARY ROAD
10 OF X	STREET B
11 OF X	STREET B
12 OF X	STREET B
13 OF X	STREET C
14 OF X	STREET C

FN: 15-05-168

ISSUE DATE: 2/15/16

SHEET 1 OF X

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COVER
GLACIER RIDGE

VILLAGE OF CROSS PLAINS, DANE COUNTY, WISCONSIN

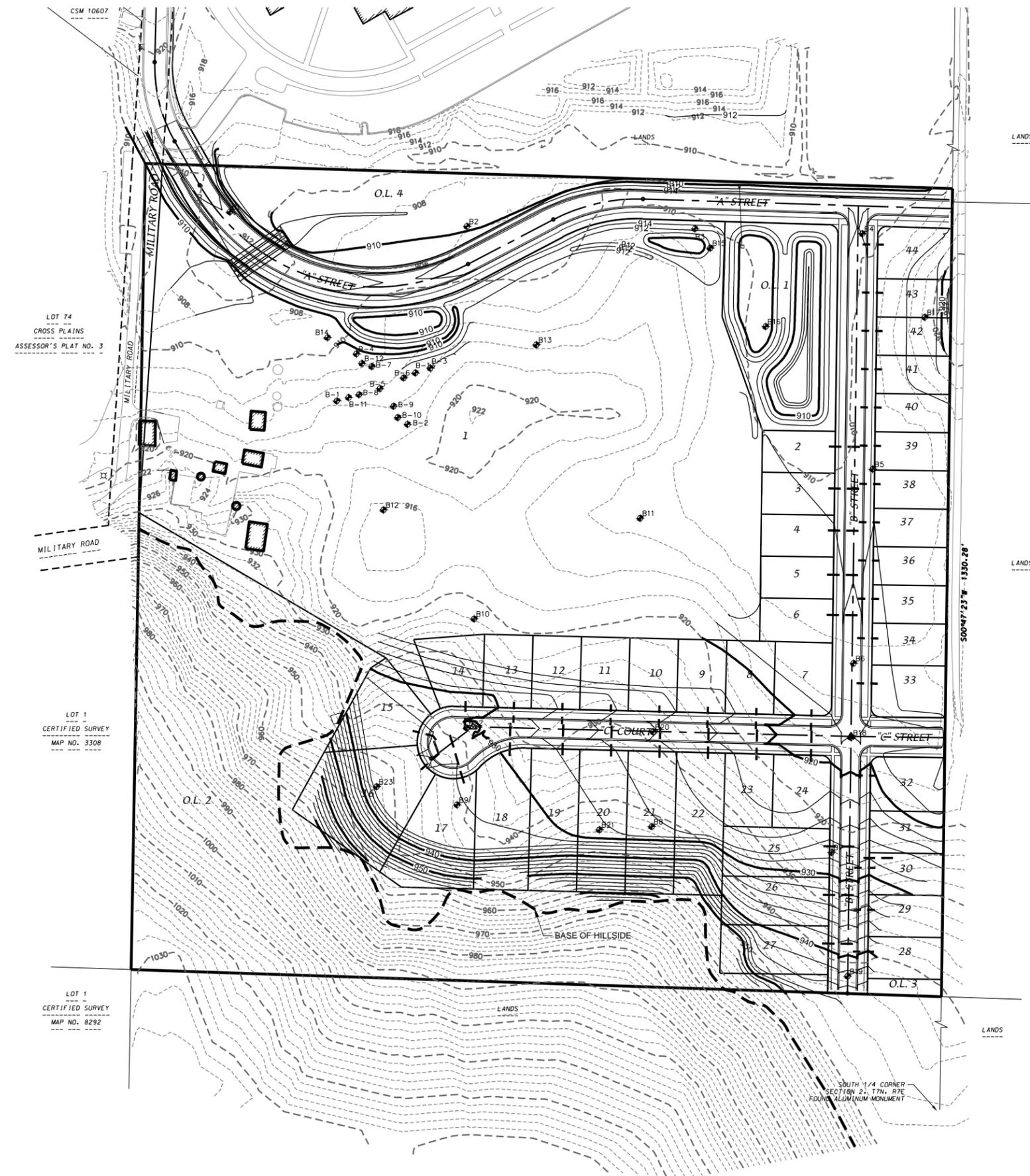
DATE: 2/15/16

DRAWN BY: KWB

FN: 15-05-168

Sheet Number:

1 OF X



LOT 74
CROSS PLAINS
ASSESSOR'S PLAT NO. 3

LOT 1
CERTIFIED SURVEY
MAP NO. 3308

LOT 1
CERTIFIED SURVEY
MAP NO. 8292

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GRADING & EROSION CONTROL

GLACIER RIDGE

VILLAGE OF CROSS PLAINS, DANE COUNTY, WISCONSIN



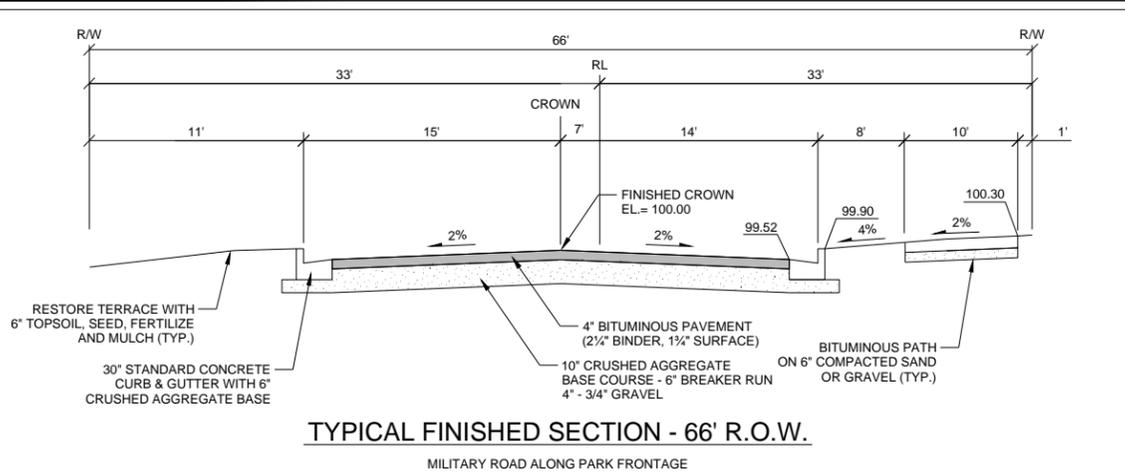
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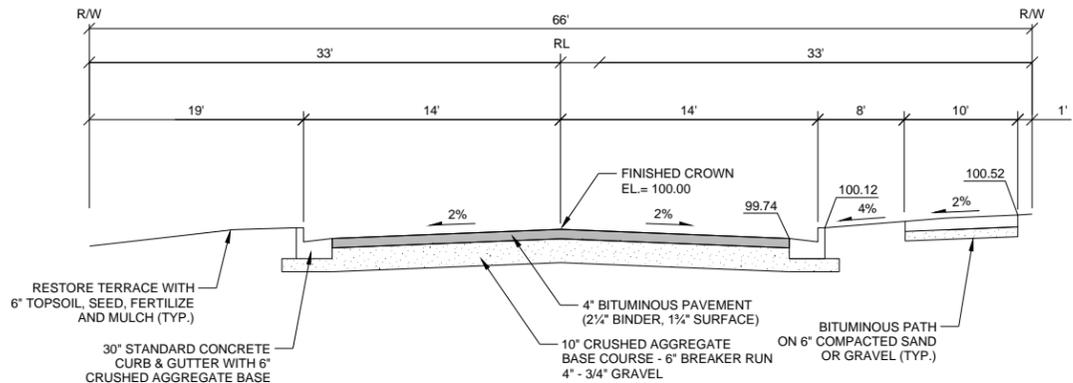
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Sheet Number:
2 OF X



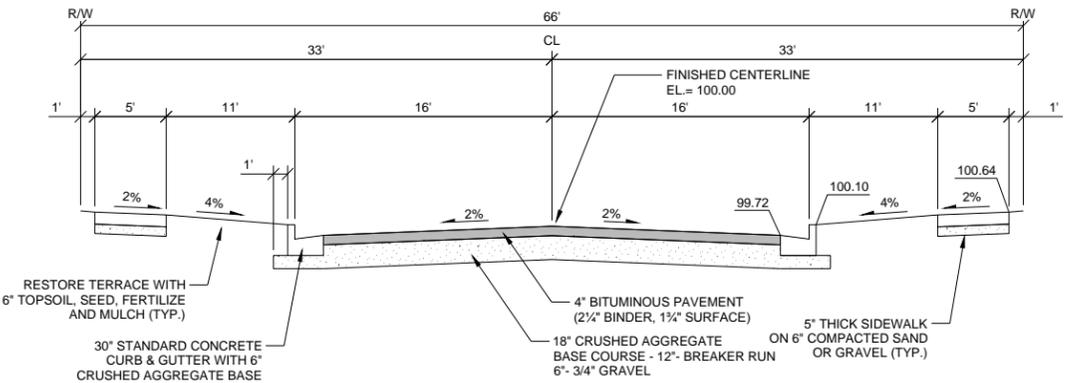
TYPICAL FINISHED SECTION - 66' R.O.W.

MILITARY ROAD ALONG PARK FRONTAGE



TYPICAL FINISHED SECTION - 66' R.O.W.

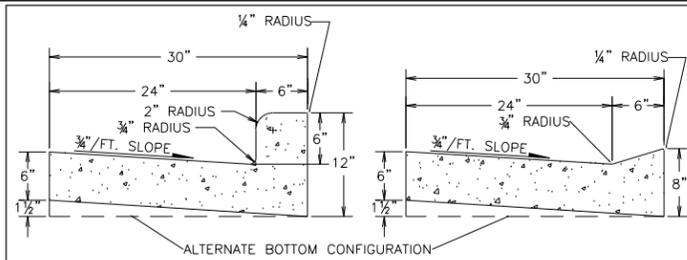
MILITARY ROAD ALONG STORMWATER FRONTAGE



TYPICAL FINISHED SECTION

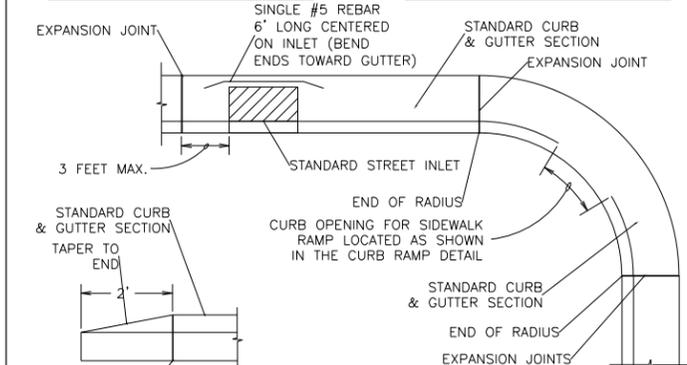
STREET B AND STREET C

* FINAL FINISHED SECTION TO BE DETERMINED



STANDARD CURB & GUTTER CROSS SECTION DIMENSIONS

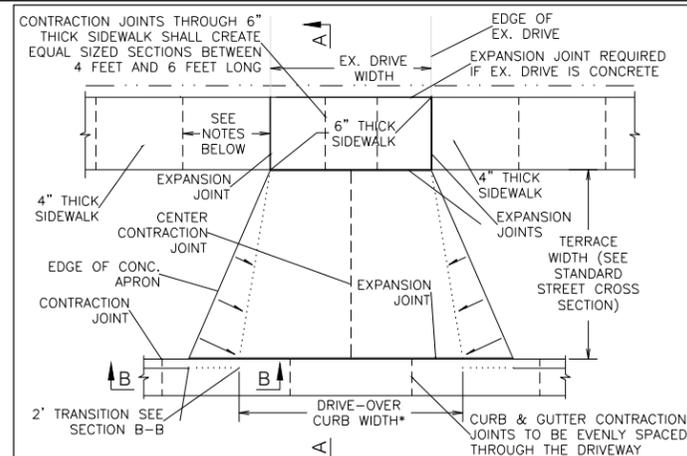
DRIVE-OVER CURB & GUTTER CROSS SECTION DIMENSIONS



CONCRETE CURB & GUTTER DETAILS

DETAIL 02522-A

DWG FILE	DESCRIPTION	LAST REVISED
02522-A	C&G DETAILS - 30"	2/4/99 TLS



CONTRACTION JOINTS THROUGH 6" THICK SIDEWALK SHALL CREATE EQUAL SIZED SECTIONS BETWEEN 4 FEET AND 6 FEET LONG

EDGE OF EX. DRIVE

EXPANSION JOINT REQUIRED IF EX. DRIVE IS CONCRETE

EX. DRIVE WIDTH

6" THICK SIDEWALK

4" THICK SIDEWALK

4" THICK SIDEWALK

EXPANSION JOINTS

TERRACE WIDTH (SEE STANDARD STREET CROSS SECTION)

2' TRANSITION SEE SECTION B-B

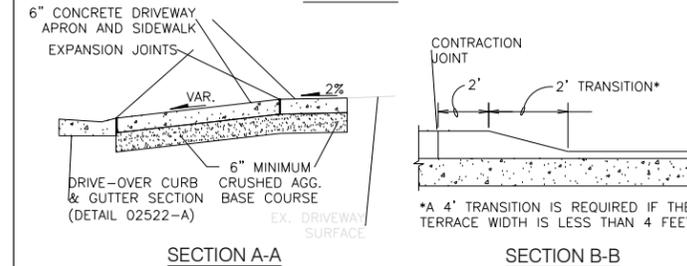
DRIVE-OVER CURB WIDTH*

CURB & GUTTER CONTRACTION JOINTS TO BE EVENLY SPACED THROUGH THE DRIVEWAY

NOTES: - 6" THICK WALK WIDTH SHALL BE EQUAL TO THE EX. DRIVE WIDTH OR A MINIMUM OF 12' CENTERED ON THE EX. DRIVE, THE DRIVE-OVER CURB WIDTH SHALL BE EQUAL TO THE 6" THICK WALK WIDTH PLUS 2', CENTERED ON THE EX. DRIVE.

- CONTRACTION JOINTS IN 4" THICK SIDEWALKS SHALL BE PLACED EVERY 5'. EXPANSION JOINTS SHALL BE PLACED AT INTERVALS NOT TO EXCEED 96 FEET.

PLAN VIEW



SECTION A-A

SECTION B-B

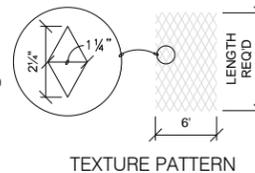
DRIVEWAY DETAILS

DETAIL 02521-A

DWG FILE	DESCRIPTION	LAST REVISED
02521-A.DWG	DRIVE- C&G & WALK	01/10/06 J.L.J.

NOTES:

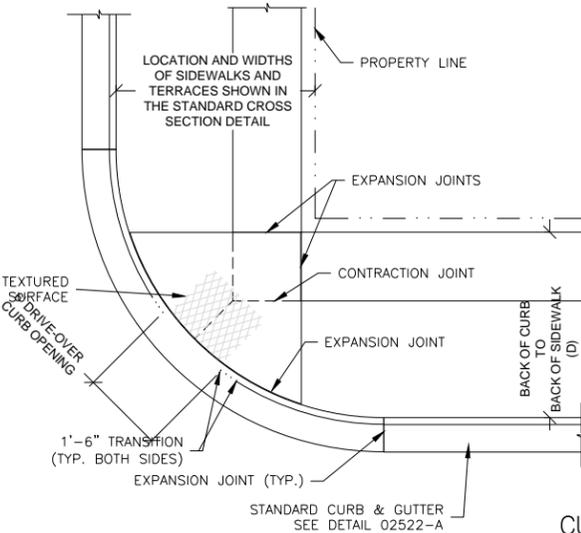
- CURB RAMP SLOPE SHALL BE 1:12 OR FLATTER.
- TEXTURED SURFACE SHALL EXTEND FROM THE CURB & GUTTER SECTION TO THE TRANSVERSE CONTRACTION JOINT AND SHALL BE 1/4" TO 3/8" DEEP.
- CONTRACTION JOINTS IN THE CONCRETE CURB & GUTTER SHALL BE EVENLY SPACED EVERY 6-12 FEET.



TEXTURE PATTERN

TYPE 1 CURB RAMP

- FOR USE WHEN THE DISTANCE FROM THE BACK OF THE CURB TO THE BACK OF THE SIDEWALK (D) IS LESS THAN 12 FEET.

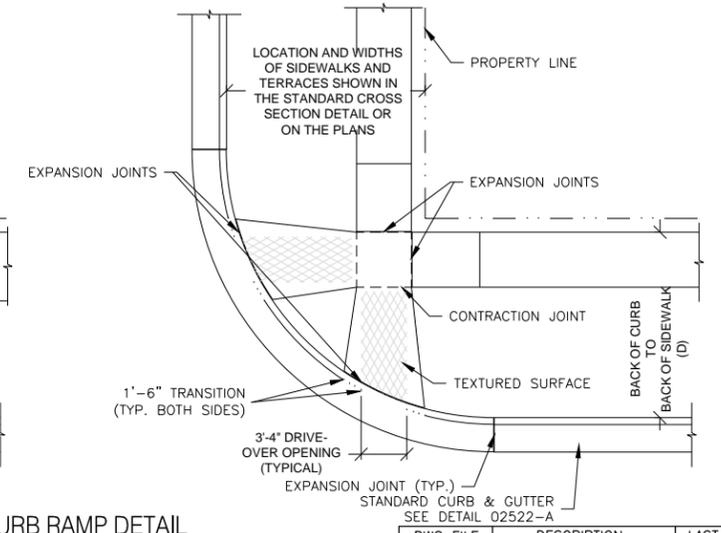


CURB RAMP DETAIL

DETAIL 02521-B

TYPE 2 CURB RAMP

- FOR USE WHEN THE DISTANCE FROM THE BACK OF THE CURB TO THE BACK OF THE SIDEWALK (D) IS GREATER THAN OR EQUAL TO 12 FEET.



DWG FILE	DESCRIPTION	LAST REVISED
02521-B.DWG	CURB RAMP	01/10/06 J.L.J.

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DETAILS

VILLAGE OF CROSS PLAINS, DANE COUNTY, WISCONSIN



SCALE: 1" = 1'

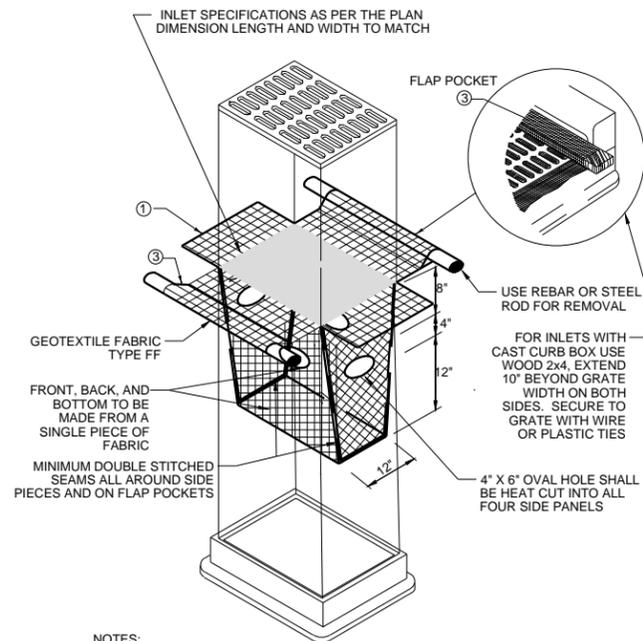
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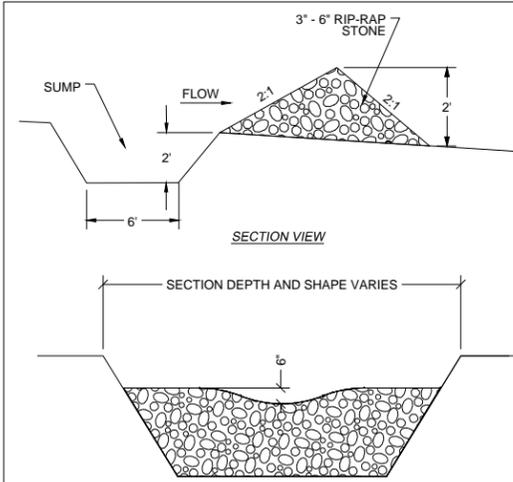
3 OF X



NOTES:

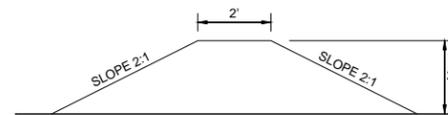
1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

TYPE D INLET PROTECTION
NOT TO SCALE

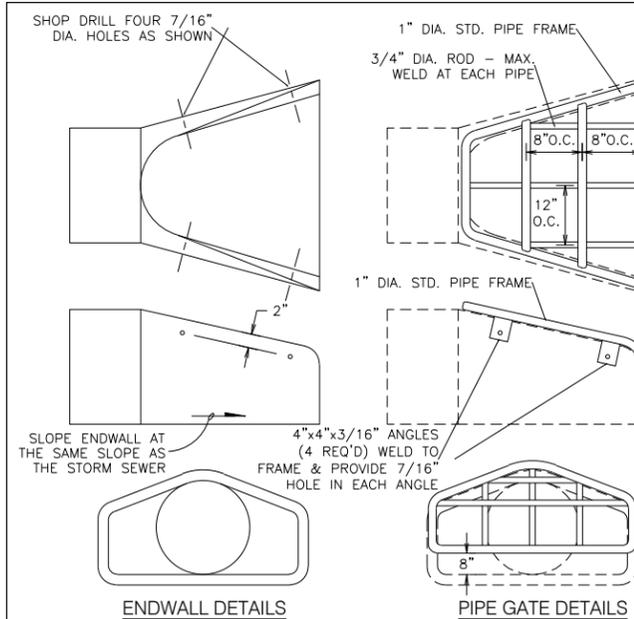


NOTES:
1) SUMP SHALL BE CLEANED OUT AND ALL PLUGGED ROCK REMOVED AND REPLACED AS NEEDED WHEN SUMP IS 50% FULL OF SEDIMENT.

STONE WEEPER
NOT TO SCALE



EARTHEN BERM
NOT TO SCALE



NOTES:

- THE CONTRACTOR SHALL BOLT THE PIPE GATE TO THE CONCRETE ENDWALL WITH FOUR 3/8"x6" MACHINE BOLTS WITH NUTS ON INSIDE WALL.

PAINTING SPECIFICATIONS:

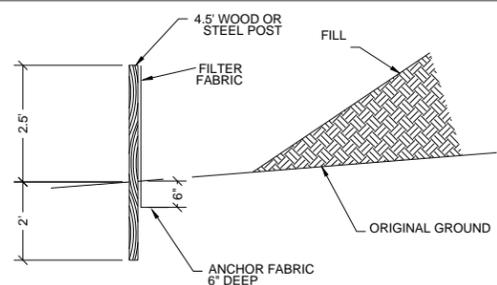
- THE PIPE GATE SHALL RECEIVE THE FOLLOWING PREPARATION & PAINTING. THE FIRST COAT SHALL BE RUS-OLEUM X-60 RED BARE METAL PRIMER OR APPROVED EQUAL. THE SECOND COAT SHALL BE RUS-OLEUM 960 ZINC CHROMATE PRIMER OR APPROVED EQUAL. THE THIRD COAT SHALL BE RUS-OLEUM 1282 HIGH GLOSS METAL FINISH OR APPROVED EQUAL.

PREPARATION STEPS:

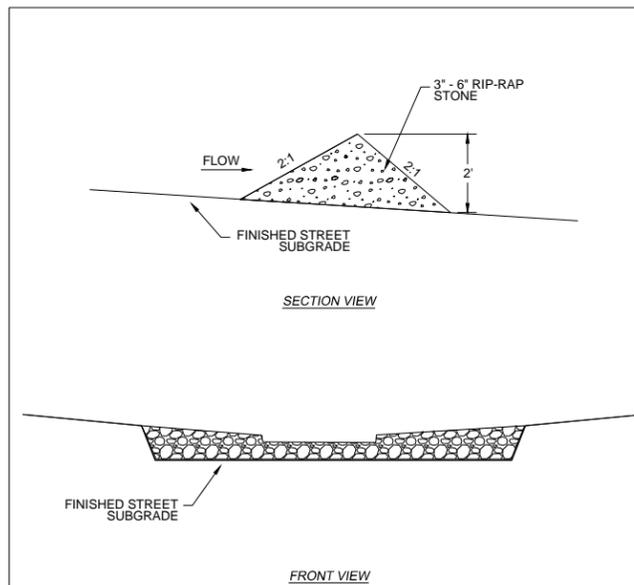
1. BARE METAL SURFACES - TREAT WITH THE THREE-COAT PAINTING SYSTEM LISTED AFTER A THOROUGH SCRAPING, WIRE BRUSHING & CLEANING.
2. EACH COAT OF PAINT SHALL BE APPLIED OVER THE ENTIRE GATE SURFACE.
3. ALLOW 24-48 HOURS DRYING TIME AT 60' OR ABOVE BETWEEN COATS.

STANDARD ENDWALL DETAILS
DETAIL 02721-C

DWG FILE	DESCRIPTION	LAST REVISED
02721-C.DWG	ENDWALL DETAILS	2/22/99 TLS

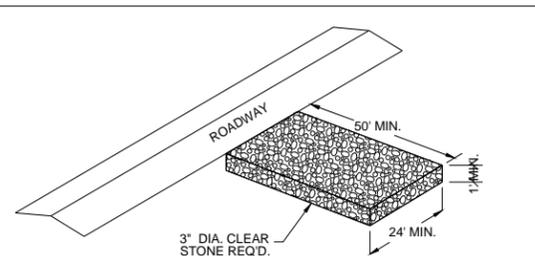


SILT FENCE DETAIL
NOT TO SCALE

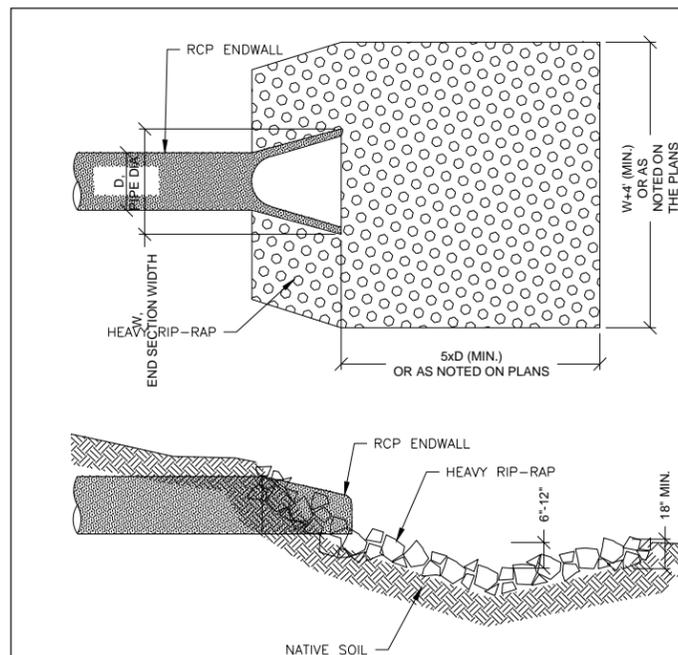


NOTE:
1) VELOCITY CHECK SHALL BE CLEANED OUT AND ALL PLUGGED ROCK REMOVED AND REPLACED AS NEEDED WHEN CHECK IS 50% FULL OF SEDIMENT.

VELOCITY CHECK
NOT TO SCALE



STONE TRACKING PAD DETAIL
NOT TO SCALE



NOTE:

RIP-RAP SHALL BE A MINIMUM OF 2 C.Y. PER ENDWALL.

ENDWALL RIP-RAP DETAIL
DETAIL 02721-J

DWG FILE	DESCRIPTION	LAST REVISED
02721-J2.DWG	RIP-RAP ENDWALL DETAIL	01/05/06 JLJ



SCALE: 1" = 1'



DATE: 2/15/16

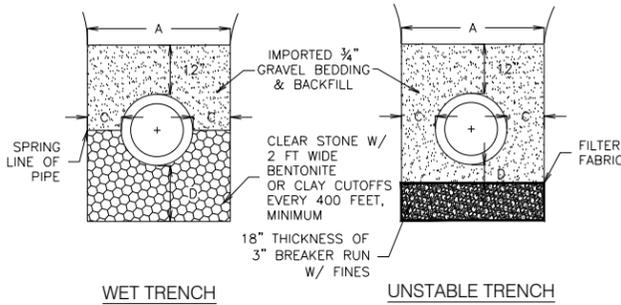
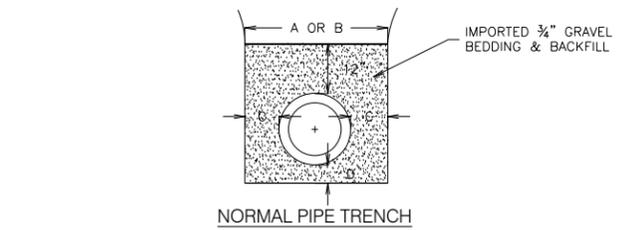
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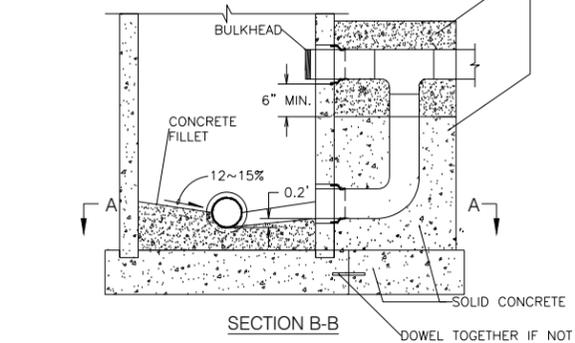
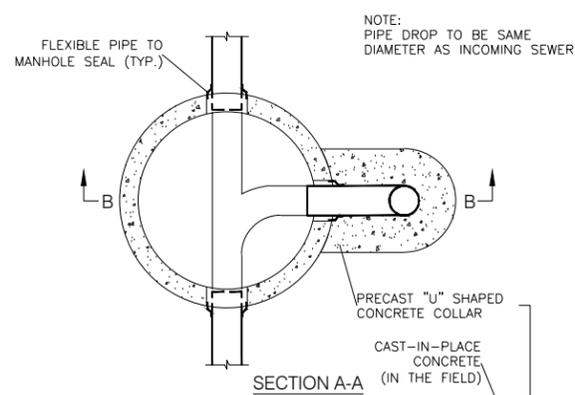
4 OF X

DIMENSIONS:
 A: OUTSIDE DIAMETER OF PIPE PLUS 24" MAXIMUM, EXCEPT NEED NOT BE LESS THAN 36". TRENCH SHIELDS NARROWER THAN 4 FEET INSIDE WIDTH WILL NOT BE REQUIRED UNLESS SPECIFICALLY REQUIRED IN THE PROJECT SPECIFICATIONS.
 B: FOR ROCK, OUTSIDE DIAMETER OF PIPE PLUS 18" MAXIMUM, EXCEPT NEED NOT BE LESS THAN 36".
 C: MINIMUM - 6"
 D: MINIMUM 4" BELOW BARREL AND 3" BELOW BELL



TRENCH WIDTH AND BEDDING DETAILS
 DETAIL 02221-A

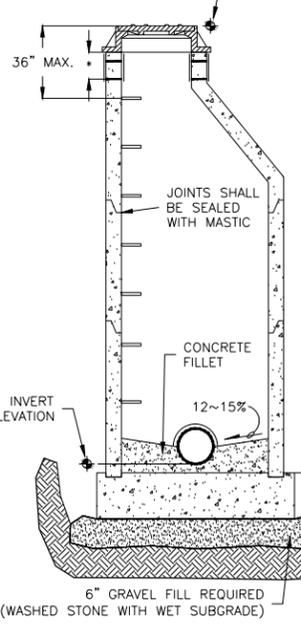
DWG FILE	DESCRIPTION	LAST REVISED
02221-A2	TRENCHES	11/04/09 JLJ



DROP MANHOLE ENTRANCE
 DETAIL 02601-B

DWG FILE	DESCRIPTION	LAST REVISED
02601-B.DWG	DROP MH DETAIL	09/17/02 JLJ

CASTING SHALL BE 1/2" BELOW FINISHED PAVEMENT OR AS ESTABLISHED BY THE ENGINEER.

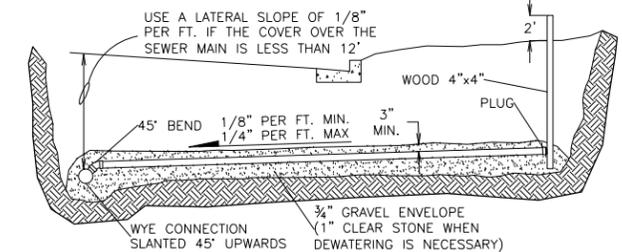


MANHOLE CASTING SHALL BE HEAVY DUTY, NEENAH FOUNDRY CO. CATALOG LISTING NO. R-1550, WITH TYPE "B" NON-ROCKING LID, GASKET SEAL AND CONCEALED PICKHOLES.
 ADJUST FRAME TO GRADE WITH AT LEAST TWO PRECAST CONCRETE RINGS OF DIFFERENT THICKNESSES. RINGS SHALL BE REINFORCED WITH ONE NO. 3 STEEL BAR CENTERED WITHIN EACH RING.
 MANHOLE CASTINGS AND STEPS SHALL BE LOCATED OVER THE EFFLUENT PIPE FOR PIPES BETWEEN 8" AND 18" IN DIAMETER. CASTINGS AND STEPS SHALL BE LOCATED OVER THE BENCH FOR PIPES GREATER THAN 18" IN DIAMETER.
 CONCRETE SHALL BE 4000 PSI, 28 DAY COMPRESSIVE STRENGTH, 6.5 BAG MIX WITH 1-2% AIR ENTRAINMENT.
 STEEL REINFORCEMENT SHALL CONFORM TO ASTM C-478 STANDARDS.
 FLAT-TOP COVERS SHALL BE USED WHERE THE TOTAL RIM TO INVERT DEPTH IS LESS THAN 6 FEET AND MAY BE USED FOR MANHOLE DIAMETERS GREATER THAN 5 FEET.
 SEE SPECIFICATION NARRATIVE FOR PIPE SEAL AND CHIMNEY SEAL REQUIREMENTS.
 MANHOLE STEPS SHALL CONFORM TO ASTM-C478 & SHALL BE NEENAH FOUNDRY CO. R-1981-N OR APPROVED EQUAL. STEPS SHALL BE SPACED 16" ON CENTER.

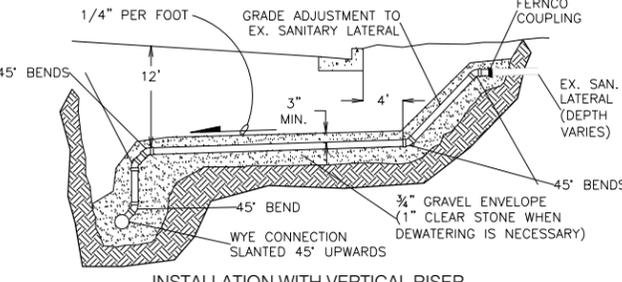
* A MINIMUM OF 3" TO A MAXIMUM OF 9" OF ADJUSTING RINGS SHALL BE USED TO ADJUST THE MANHOLE CASTING TO THE FINISHED GRADE. ALL RINGS SHALL BE SEALED TOGETHER USING MASTIC AND ALL JOINTS SHALL BE BACK PLASTERED INSIDE AND OUT WITH CEMENT MORTAR.

STANDARD MANHOLE DETAIL
 DETAIL 02601-A

DWG FILE	DESCRIPTION	LAST REVISED
02601-A.DWG	STANDARD MANHOLE	2/10/99 TLS

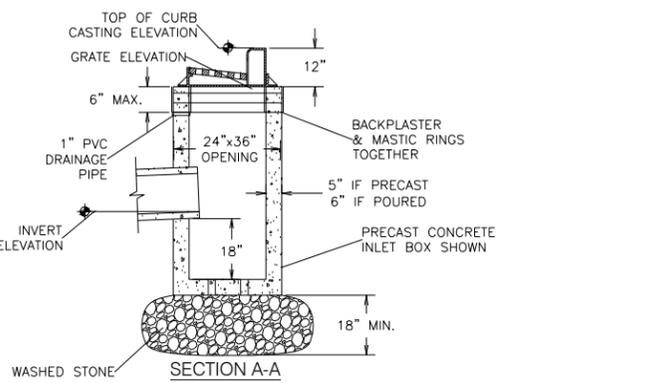
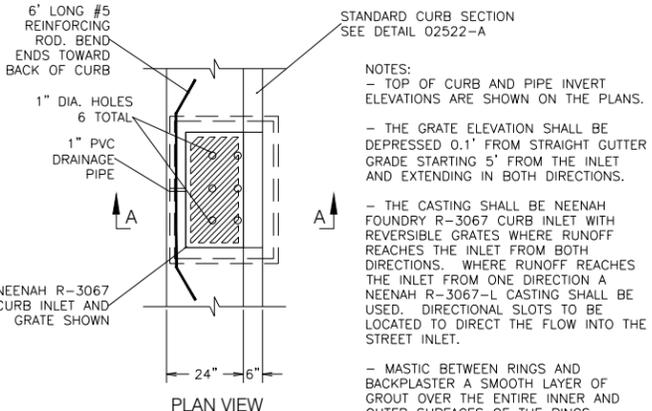


NOTES:
 1. CONSTRUCT LATERALS IN CONFORMANCE WITH CHAPTER COMM 82 OF THE WISCONSIN ADMINISTRATIVE CODE.
 2. LATERAL SLOPE SHALL BE 1/4" PER FOOT WHERE SUFFICIENT COVER EXISTS
 3. WHERE LATERALS ARE NOT IMMEDIATELY CONNECTED TO BUILDING SEWERS THE ENDS OF THE LATERALS SHALL BE MARKED BY POSITIONING 4"x4" BOARDS VERTICALLY FROM THE ENDS OF THE LATERALS TO AT LEAST 2' ABOVE THE GROUND SURFACE.
 4. CONTRACTOR SHALL VERIFY SIZE, DEPTH, AND LOCATION OF EXISTING LATERALS.



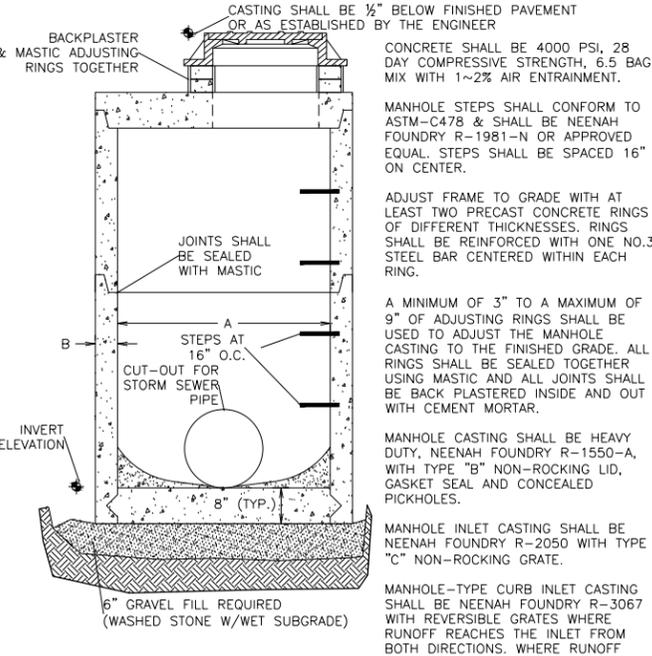
SANITARY SEWER LATERAL DETAIL
 DETAIL 02722-B

DWG FILE	DESCRIPTION	LAST REVISED
02722-B.DWG	SANITARY LATERALS	12/30/02 JLJ



RECTANGULAR CURB CATCH BASIN DETAIL
 DETAIL 02721-P

DWG FILE	DESCRIPTION	LAST REVISED
02721-P.DWG	STD. CATCH BASIN	12/28/04 JLJ

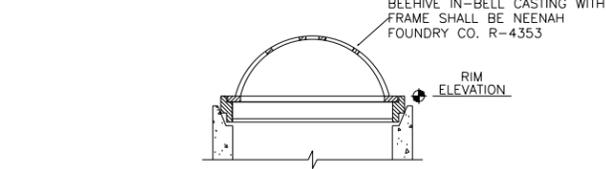


STORM MANHOLE DIMENSIONS

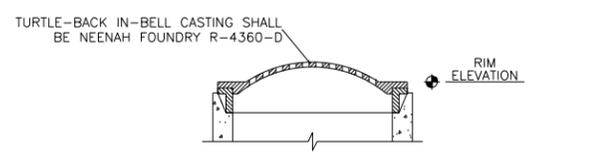
MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

STORM SEWER MANHOLE/MANHOLE INLET/
 MANHOLE-TYPE CURB INLET DETAIL
 DETAIL 02721-F

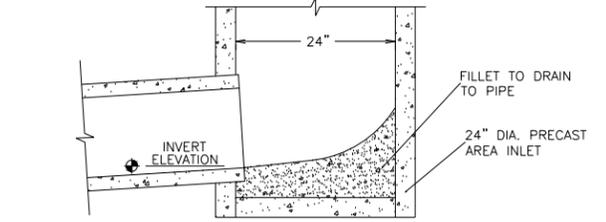
DWG FILE	DESCRIPTION	LAST REVISED
02721-F.DWG	STD. STORM MANHOLE	12/29/04 JLJ



AREA INLET WITH BEEHIVE CASTING



AREA INLET WITH TURTLE-BACK CASTING



AREA INLET BOTTOM SECTION

AREA INLET DETAIL
 DETAIL 02721-B

DWG FILE	DESCRIPTION	LAST REVISED
02721-B.DWG	AREA INLET DETAIL	3/3/99 TLS

D'ONOFRIO KUTTHE AND ASSOCIATES, INC.
 7590 Westwood Way, Madison, WI 53717
 Phone: 608.833.7590 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

GLACIER RIDGE



SCALE: 1" = 1'

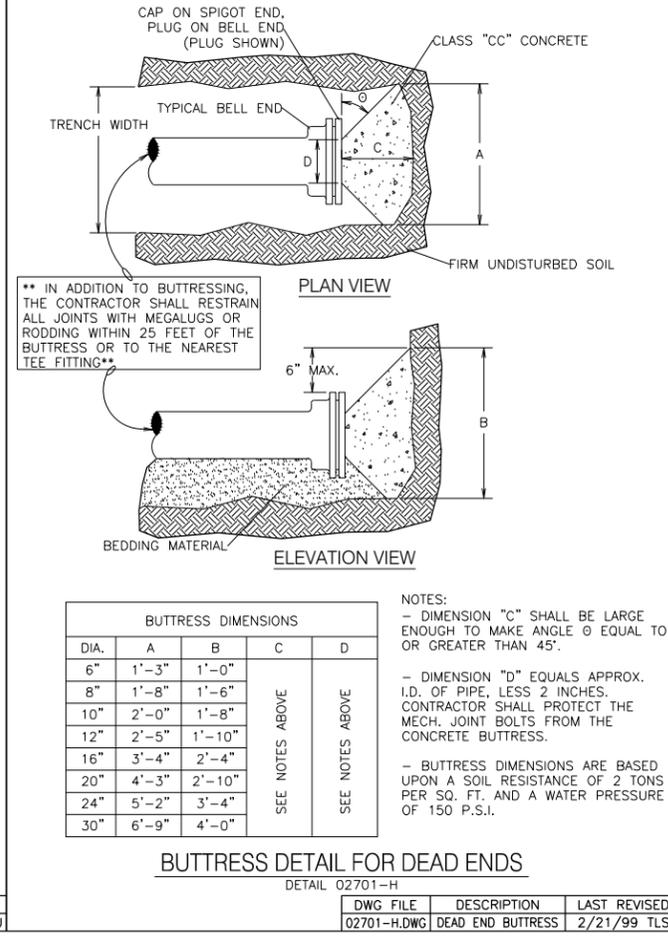
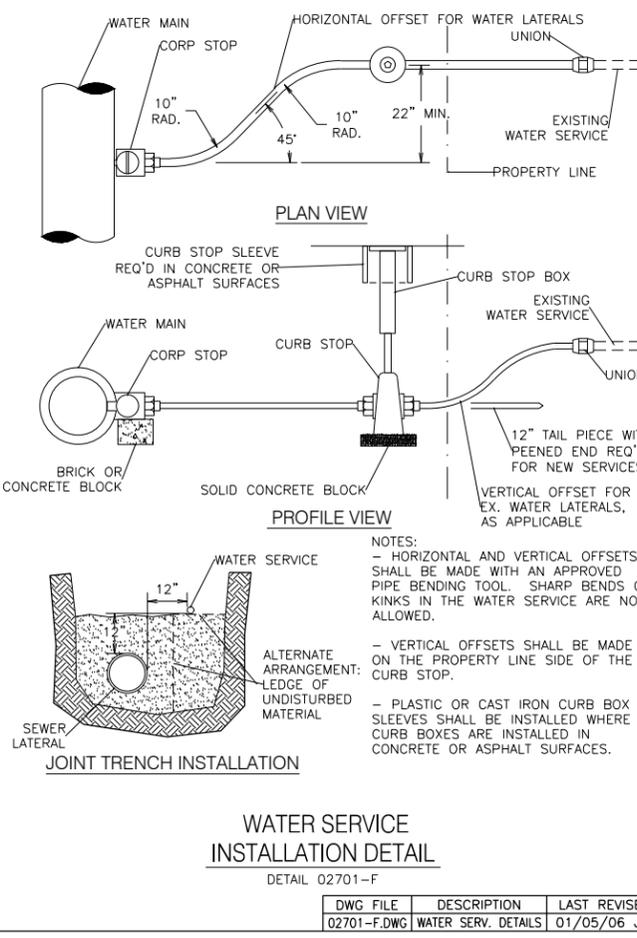
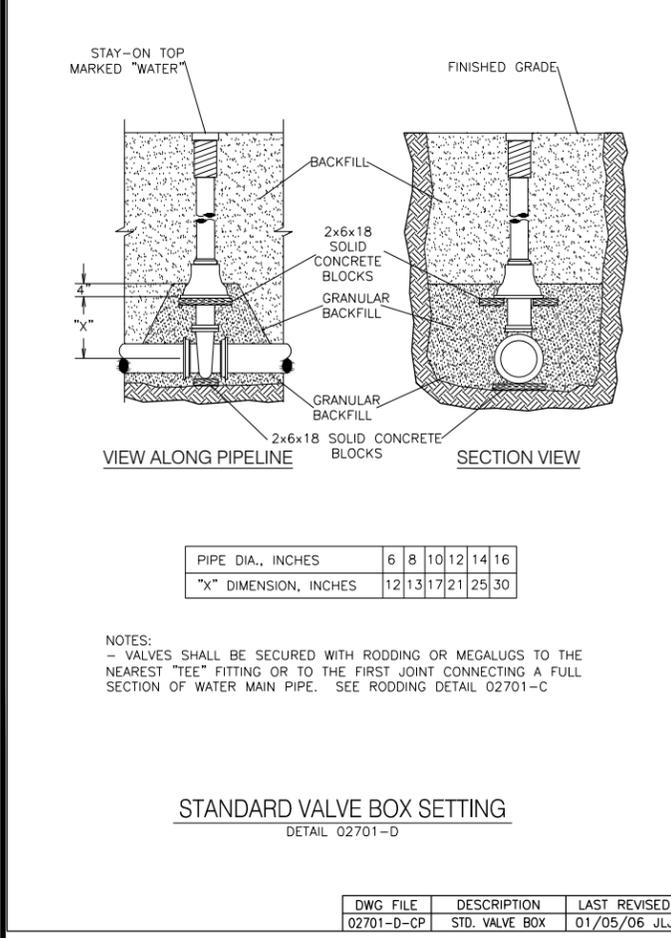
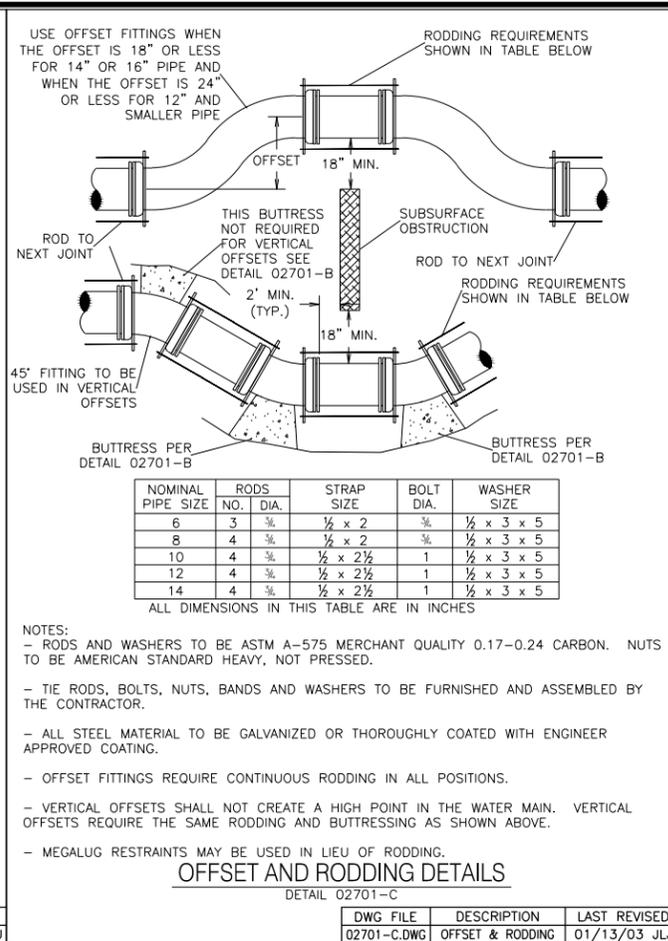
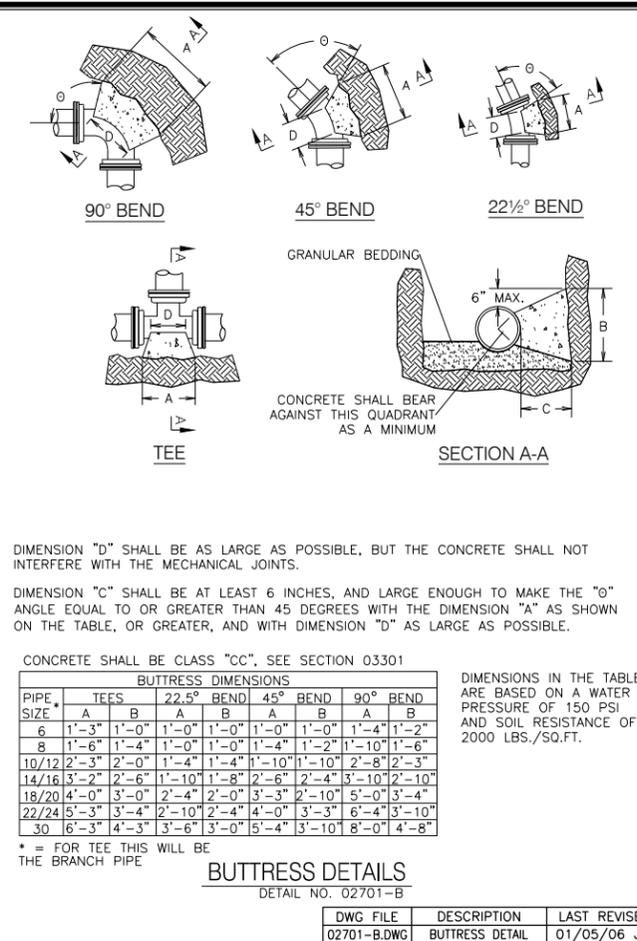
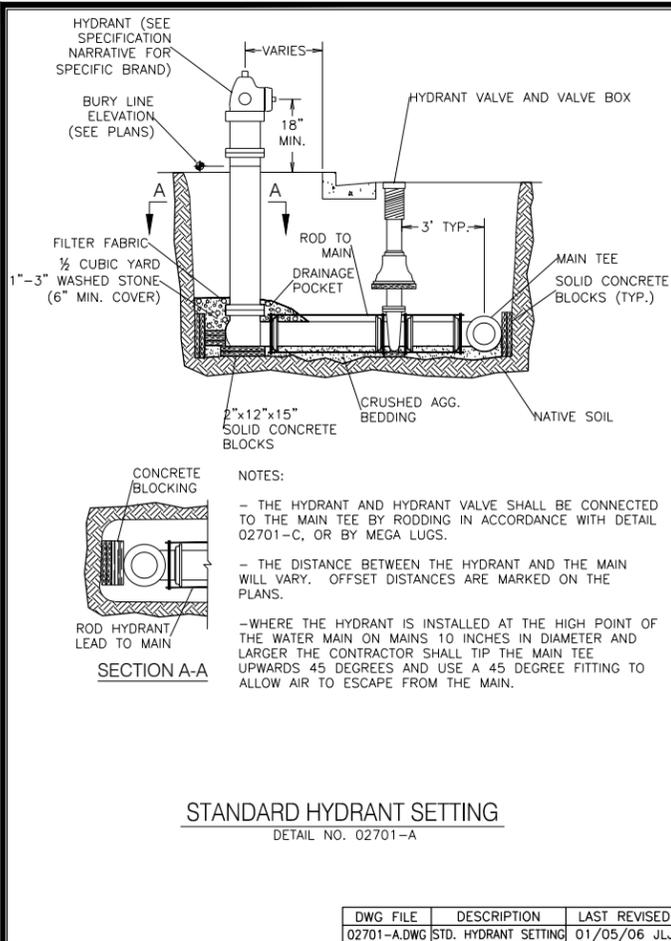
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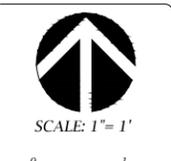
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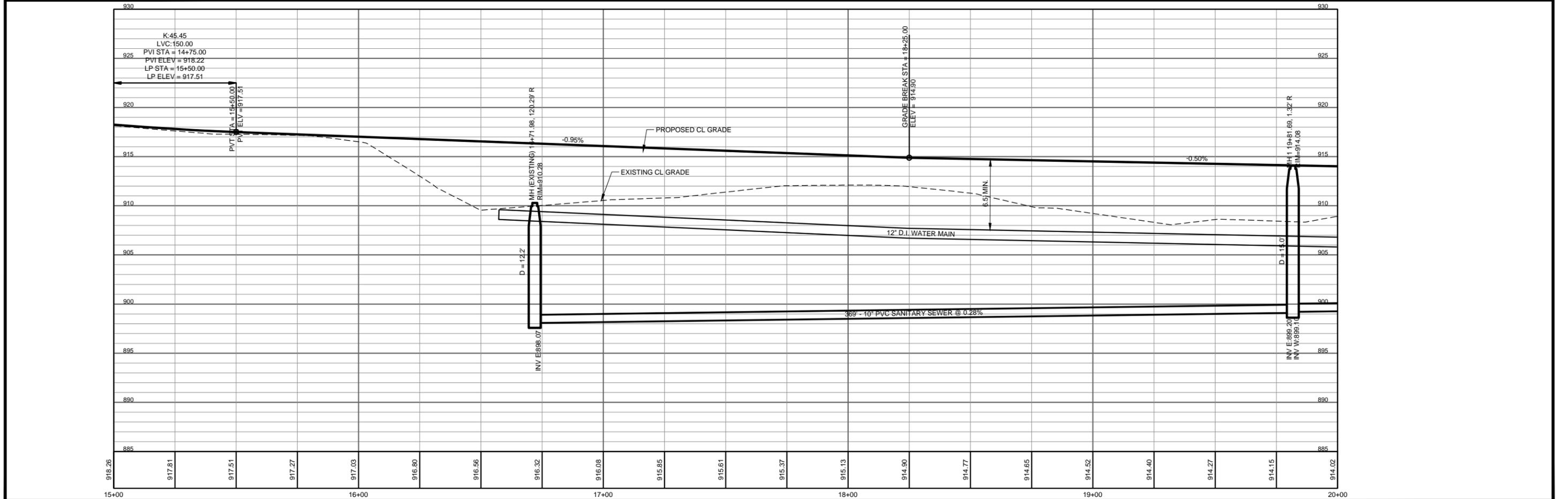
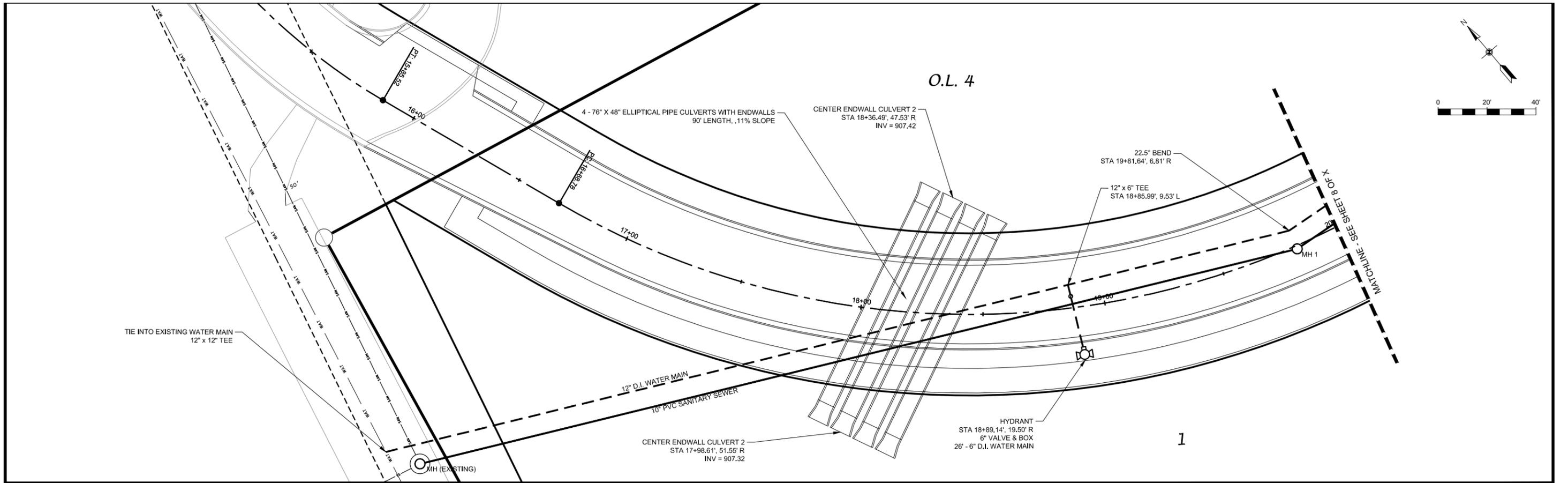


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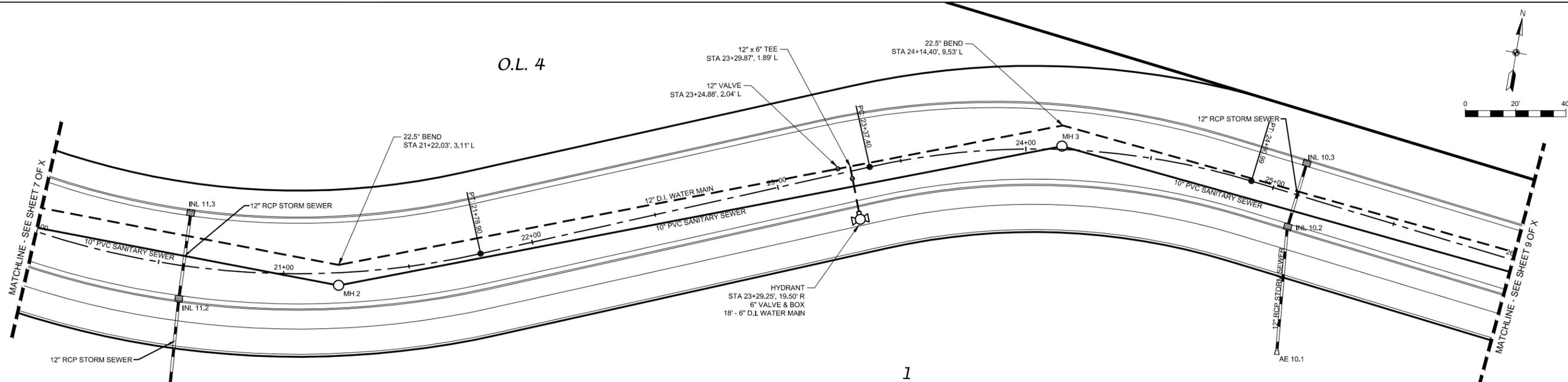
GLACIER RIDGE
VILLAGE OF CROSS PLAINS, DANE COUNTY, WISCONSIN



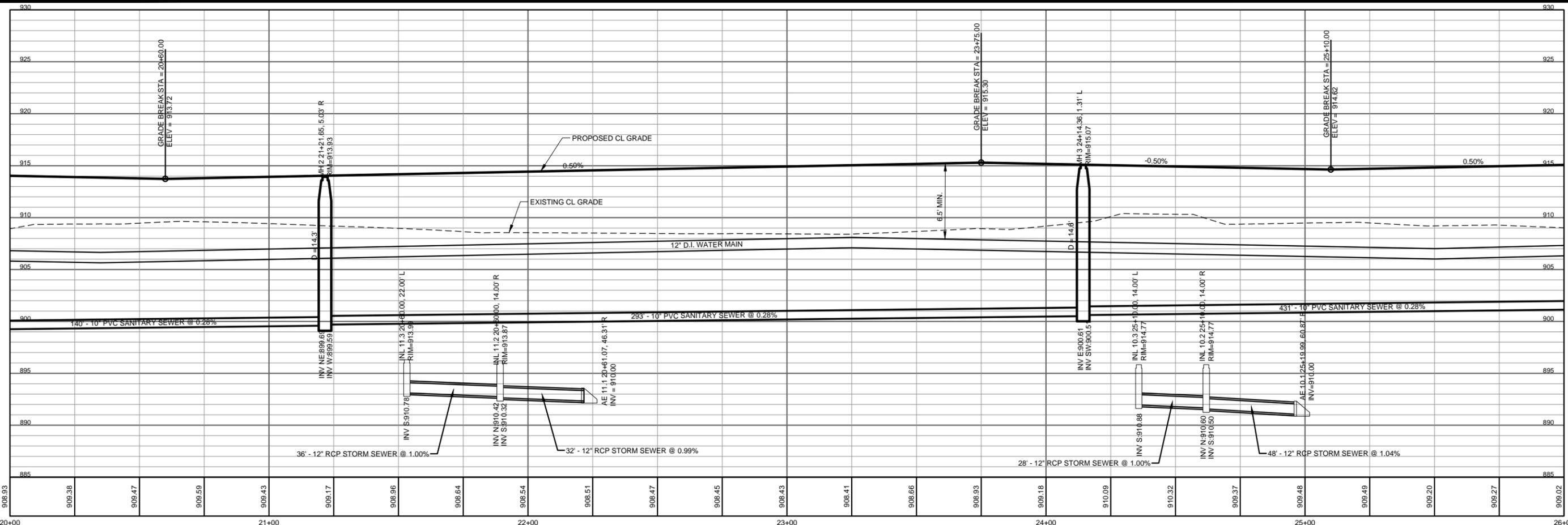
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6 OF X

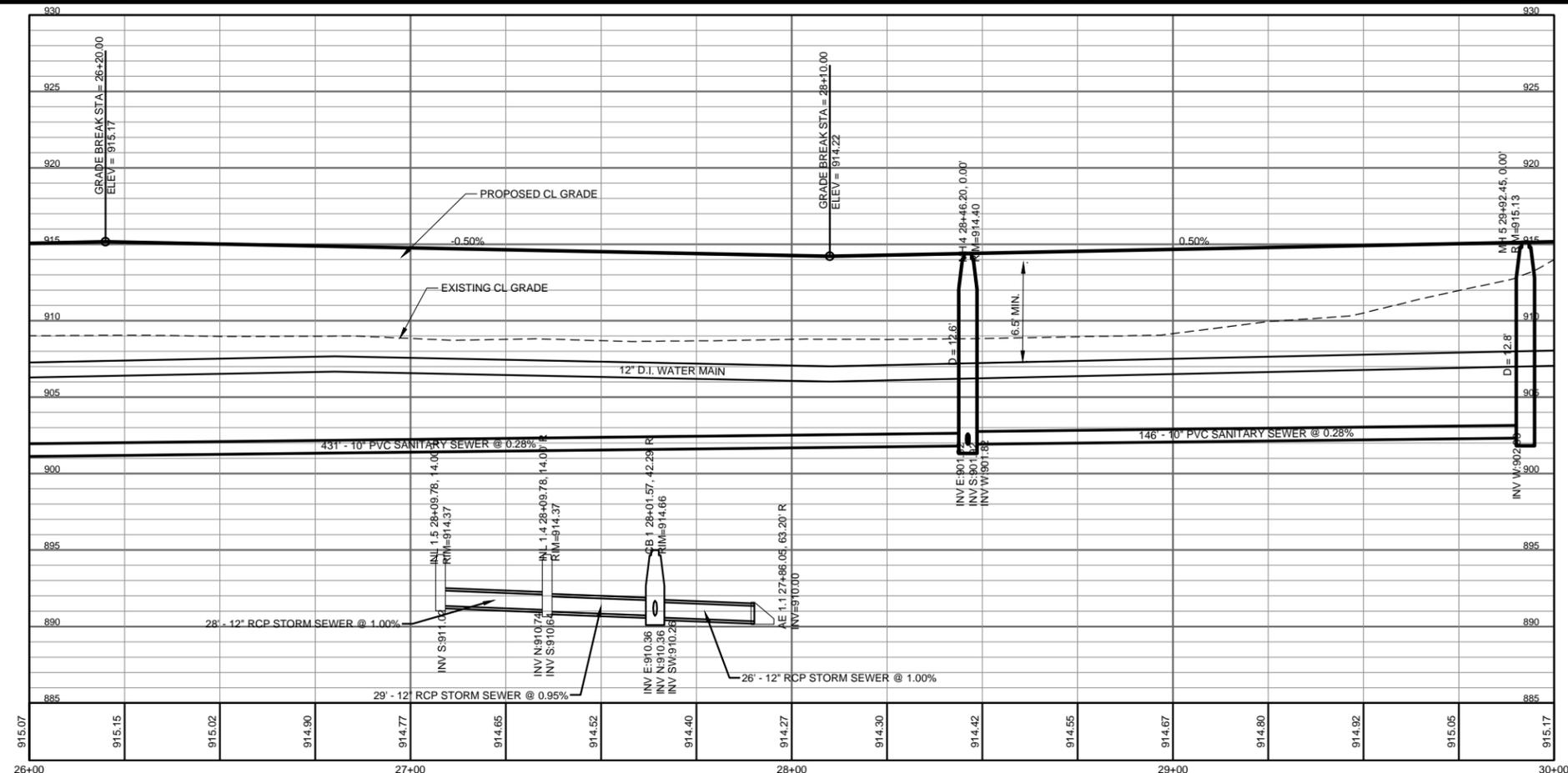
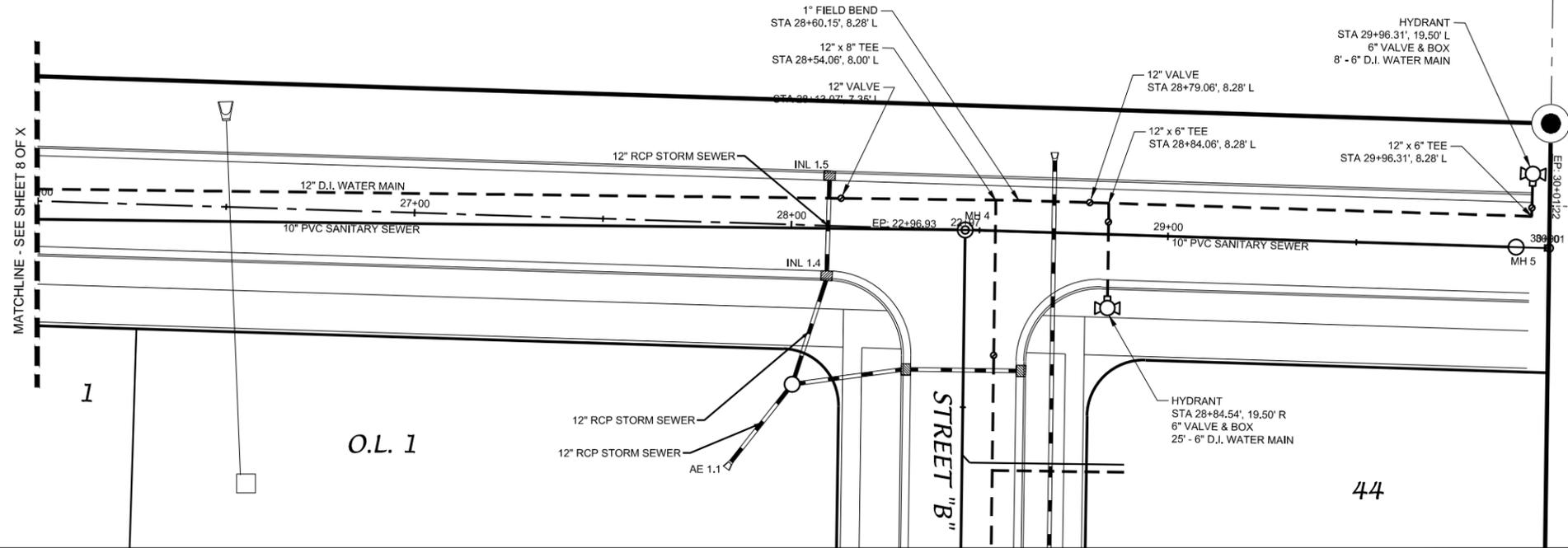
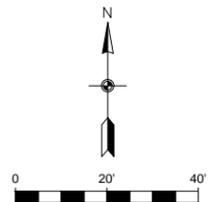


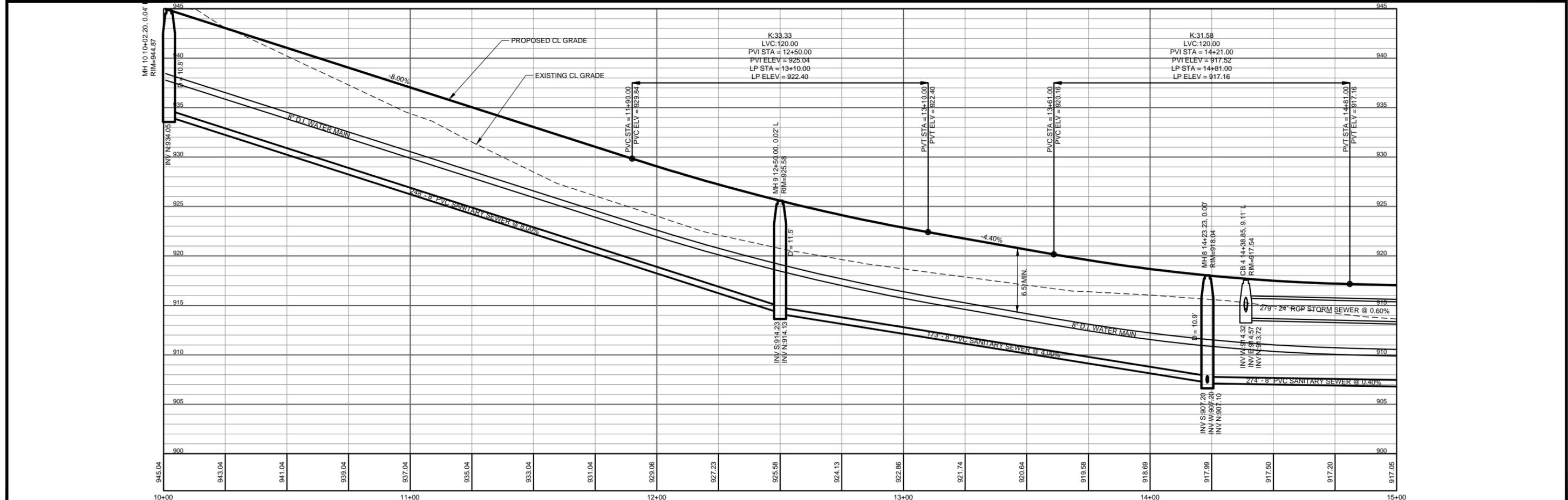
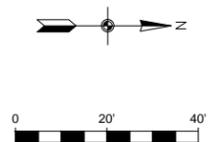
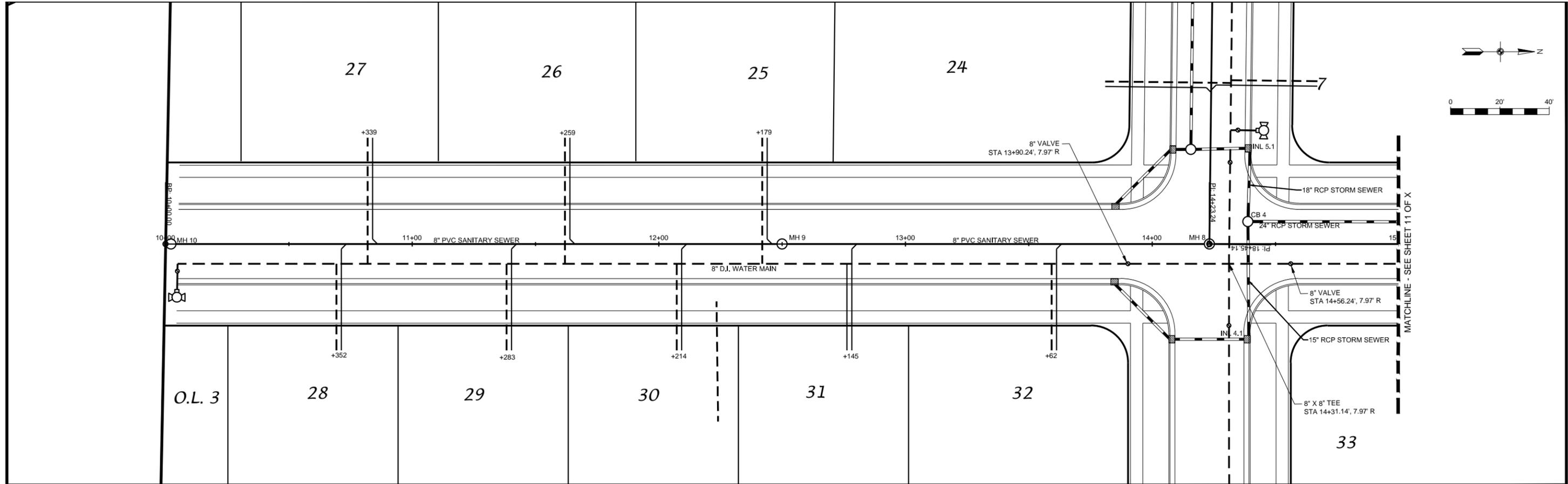
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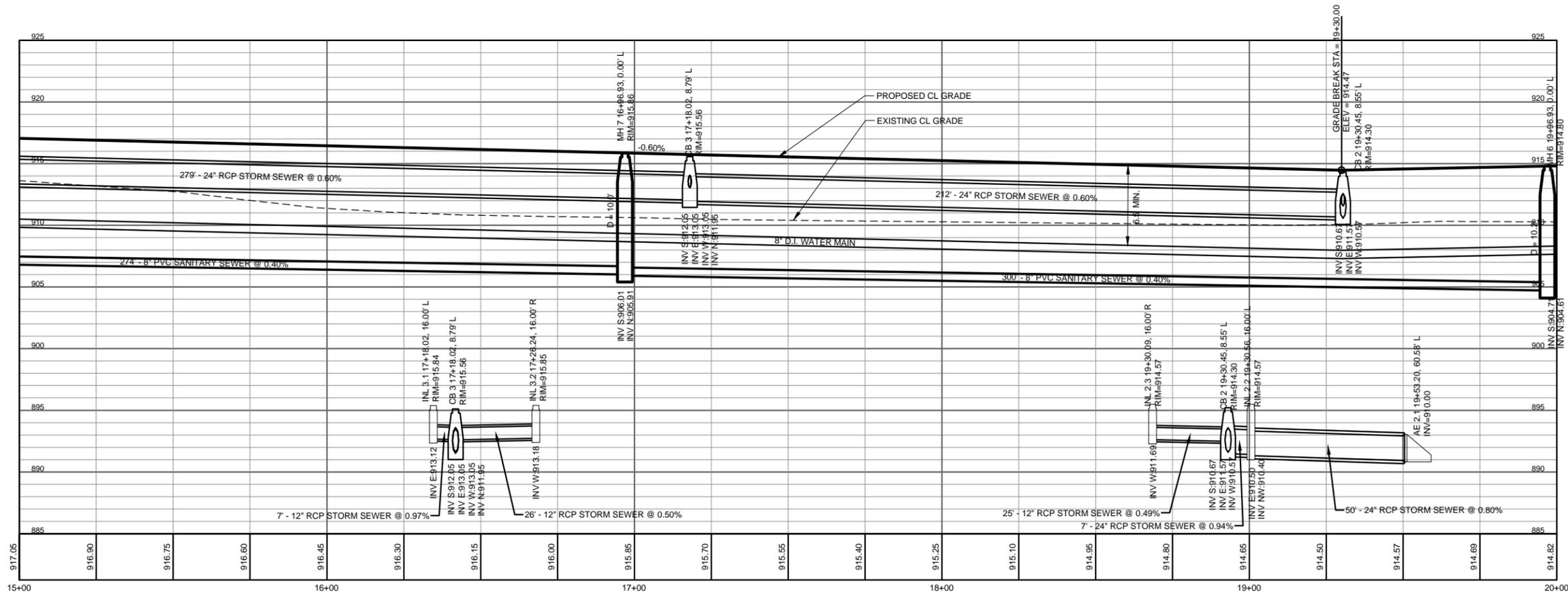
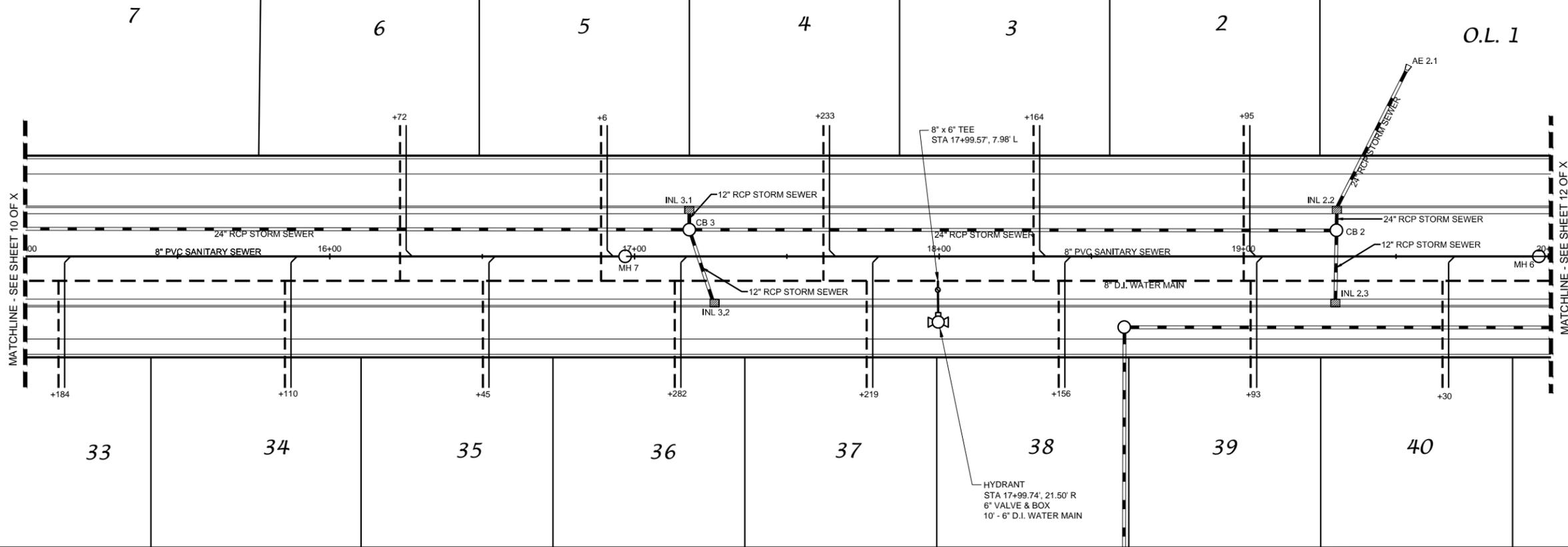


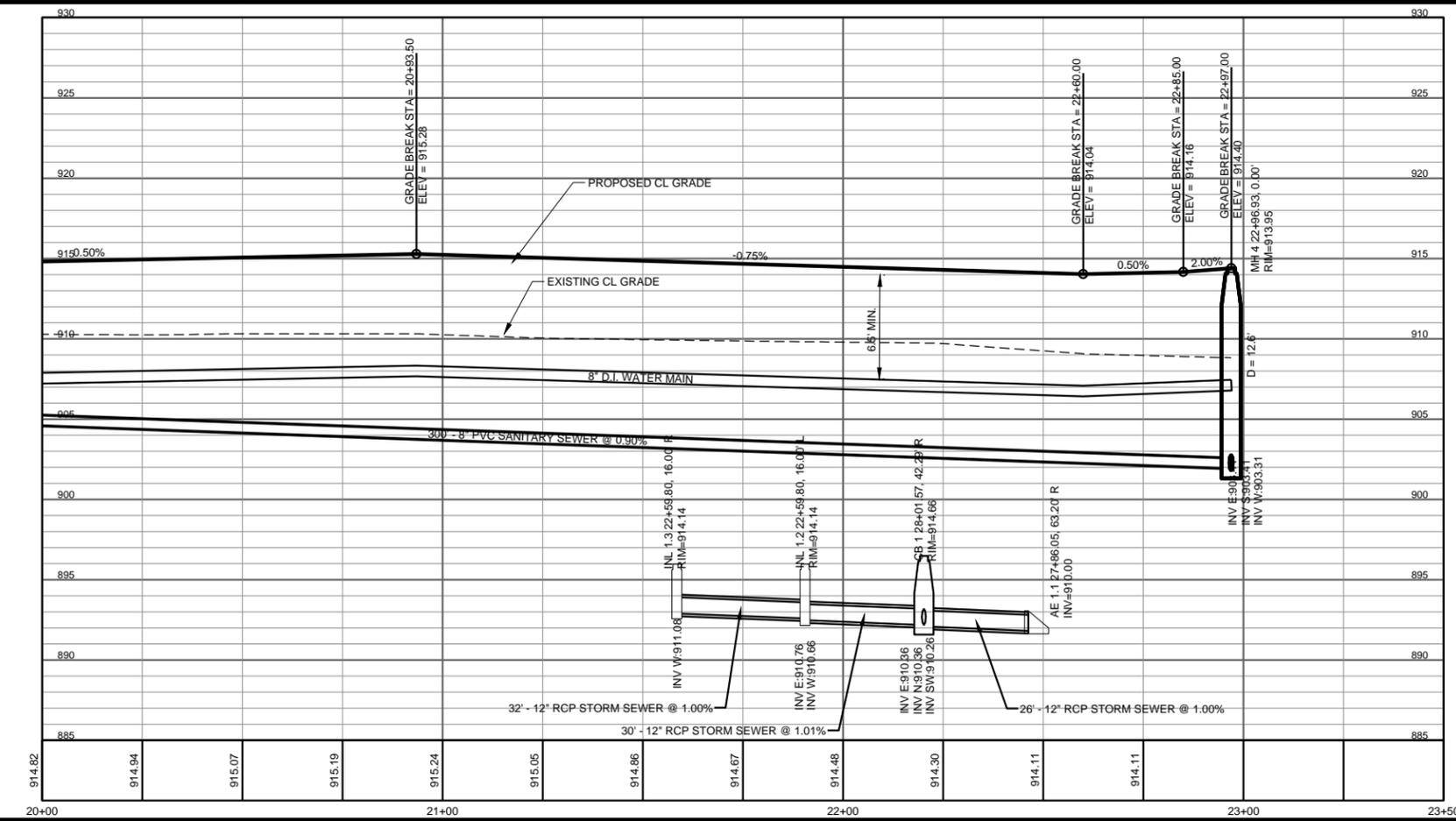
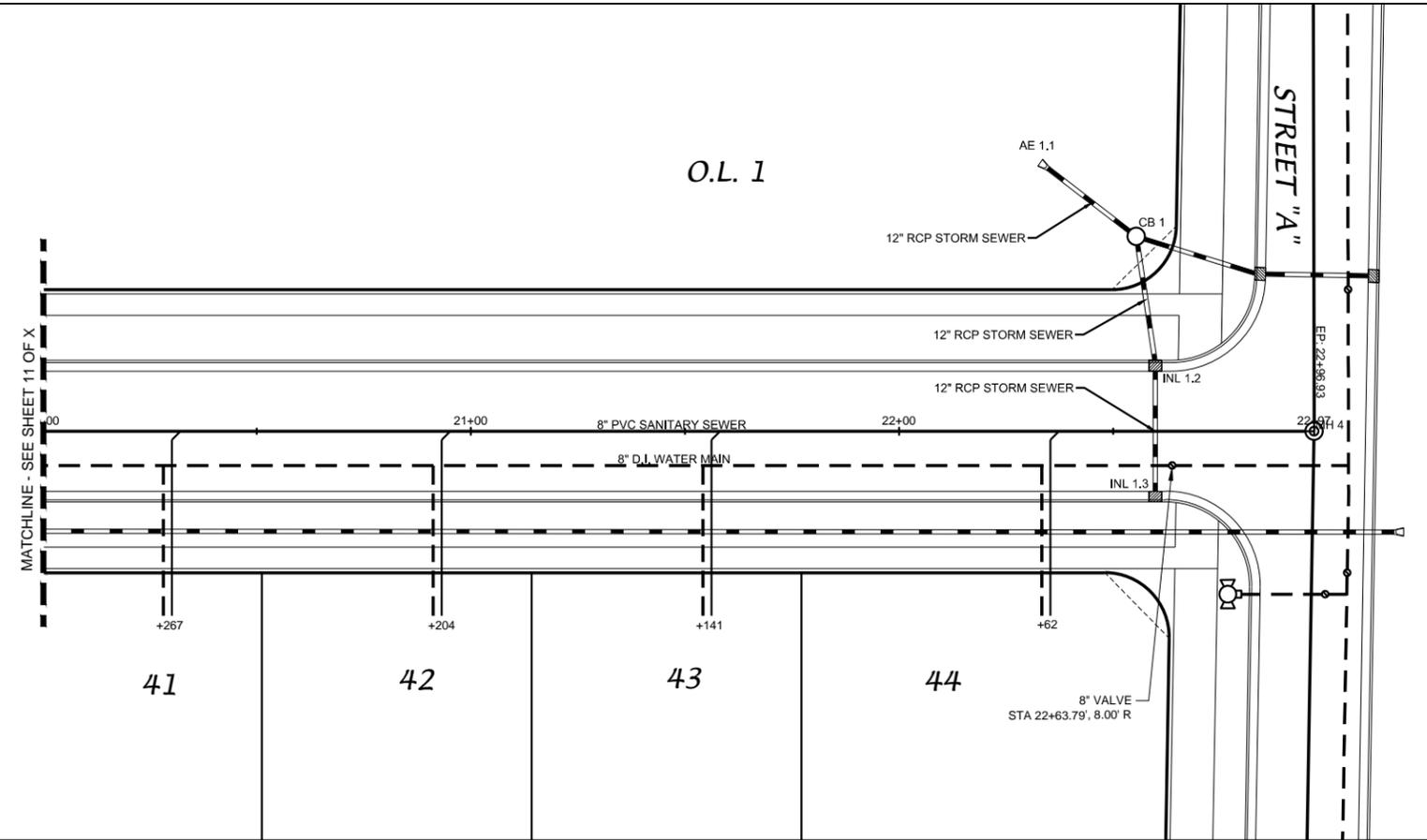
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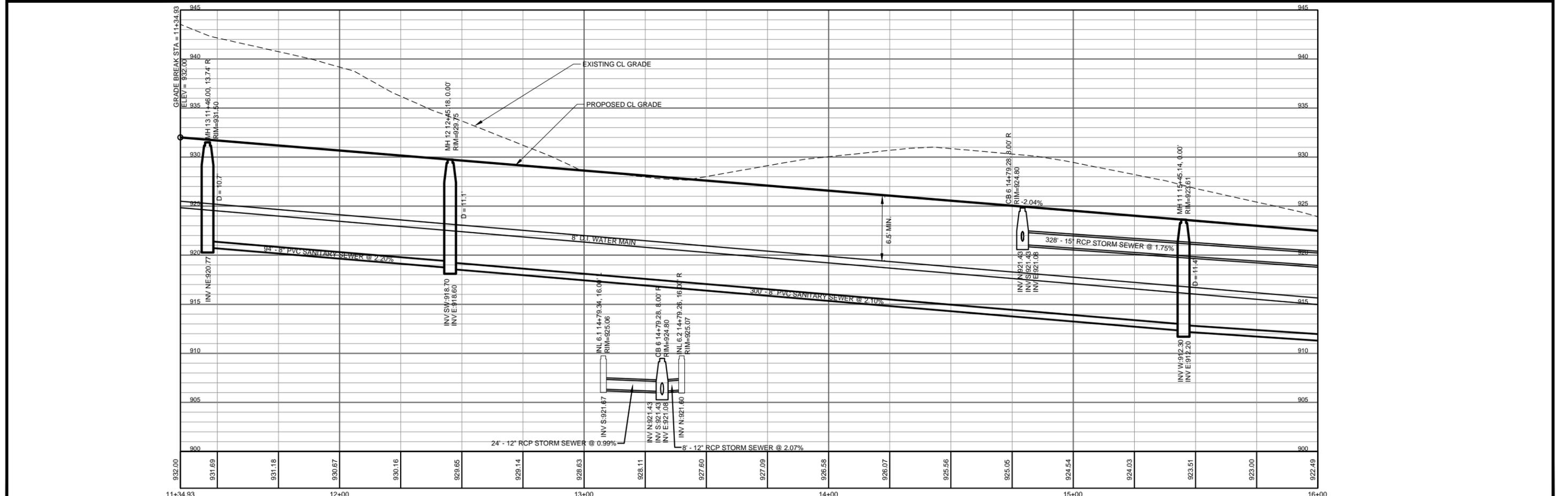
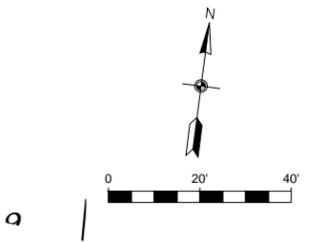
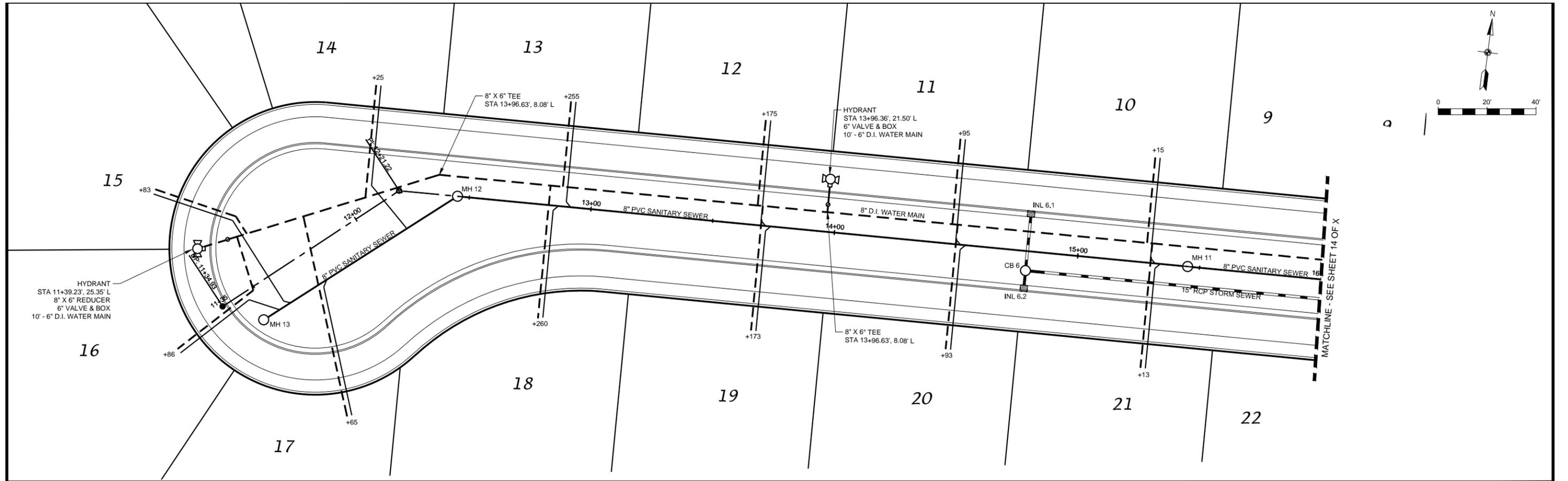


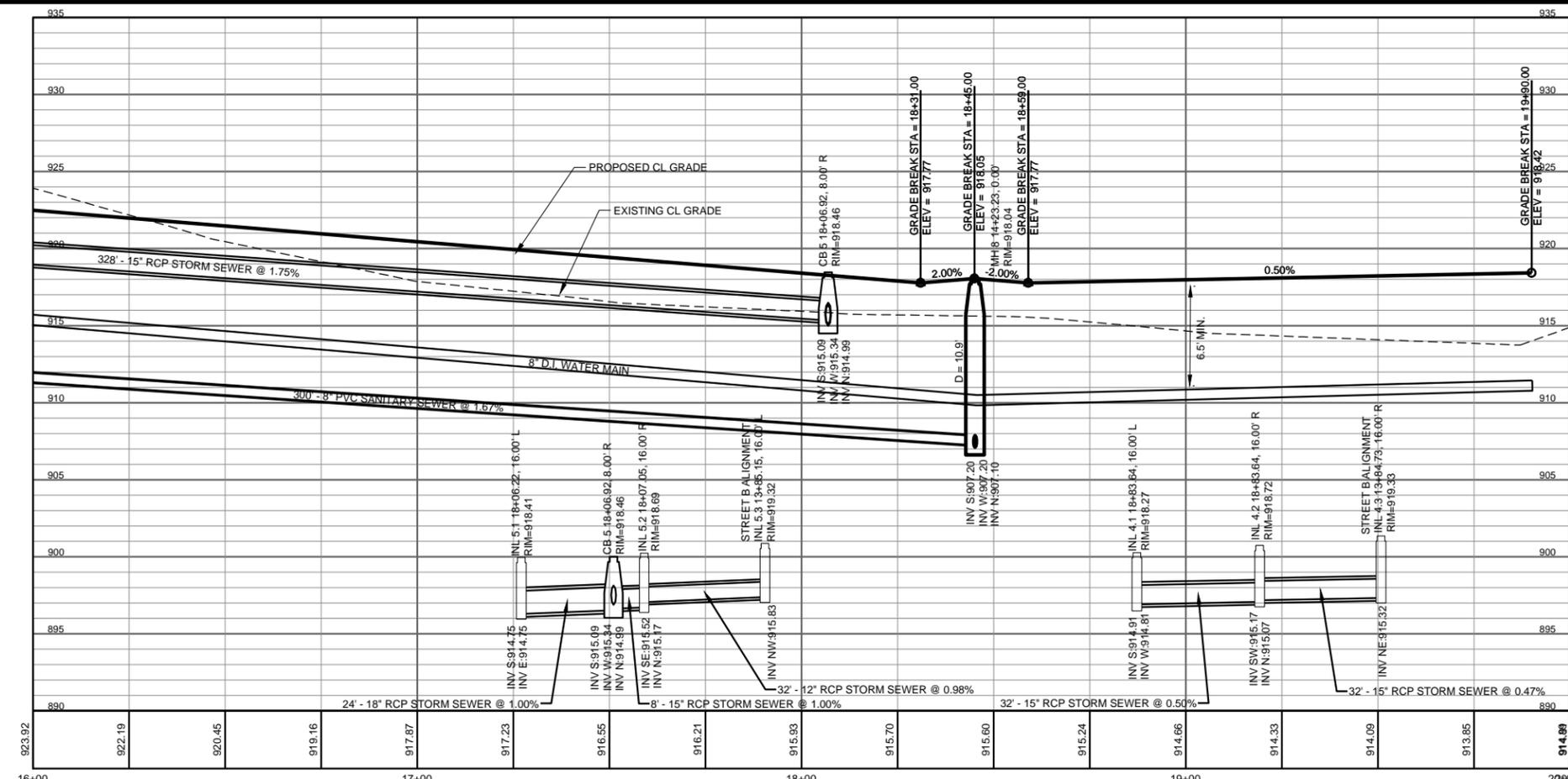
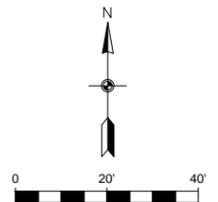
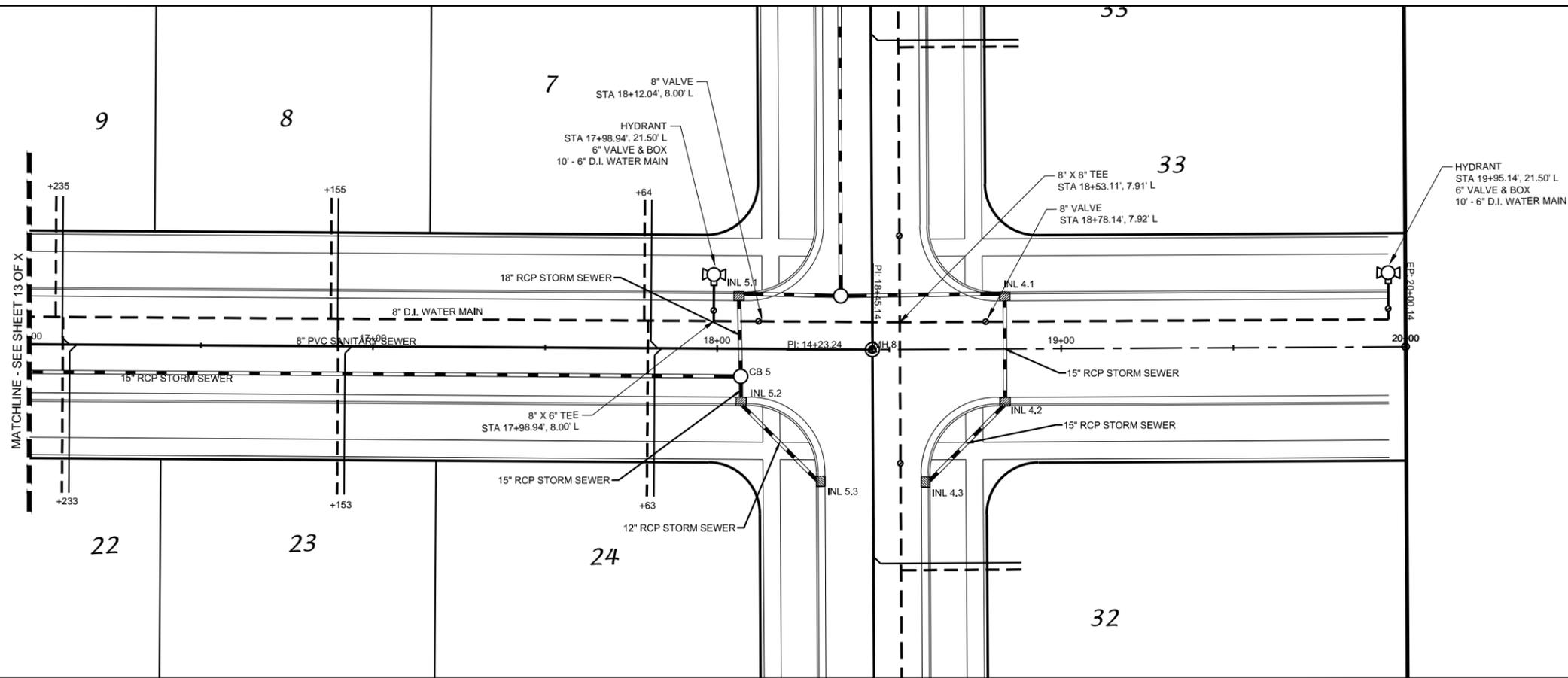












DESIGN STANDARDS

SECTION 83.76 Street Arrangement.

In any new subdivision the street layout shall conform to the arrangement, width and location indicated on the Official Map, Comprehensive Plan or component neighborhood development plan of the Village. In areas for which such plans have not been completed, the street layout shall recognize the functional classification of the various types of streets and shall be developed and located in proper relation to existing and proposed streets, to the topography, to such natural features as streams and tree growth, to public convenience and safety, to the proposed use of the land to be served by such streets, and to the most advantageous development of adjoining areas. Each lot of a subdivision shall have direct access to a public street.

- (a) **Arterial Streets.** Arterial streets shall be arranged so as to provide ready access to centers of employment, centers of governmental activity, community shopping areas, community recreation, and points beyond the boundaries of the community. They shall also be properly integrated with and related to the existing and proposed system of major streets and highways and shall be, insofar as practicable, continuous and in alignment with existing or planned streets with which they are to connect.
- (b) **Collector Streets.** Collector streets shall be arranged so as to provide ready collection of traffic from residential areas and conveyance of this traffic to the major street and highway system and shall be properly related to the mass transportation system, to special traffic generators such as schools, churches, shopping centers and other concentrations of population, and to the major streets into which they feed.
- (c) **Local Streets.** Local streets shall be arranged to conform to the topography, to discourage use by through traffic, to permit the design of efficient storm and sanitary sewerage systems, and to require the minimum street area necessary to provide safe and convenient access to abutting property.
- (d) **Proposed Streets.** Proposed streets shall extend to the boundary lines of the tract being subdivided unless prevented by topography or other physical conditions or unless, in the opinion of the Plan Commission, such extension is not necessary or desirable for the coordination of the layout of the subdivision or for the advantageous development of the adjacent tracts. Temporary turnarounds may be required where the street ends at the boundary of the subdivision.
- (e) **Arterial Street and Highway Protection.** Whenever the proposed subdivision contains or is adjacent to a major street or highway, adequate protection of residential properties, limitation of access and separation of through and local traffic shall be provided by reversed frontage, with screen planting contained in a nonaccess reservation along the rear property line, or by the use of frontage streets.

- (f) **Reserve Strips.** Reserve strips controlling access to streets or alleys are prohibited except where control of such strips is placed with the Village under conditions approved by the Plan Commission.
- (g) **Alleys.** Alleys shall be allowed in commercial and industrial districts for off-street loading and service access. Alleys shall not be used in residential areas unless approved by the Village Board. Alleys shall not be less than 24 feet wide and shall be continuous through blocks. Dead-end alleys shall not be approved, and alleys shall not connect to an arterial street.
- (h) **Public Rights-of-way.** Private improvements, including but not limited to buildings and landscaping, are prohibited within public rights-of-way. The Village shall not be responsible for damage caused to private improvements in the public right of way.

SECTION 83.77 Street Names and Building Numbers.

- (a) Duplication of existing street names by similar word, spelling, or sound shall not be permitted.
- (b) Where a street maintains the same general direction except for curvilinear changes for short distances, the same name shall continue for the entire length of the street. House numbering difficulties shall be considered the determining factor in considering whether a change of name is necessary due to curvilinear changes.
- (c) A street name shall be changed when required to conform to the proposed or existing house numbering base.
- (d) A name assigned to a street which is not presently a through street, due to intervening land over which the street extension is planned, shall be continued for the separate portions of the planned through street.
- (e) For purposes of consistency, the following street designations shall be used only in the situations indicated. Other terms may be used so long as they are not inconsistent with the below designations.
 - (1) **Boulevard:** a street with a divided pavement either existing or planned. If the divided pavement ends but the street continues, the same street name and suffix shall continue.
 - (2) **Lane:** a street, one block long, not ending in a cul-de-sac.
 - (3) **Circle:** a cul-de-sac of nine lots or more.
 - (4) **Court:** a cul-de-sac of eight lots or fewer.
 - (5) **Parkway:** a street abutting a park or greenway or creek.
- (f) The maximum number of street names at one intersection shall be three.
- (g) Street names shall be assigned so that two intersections shall not have the same exact street names.
- (h) The name of any projection of a street shall remain unchanged even if the projection terminates in a cul-de-sac.

- (i) The changing of a street name that does not duplicate an existing street name shall only be approved where such change will eliminate conflicts with other provisions of this section.
- (j) Service roads and highways served by them shall have the same street name and designation.
- (k) Approval of street names on a preliminary plat will not reserve the names, nor shall the Village be required to accept such names at the time of final platting.
- (l) A minimum number of letters is desirable in a street name. The number of letters, not including the prefix or suffix, shall not exceed 12.

SECTION 83.78 Limited Access Highways and Railroad Rights-of-way.

Whenever the proposed subdivision contains or is adjacent to a limited access highway or railroad right-of-way, the design shall provide the following treatment:

- (a) In all residential districts, a buffer strip at least 30 feet in depth, in addition to the normal lot depth required, shall be provided adjacent to a railroad right-of-way or a limited access arterial street. The lot depth required, including such buffer strip, shall not be less than 150 feet. The strip shall be a part of the platted lots but shall have the following restrictions lettered on the face of the plat:
 - “This strip reserved for the planting of trees or shrubs by the owner; the building of structures hereon is prohibited, and the rear 30 feet of the strip shall not be counted as any required yard. Maintenance of this strip is a responsibility of the lot owner.”
- (b) Commercial and industrial districts shall have, on each side of the limited access highway or railroad, streets approximately parallel to and at a suitable distance from such highway or railroad (not less than 150 feet) for the appropriate use of the land between such streets and highway or railroad.
- (c) Streets parallel to a limited access highway or railroad right-of-way shall, when intersecting a major street and highway or collector street which crosses said railroad or highway, be located at a minimum distance of 250 feet from said highway or railroad right-of-way. Such distance, where desirable and practicable, shall be determined with due consideration of the minimum distance required for the future separation of grades by means of appropriate approach gradients.
- (d) The location of local streets immediately adjacent and parallel to railroad rights-of-way, and in residential areas immediately adjacent to arterial streets and highways and to railroad rights-of-way, shall be avoided.

SECTION 83.79 Street Design Standards.

- (a) **Minimum Right-of-way and Street Surface Width.** The minimum right-of-way (ROW) and street surface width (curb face to curb face) of all proposed streets and alleys shall be the width specified by the Comprehensive Plan, Official Map or

neighborhood development plan, or, if no width is specified therein, the minimum width shall be as follows:

Type of Street	ROW Width (feet)	Curb Face to Curb Face Width (feet)
Arterial	120	40
Collector and Local	66	28
Frontage	66	28
Alley	24	18

The actual street surface width shall be determined by the Village Board following recommendation by the Village engineer, Director of Public Facilities and the Plan Commission.

(b) Cul-de-sac Streets.

- (1) Streets designed to have one end permanently closed shall not exceed 1,600 feet in length.
- (2) Except as provided in Subsection (b)(3), streets which are designed to have one end permanently closed shall terminate in a circular turnaround having a minimum right-of-way diameter of 120 feet and a minimum outside curb diameter of 86 feet. The reverse curve on a cul-de-sac shall have a fifty-foot minimum radius when the bulb is centered on the street and a one-hundred-foot minimum radius when the bulb is offset.
- (3) All streets which are designed to have one end permanently closed in business, commercial, industrial and manufacturing areas shall terminate in a circular turnaround having a minimum right-of-way diameter of 130 feet and a minimum outside curb diameter of 96 feet. The reverse curve on a cul-de-sac shall have a fifty-foot minimum radius when the bulb is centered on the street and a one-hundred-foot minimum radius when the bulb is offset.
- (4) All lots on cul-de-sacs shall be required to group mailboxes together in a location approved by the Village Director of Public Facilities

(c) Street Grades.

- (1) The maximum street grades shall not exceed the following:
 - a. Arterial streets and highways: 6%.
 - b. Collector and local streets and alleys: 8%.
 - c. Pedestrian ways: 10% unless steps of acceptable design are provided.
- (2) Where necessitated by exceptional topography and where approved by the Village Engineer, Plan Commission and Village Board, the above grades may be exceeded, but in no event shall the grade of any street exceed 12% or be less than 0.50%.

- (3) All changes in street grades shall provide sight distances as conditions require as determined by the Village Engineer. Sight distance calculations shall be done in accordance with the provisions of the Wisconsin Department of Transportation Facilities Development Manual.
 - (4) Street grades shall be established wherever practicable in such a manner to avoid excessive grading, the excessive removal of ground cover and tree growth and general leveling of the topography.
- (d) **Radii of Curvature.**
- (1) When a continuous street center line deflects at any one point by more than 10°, a circular curve shall be introduced having a radius of curvature on said center line of not less than the following:
 - a. Arterial streets and highways: 500 feet.
 - b. Collector streets: 300 feet.
 - c. Local streets: 150 feet.
 - (2) A tangent at least 100 feet in length shall be provided between reverse curves on arterial and collector streets.
- (e) **Half Streets.** Where an existing dedicated or platted half street is adjacent to the tract being subdivided, the other half of the street shall be dedicated by the subdivider. Streets less than full width on the boundary of the tract being subdivided shall not be less than a width sufficient to produce a full pavement, a full terrace on the plat side and a reserve strip as determined by the Plan Commission.
- (f) **Storm Drainage.** Storm sewer systems shall be provided on all streets to accommodate the post-development runoff resulting from a ten-year, twenty-four-hour rainfall event. Street inlets on local and marginal access streets shall be placed so that temporary accumulations of storm runoff from ponding or flowing water are limited such that water cannot flow across the crown of the street from one side to the other. Street inlets on collector and arterial streets shall be placed so that temporary accumulations of storm runoff from ponding or flowing water are limited such that water cannot reach to within 10 feet of the center line of the street. Valley gutters across intersections shall be permitted only on cul-de-sac or dead-end streets serving fewer than 10 dwelling units and where the minimum grade on the valley gutter and the downstream gutter to the next inlet is not less than 1%. The post-development runoff resulting from a one-hundred-year, twenty-four-hour rainfall shall be contained within the street right-of-way to the point where such runoff reaches a suitably designed drainage channel or perennial watercourse.

SECTION 83.80 Street Intersections.

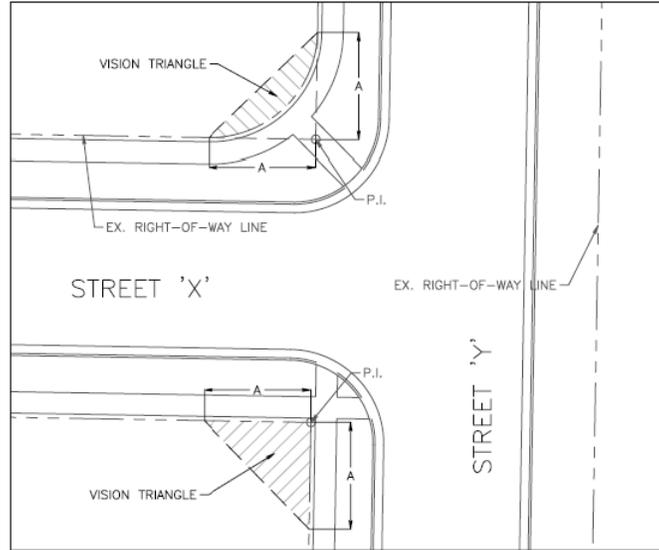
- (a) Streets shall intersect each other at as nearly right angles as topography and other limiting factors of good design permit.
- (b) The number of streets converging at one intersection shall not be more than two.

- (c) The number of intersections along major streets and highways shall be held to a minimum. Wherever practicable the distance between such intersections shall not be less than 1,200 feet.
- (d) Property lines at street intersections shall be rounded with a minimum radius of 15 feet, except that at all intersections along collector and arterial streets the radius shall be increased to 25 feet. The Plan Commission may require a larger radius where desirable.
- (e) Local streets shall not necessarily continue across arterial or collector streets, but if the center lines of such minor streets approach the major streets from opposite sides within 150 feet of each other, measured along the center line of the arterial or collector street, then the location shall be so adjusted that the adjoinment across the major or collector street is continuous and a jog is avoided.
- (f) Radii at the face of curbs at intersections shall be a minimum of 20 feet.

SECTION 83.81 Visibility at Intersections.

- (a) **Purpose.** The purpose of this section is to alleviate or prevent congestion of public rights-of-way so as to promote the safety and general welfare of the public by establishing minimum requirements for the provision of vehicular visibility.
- (b) **Requirement.**
 - (1) No obstructions are permitted between 2 ½ feet and 10 feet above the plane through the mean curb grade within the triangular space formed by existing or proposed intersecting street or railroad right-of-way lines and a line connecting points on the right-of-way lines as follows:
 - a. Fifty feet along the right-of-way of USH 14, CTH KP, CTH P, Bourbon Road, Brewery Road and Thinnes Street/Airport Road.
 - b. Fifty feet along the right-of-way of any street from its intersection with a railroad right-of-way.
 - c. Twenty-five feet along the right-of-way of all other public streets.
 - d. Twenty-five feet along the right-of-way of all private roads and drives as specified by the Village Engineer.

A: 50' MIN. (COLLECTOR & ARTERIAL STREETS)
 25' MIN. (ALL OTHER STREETS)
 P.I. = POINT OF INTERSECTION



- (2) Within said triangular area, no signs, parking spaces, structures, or earthwork in excess of 30 inches and no vegetation, fencing, or other such obstructions between 30 inches and 10 feet in height shall be permitted above either of the center-line elevations of said two streets.
- (c) **Depiction on Required Site Plan.** Except on property in the Central Business District where no requirement is imposed, any and all visibility triangles located on the subject property shall be depicted as to their location and configuration on final plat, certified survey map and the site plan required for the development of the subject property.

SECTION 83.82 Blocks.

- (a) **Purpose.** The widths, lengths, and shapes of blocks shall be suited to the planned use of the land; zoning requirements; need for convenient access, control and safety of street traffic; and the limitations and opportunities of topography.
- (b) **Length.** Blocks in residential areas shall not as a general rule be less than 600 feet nor more than 1,500 feet in length unless otherwise dictated by exceptional topography or other limiting factors of good design.
- (c) **Pedestrian Ways.** Pedestrian ways of not less than 10 feet in width may be required near the center and entirely across any block over 900 feet in length where deemed essential by the Village Plan Commission to provide adequate pedestrian circulation or access to schools, shopping centers, churches or transportation facilities.
- (d) **Width.** Blocks shall have sufficient width to provide for two tiers of lots of appropriate depth except where otherwise required to separate residential development from through traffic. Width of lots or parcels reserved or laid out for

commercial or industrial use shall be adequate to provide for off-street service and parking required by the use contemplated and the area zoning restrictions for such use.

- (e) **Utility Easements.** All utility lines for electric power and telephone service shall be placed separate from road right-of-way on mid-block easements along rear lot lines whenever carried on overhead poles.

SECTION 83.83 Lots.

These minimums are consistent with SR-4 Zoning but not the newest district of SR-5. Variance is needed from these minimum standards in order to allow for the use of SR-5 in the preliminary plat as planned.

- (a) The size, shape, and orientation of lots shall be appropriate for the location of the subdivision and for the type of development and use contemplated. The lots should be designed to provide an aesthetically pleasing building site and a proper architectural setting for the buildings contemplated.
- (b) Double frontage and reverse frontage lots shall be prohibited.
-  (c) Residential lots shall have a minimum area of 9,600 square feet and a minimum width of 80 feet at the building line; provided, however, that the requirements of the zoning regulations insofar as they may specify greater areas or distance shall be complied with.
- (d) Residential lots to be served by private sewage disposal facilities shall comply with the rules of the Wisconsin Department of Commerce.
- (e) Every lot shall front or abut on a public street for a distance of at least 50 feet.
- (f) Side lot lines shall be substantially at right angles or radial to street lines.
- (g) Lots shall follow municipal boundary lines whenever practicable, rather than cross them.
- (h) Side lot lines shall be as nearly as possible at right angles to straight street lines or radial to curved street lines on which the lots face.
- (i) Corner lots shall have sufficient width to permit adequate building setbacks from side streets.
- (j) Excessive depth in relation to width shall be avoided and a proportion of 1.5 to one shall be considered as an acceptable ratio under normal conditions.
- (k) Residential lots fronting or backing on arterial streets shall be platted with extra depth to permit generous distances between the buildings and such trafficways.
- (l) Depth and width of properties reserved or laid out for commercial or industrial use shall be adequate to provide for the off-street service and parking facilities required by the type of use and development contemplated.
- (m) Whenever a tract is subdivided into large parcels, such parcels shall be arranged and dimensioned as to allow resubdivision of any such parcels into normal lots in accordance with the provisions of this chapter.
- (n) Lands lying between the meander line and the water's edge and any otherwise unplattable lands which lie between a proposed subdivision and the water's edge shall be included as part of lots, outlots or public dedications in any plat abutting a lake or stream.

- (o) Lot drainage patterns shall be indicated on the plat (or a separate sheet recorded with the plat) and shall take into account flow conditions from off site as well as outflow onto downstream properties. As-built grading plans showing the completed ground elevation at each lot corner and significant changes in grade along each side and rear lot line shall be provided to the Village. Benchmarks shall be provided on the northernmost nut on the flange of fire hydrants nearest to each lot.
- (p) Unless specifically waived by the Village Director of Public Facilities, the first floor and garage floor elevations shall be at least one vertical foot above the top of curb (or street center-line elevation if there is no curb) at the lowest curb elevation in the street adjacent to the lot. The lowest building opening elevation shall be at least two vertical feet above the lowest lot corner. The first habitable floor and garage floor elevations and building opening elevation shall be shown on the face of the plat or certified survey map (or on a separate sheet recorded with the plat).

SECTION 83.84 Building Setback Lines.

Where not adequately controlled by zoning regulations, building setback lines appropriate to the location and type of development contemplated shall be established by the Plan Commission.

SECTION 83.85 Utility and Drainage Easements.

(a) Underground Utility Service.

- (1) All new electric distribution lines (excluding lines of 12,000 volts or more), all new telephone lines from which lots are individually served, and all cable television communication lines and services installed within a newly platted area, mobile home park, cluster development or planned development shall be underground unless the Plan Commission shall specifically find after study that:
 - a. The placing of such facilities underground would not be compatible with the planned development;
 - b. Location, topography, soil, water table, solid rock, boulders, stands of trees, hedges or other physical conditions would make underground installation unreasonable or impracticable; or
 - c. The lots to be served by said facilities can be served directly from existing overhead facilities.
- (2) Associated equipment and facilities which are appurtenant to underground electric and communications systems, such as, but not limited to, substations, pad-mounted transformers, pad-mounted sectionalizing switches and above-grade pedestal-mounted terminal boxes, may be located aboveground.

- (3) The subdivider or its agent shall furnish proof to the Plan Commission that such arrangements as may be required under applicable rates and rules filed with the Public Service Commission of Wisconsin have been made with the owner or owners of such lines or services for placing their respective facilities underground as required by this section, as a condition precedent to approval of the final plat, site plan or certified survey map.
 - (4) Temporary overhead facilities may be installed to serve a construction site or where necessary because of severe weather conditions. In the latter case, within a reasonable time after weather conditions have moderated or upon completion of installation of permanent underground facilities, such temporary facilities shall be replaced by underground facilities and the temporary facilities removed, subject to any exception permitted by the Plan Commission under this subsection.
- (b) **Easement Conditions.**
- (1) Adequate easements shall be provided and dedicated on each side of all rear lot lines, and on side lot lines where necessary, for the installation of storm and sanitary sewers, gas, water, and electric lines, and telephone and cable television communication lines. Such easements as required by the Village or other private utility lines shall be noted as “Utility Easements” on the final plat or certified survey map. Prior to approval of the final plat or certified survey map, the concurrence of the electric, telephone and cable television communications companies serving the area as to the location and width of the utility easements shall be noted on the final plat or certified survey map. All easements for storm and sanitary sewers, water, bike paths and pedestrian walks, and other public purposes shall be noted thereon as “Public Easement for” followed by reference to the use or uses for which they are intended.
 - (2) Where the electric and communications facilities are to be installed underground, the utility easements shall be graded to within six inches of final grade by the subdivider, prior to the installation of such facilities, and earth fill, piles or mounds of dirt shall not be stored on such easement areas. Utility facilities when installed on utility easements, whether overhead or underground, shall not disturb any monumentation in the plat.
 - (3) Where the electric and/or communications facilities are to be installed underground, a plat restriction shall be recorded with the final plat or certified survey map stating that the final grade established by the subdivider on the utility easements shall not be altered by more than six inches by the subdivider, its agent, or by subsequent owners of the lots on which such utility easements are located, except with written consent of the utility or utilities involved. The purpose of this restriction shall be to notify initial and future lot owners of the underground facilities at the time of purchase and to establish responsibility in the event of damage to such facilities or the need to alter such facilities. When the utility company uses

a service application, said application should also notify the initial and subsequent lot owners of their responsibility regarding such underground facilities.

- (c) **Drainage Easements.** Where a subdivision is traversed by a watercourse, drainageway, channel or stream, or stormwater runoff needs to be addressed, an adequate drainageway or easement shall be provided as required by the Plan Commission. The location, width, alignment and improvement of such drainageway or easement shall be subject to the approval of the Plan Commission, and parallel streets or parkways may be required in connection therewith. However, all such drainageways or easements shall be a minimum of 20 feet wide. Wherever possible, the stormwater drainage shall be maintained by landscaped, open channels of adequate size and grade to hydraulically accommodate maximum potential flow volumes. These sizes and design details are subject to review and approval by the Village Engineer, Plan Commission and Village Parks, Recreation and Conservancy Commission. In addition to the requirements of Chapter 65 of this Code regarding erosion control and stormwater runoff, the subdivider shall provide all necessary easements and facilities to transport the water off the platted area in a manner satisfactory to the Village Engineer and Village Board. Drainageways should substantially maintain existing water flow patterns onto neighboring lands.

SECTIONS 83.86 – 83.88 Reserved

REQUIRED IMPROVEMENTS

SECTION 83.89 Private Obstructions in Public Rights-of-way.

No private obstructions shall be permitted within the public right-of-way. The Village shall not be responsible for any damage to private obstructions as a result of public improvement projects.

SECTION 83.90 Streets.

Standard street improvements, including concrete curb and gutter, shall be installed in all subdivisions and land divisions within the corporate limits and in any land division or subdivision located within the extraterritorial jurisdiction area where required by the Plan Commission.

SECTION 83.91 Municipal Sanitary Sewers and Water Supply Systems.

SECTION 84.29 (SR-4) Single Family Residential – 4 Zoning District.

- (a) **Intent.** This district intends to create, preserve, and enhance areas for moderate density single family detached dwellings at an approximate density of 4 dwelling units per acre.
- (b) **Principal Uses Permitted by Right.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Single Family
 - (2) Selective Cutting
 - (3) Community Garden
 - (4) Outdoor Open Space Institutional
 - (5) Passive Outdoor Recreation
 - (6) Essential Services
 - (7) Small Scale Public Services and Utilities
 - (8) Community Living Arrangement (1-8 residents) meeting the requirements of Section 84.57(h)
- (c) **Principal Uses Permitted as Conditional Use.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Cultivation
 - (2) Clear Cutting
 - (3) Indoor Institutional
 - (4) Community Living Arrangement (9-15 residents) meeting the requirements of Section 84.57(i)
 - (5) Bed and Breakfast
 - (6) Large Wind Energy System
 - (7) Large Solar Energy System
- (d) **Accessory Uses Permitted by Right.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Home Occupation
 - (2) In-Home Daycare (4-8 children)
 - (3) In-Family Suite
 - (4) Residential Accessory Structure
 - (5) Nonresidential Accessory Structure
 - (6) Recreational Facility
 - (7) Landscape Feature
 - (8) Residential Kennel
 - (9) On-Site Parking
 - (10) Satellite Dish
 - (11) Personal Antenna and Towers
 - (12) Communication Antenna
- (e) **Accessory Uses Permitted as Conditional Use.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Accessory Dwelling Unit

- (2) Residential Chicken Coop
 - (3) Residential Apiary
 - (4) Small Wind Energy System
 - (5) Small Solar Energy System
- (f) **Temporary Uses.** Refer to Article III for detailed definitions and requirements for each of the following land uses. (Exempt from setbacks unless specified in Article III.)
- (1) Temporary Outdoor Assembly
 - (2) Temporary Shelter Structure
 - (3) Temporary Storage Container
 - (4) Temporary On-Site Construction Storage
 - (5) Temporary Contractor’s Project Office
 - (6) Temporary On-Site Real Estate Sales Office
 - (7) Temporary Relocatable Building
 - (8) Garage or Estate Sale
- (g) **Density, Intensity, and Bulk Regulations for the (SR-4) Single Family Residential – 4 District.**

	Residential Uses	Nonresidential Uses
Minimum Lot Area	9,600 square feet	9,600 square feet
Maximum Density	4 dwelling units per acre	N/A
Minimum Lot Frontage	50 feet	50 feet
Maximum Building Coverage of Lot	50 percent	50 percent
Minimum Landscape Surface Ratio	35 percent	35 percent
Minimum Lot Width	80 feet	80 feet
Minimum Front Setback	25 feet	25 feet
Minimum Street Side Setback	25 feet	25 feet
Minimum Side Setback	10 feet	15 feet
Minimum Rear Setback	25 feet	25 feet
Maximum Principal Building Height	35 feet	35 feet
Minimum Principal Building Separation (multi-structure developments on shared lots)	20 feet	30 feet
Minimum Pavement Setback (lot line to pavement; excludes driveway entrances)	5 feet from side, or 0 feet for shared driveway; 10 feet from right of way or rear	5 feet from side, or 0 feet for shared driveway; 10 feet from right of way or rear
Minimum Parking Required	See Article III	See Article III
Minimum Garage Door Setback to Alley (if applicable)	8 feet for doors parallel to alley; 3 feet for door perpendicular to alley	8 feet for doors parallel to alley; 3 feet for door perpendicular to alley
Accessory Building Side Setback	10 feet	10 feet
Accessory Building Rear Setback	10 feet	10 feet
Maximum Accessory Building Height	Lesser of 15 feet or principal building height	20 feet

- (h) **Regulations Applicable to All Uses.** Most development will also be subject to the following requirements:
- (1) Article VI: Overlay Zoning Districts
 - (2) Article VII: Performance Standards
 - (3) Article VIII: Landscaping Regulations
 - (4) Chapter 87: Signage Regulations

SECTION 84.30 (SR-5) Single Family Residential – 5 Zoning District.

- (a) **Intent.** This district intends to create, preserve, and enhance areas for moderate density single family detached dwellings at an approximate density of 5 dwelling units per acre.
- (b) **Principal Uses Permitted by Right.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Single Family
 - (2) Two Flat
 - (3) Selective Cutting
 - (4) Community Garden
 - (5) Outdoor Open Space Institutional
 - (6) Passive Outdoor Recreation
 - (7) Essential Services
 - (8) Small Scale Public Services and Utilities
 - (9) Community Living Arrangement (1-8 residents) meeting the requirements of Section 84.57(h)
- (c) **Principal Uses Permitted as Conditional Use.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Cultivation
 - (2) Clear Cutting
 - (3) Indoor Institutional
 - (4) Community Living Arrangement (9-15 residents) meeting the requirements of Section 84.57(i)
 - (5) Bed and Breakfast
 - (6) Large Wind Energy System
 - (7) Large Solar Energy System
- (d) **Accessory Uses Permitted by Right.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Home Occupation
 - (2) In-Home Daycare (4-8 children)
 - (3) In-Family Suite
 - (4) Residential Accessory Structure
 - (5) Nonresidential Accessory Structure
 - (6) Recreational Facility
 - (7) Landscape Feature
 - (8) Residential Kennel
 - (9) On-Site Parking
 - (10) Satellite Dish
 - (11) Personal Antenna and Towers
 - (12) Communication Antenna
- (e) **Accessory Uses Permitted as Conditional Use.** Refer to Article III for detailed definitions and requirements for each of the following land uses.

- (1) Residential Chicken Coop
 - (2) Residential Apiary
 - (3) Small Wind Energy System
 - (4) Small Solar Energy System
- (f) **Temporary Uses.** Refer to Article III for detailed definitions and requirements for each of the following land uses. (Exempt from setbacks unless specified in Article III.)
- (1) Temporary Outdoor Assembly
 - (2) Temporary Shelter Structure
 - (3) Temporary Storage Container
 - (4) Temporary On-Site Construction Storage
 - (5) Temporary Contractor’s Project Office
 - (6) Temporary On-Site Real Estate Sales Office
 - (7) Temporary Relocatable Building
 - (8) Garage or Estate Sale
- (g) **Density, Intensity, and Bulk Regulations for the (SR-5) Single Family Residential – 5 District.**

	Residential Uses	Nonresidential Uses
Minimum Lot Area	7,200 square feet	9,000 square feet
Maximum Density	5 dwelling units per acre	N/A
Minimum Lot Frontage	50 feet	50 feet
Maximum Building Coverage of Lot	50 percent	50 percent
Minimum Landscape Surface Ratio	35 percent	35 percent
Minimum Lot Width	60 feet	80 feet
Minimum Front Setback	25 feet	25 feet
Minimum Street Side Setback	25 feet	25 feet
Minimum Side Setback	7 feet	15 feet
Minimum Rear Setback	25 feet	30 feet
Maximum Principal Building Height	35 feet	35 feet
Minimum Principal Building Separation (multi-structure developments on shared lots)	14 feet	30 feet
Minimum Pavement Setback (lot line to pavement; excludes driveway entrances)	5 feet from side, or 0 feet for shared driveway; 10 feet from right of way or rear	5 feet from side, or 0 feet for shared driveway; 10 feet from right of way or rear
Minimum Parking Required	See Article III	See Article III
Minimum Garage Door Setback to Alley (if applicable)	8 feet for doors parallel to alley; 3 feet for door perpendicular to alley	8 feet for doors parallel to alley; 3 feet for door perpendicular to alley
Accessory Building Side Setback	10 feet	10 feet
Accessory Building Rear Setback	10 feet	10 feet
Maximum Accessory Building Height	Lesser of 15 feet or principal building height	20 feet

- (h) **Regulations Applicable to All Uses.** Most development will also be subject to the following requirements:
- (1) Article VI: Overlay Zoning Districts
 - (2) Article VII: Performance Standards
 - (3) Article VIII: Landscaping Regulations
 - (4) Chapter 87: Signage Regulations

SECTION 84.25 (C) Conservation Zoning District.

- (a) **Intent.** This district is intended to preserve the natural state of scenic areas in the Village and to prevent the uncontested, uneconomical, and premature spread of residential and other development, and to help discourage intensive development of marginal or especially scenic lands, so as to prevent hazards to public and private property, and to avoid harm to the public good because of misuse of environmentally sensitive areas. No residential use of any kind will be allowed in this district.
- (b) **Principal Uses Permitted by Right.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Cultivation
 - (2) Selective Cutting
 - (3) Passive Outdoor Recreation
- (c) **Principal Uses Permitted as Conditional Use.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Clear Cutting
 - (2) Active Outdoor Recreation
 - (3) Essential Services
 - (4) Small Scale Public Services and Utilities
 - (5) Large Scale Public Services and Utilities
 - (6) Campground
 - (7) Communication Tower
 - (8) Large Wind Energy System
 - (9) Large Solar Energy System
- (d) **Accessory Uses Permitted by Right.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Landscape Feature
 - (2) On-Site Parking
 - (3) Satellite Dish
 - (4) Personal Antenna and Towers
 - (5) Communication Antenna
- (e) **Accessory Uses Permitted as Conditional Use.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Small Wind Energy System
 - (2) Small Solar Energy System
- (f) **Permitted Temporary Uses.** None.
- (g) **Density, Intensity, and Bulk Regulations for the (C) Conservation District.** None.
- (h) **Regulations Applicable to All Uses.** Most development will also be subject to the following requirements:
 - (1) Article VI: Overlay Zoning Districts
 - (2) Article VII: Performance Standards
 - (3) Article VIII: Landscaping Regulations
 - (4) Chapter 87: Signage Regulations

ARTICLE VI: OVERLAY ZONING DISTRICTS.

SECTION 84.90 Purpose.

The purpose of this Article is to establish overlay zoning districts wherein certain additional requirements are superimposed on the underlying standard zoning districts set forth in Article II of this Chapter. Each overlay district is intended to address a special land use circumstance beyond those addressed by the underlying zoning district. Special requirements include mandatory groundwater, hillside/hilltop, and natural resource protections. Any nonconforming situation (lot, use, structure, and/or site) shall adhere to the provisions of Article V.

SECTION 84.91 How to Use This Article.

A given property may lie within one or more overlay zoning district based on its geographic location. The provisions of this Article are intended to be consulted before issuance of any building permit, site plan approval, conditional use permit, zoning permit, zoning change, or land division to ensure the intended use meets all of the requirements of any applicable overlay district, in addition to the underlying standard zoning district (see Article II). For each overlay district established in this Article, a definition of the resource or geographic area is provided, followed by the specific purposes of the protective regulations governing the resource or geographic location, the method of delineating the boundaries of the overlay district, and the mandatory development regulations.

SECTION 84.92 Overlay Zoning Districts.

For the purpose of this Chapter, the following overlay zoning districts are hereby established.

Abbreviation	Meaning
DT-O	Downtown Design Overlay
GWP-O	Groundwater Protection Overlay
HILL-O	Hillside/Hilltop Protection Overlay

SECTION 84.93 Map of Overlay Zoning Districts.

Except where otherwise indicated in this Article, the overlay zoning districts are represented on the Official Overlay Zoning Map, adopted and from time to time amended by the Village of Cross Plains.

SECTION 84.94 (GW-O)Groundwater Protection Overlay Zoning District.

- (a) **Purpose.** The Village of Cross Plains depends on ground water for a safe drinking water supply. Certain land use practices and activities can seriously threaten or degrade ground water quality. The purpose of this ordinance is to institute land use regulations and restrictions to protect the Village water supply and well fields, and to promote the public health, safety, and general welfare of the residents of the Village.
- (b) The Groundwater Protection Overlay District includes the recharge area for the Village wells that lies within the Village limits, as described in the Village of Cross Plains Well Head Protection Plan and incorporated herein as if fully set forth.
- (c) **Overlay Zones.** The Groundwater Protection Overlay District is divided into Zone A, Zone B, and Zone C, as described in the Village of Cross Plains Well Head Protection Plan.
 - (1) Zone A includes lands that lie within the 5-year Time of Travel from each Village well and all areas within 1,500 feet of each Village well.
 - (2) Zone B includes the area between the boundary of Zone A and the 25-year Time of Travel boundary for each Village well.
 - (3) Zone C includes the area between the boundary of Zone B and the boundary of the Zone of Influence for each Village well.
- (d) **Land Use Regulations for All Zones.**
 - (1) The land use regulations in this Section are in addition to the land use regulations established for the underlying zoning district.
 - (2) **Prohibited Uses for All Zones.** Those uses declared to be prohibited have a high probability that such activities routinely associated with them (storage, use, and handling of potential pollutants) will cause groundwater contamination. Prohibited uses include, but are not limited to, the following uses within the Groundwater Protection Overlay District:
 - a. Septage and/or sludge spreading
 - b. Gasoline stations
 - c. Landfills or waste disposal facilities
 - d. Spray waste water facilities
 - e. Bulk fertilizer and/or pesticide facilities
 - f. Asphalt products manufacturing
 - g. Salt storage
 - h. Electroplating facilities
 - i. Paint and coating manufacturing
 - j. Hazardous and/or toxic materials storage
 - k. Hazardous and/or toxic waste facilities
 - l. Radioactive waste facilities

(e) **Land Use Regulations for Zone A.**

(1) **Permitted Uses in Zone A.** The following uses are permitted uses within Zone A of the Groundwater Protection Overlay District. Uses not listed in this Subsection or in Subsection (2), below, are considered to be prohibited uses.

- a. Parks and playgrounds, provided there are no on-site waste disposal or fuel storage tank facilities
- b. Wildlife areas
- c. Non-motorized trails, such as biking, skiing, nature, and fitness trails
- d. Residential, commercial, and industrial property, which is municipally sewered and free of flammable and combustible liquid and underground storage tanks

(2) **Conditional Uses for Zone A.** The following uses may be allowed as a conditional use per the requirements of Section 84.161, provided adequate groundwater protections and monitoring measures are implemented:

1. Nurseries for ornamental plants, greenhouses, and associated retail sales outlets
2. Cemeteries

(f) **Land Use Regulations for Zone B.**

(1) **Permitted Uses in Zone B.** The following uses are permitted uses within Zone B of the Groundwater Protection Overlay District. Uses not listed or referenced in this Subsection or in Subsection (2), below, are considered to be prohibited uses.

- a. Parks and playgrounds, provided there are no on-site waste disposal or fuel storage tank facilities
- b. Wildlife areas
- c. Non-motorized trails, such as biking, skiing, nature, and fitness trails
- d. Above-ground petroleum product storage tanks less than 660 gallons. All new or replaced tanks shall be installed in compliance with the requirements of the Wisconsin Department of Agriculture, Trade and Consumer Protection.
- e. Residential, commercial, and industrial property which is municipally sewered or has a State-approved sewer and septic system

(2) **Conditional Uses for Zone B.** The following uses may be allowed as a conditional use per the requirements of Section 84.161, provided adequate groundwater protections and monitoring measures are implemented:

- a. Nurseries for ornamental plants, greenhouses, and associated retail sales outlets
- b. Cemeteries

(g) **Land Use Regulations for Zone C.**

(1) **Permitted Uses in Zone C.** The following uses are permitted uses within Zone C of the Groundwater Protection Overlay District. Uses not listed or

referenced in this Subsection or in Subsection (2), below, are considered to be prohibited uses.

- a. Parks and playgrounds, provided there are no on-site waste disposal or fuel storage tank facilities
- b. Wildlife areas
- c. Non-motorized trails, such as biking, skiing, nature, and fitness trails
- d. Above-ground petroleum product storage tanks less than 660 gallons. All new or replaced tanks shall be installed in compliance with the requirements of the Wisconsin Department of Agriculture, Trade and Consumer Protection.
- e. Residential, commercial, and industrial property which is municipally sewered or has a State-approved sewer and septic system

(2) **Conditional Uses for Zone C.** The following uses may be allowed as a conditional use per the requirements of Section 84.161, provided adequate groundwater protections and monitoring measures are implemented:

- a. Nurseries for ornamental plants, greenhouses, and associated retail sales outlets
- b. Cemeteries
- c. Any other use permitted by right or by conditional use in the underlying zoning district

(h) **Separation Distance Requirements.** The following minimum separation distances shall be maintained in the Groundwater Protection Overlay District between the well and certain land uses and facilities as follows:

- (1) 60 feet between the well and any storm sewer main.
- (2) 200 feet between the well and any sanitary sewer main, sanitary sewer manhole, lift station, or single family residential fuel oil tank. A lesser separation distance may be allowed for sanitary sewer main where the sanitary sewer main is constructed of water main materials and joints and pressure tested in place to meet the then current American Water Works Association C600 specification. In no case may the separation distance between the well and any sanitary sewer be less than 60 feet.
- (3) 400 feet between the well and any septic tank or soil adsorption system receiving less than 8,000 gallons per day, a cemetery or storm water drainage pond.
- (4) 600 feet between the well and any gasoline or fuel oil storage tank installation that has received written approval from the Wisconsin Department of Agriculture, Trade and Consumer Protection or its designated agent.
- (5) 1,000 feet between the well and land application of municipal, commercial, or industrial waste; the boundaries of a land spreading facility for spreading of petroleum contaminated soil regulated under Wisconsin Department of Natural Resources Chapter NR 718 while that facility is in operation;

industrial commercial or municipal waste water lagoons or storage structures; manure stacks or storage structures; and septic tanks or soil adsorption systems receiving 8,000 gallons per day or more.

- (6) 1,200 feet between the well and any solid waste storage, transportation, transfer, incineration, air curtain destructor, processing, wood burning, one time disposal, or small demolition facility; sanitary landfill; any property with residual groundwater contamination that exceeds Wisconsin Department of Natural Resources Chapter NR 140 enforcement standards that is shown on the department's geographic information system registry of closed remediation sites; coal storage area; salt or deicing material storage area; gasoline or fuel oil storage tank installations that have not received written approval from the Wisconsin Department of Agriculture, Trade and Consumer Protection or its designated agent; bulk fuel storage facilities; and pesticide or fertilizer handling or storage facilities.

(i) **Enforcement.**

- (1) Any person, firm, or corporation who fails to comply with the provisions of this Section shall forfeit not less than \$100.00 nor more than \$500.00 for each violation, plus the costs of prosecution. Any person, firm, or corporation in default of payment of such forfeiture and costs shall be imprisoned in the county jail until payment is made, but not exceeding 30 days, or alternatively shall have those costs added to their real property as a lien against the property. Each day a violation exists or continues shall constitute a separate offense.
- (2) Where any of the prohibited or conditional uses listed above in Subsections (d)(2), (e)(2), (f)(2), or (g)(2) exist within the Groundwater Protection Overlay District on the effective date of this ordinance, such uses shall be treated as nonconforming uses and any expansion thereof shall be prohibited. However, owners of these facilities may be allowed to upgrade the facilities to facilitate or enhance groundwater protection with approval of the Village Board. The procedures and standards for obtaining a conditional use shall be applicable to any such approval.

SECTION 84.95 (HILL-O) Hillside/Hilltop Overlay Zoning District.

- (a) **Purpose.** This district is intended to set forth special requirements for the protection of the hillsides and hilltops from the adverse effects of development. Development in these areas, if allowed, shall be restricted so as to minimize the disturbance of land and vegetation and preserve the viewshed year-round for areas of lower elevation.
- (b) **Definitions.** Hillsides, hilltop and hilltop edges are defined terms in Chapter 83 of the Village's Code of Ordinances (Land Division and Subdivision), which provisions are adopted and incorporated herein by reference.
- (c) **Permitted Uses.** Permitted uses in this district shall include only those principal land uses permitted by right in the C and RH-35 zoning districts under Sections 84.25(b) and 84.26(b) respectively, except that no structures of any kind are a permitted use in this district and provided that any use in this district complies with the requirements of Chapter 83 (Land Division and Subdivision) and Chapter 65 (Erosion Control and Stormwater Management) of the Village's Code of Ordinances applicable to hillside/hilltop use.
- (d) **Conditional Uses.** Those uses/structures permitted by right in the underlying zoning district may be permitted in this district as conditional uses pursuant to this Chapter and provided the following requirements are also met:
 - (1) All applicable requirements of Chapter 83 and Chapter 65 of the Village's Code of Ordinances.
 - (2) A detailed site plan is submitted by the landowner for any proposed development activity depicting the hillside, hilltop, and hilltop edge areas and the precise location of any development, land disturbing activity, and/or tree cutting activity proposed.
 - (3) No use will be approved that will result in a disturbance of land on areas defined as hillsides or hilltop edges.
 - (4) Uses on hilltops, if allowed, shall be restricted so as to minimize the disturbance of land and vegetation and preserve the viewshed year-round for areas of lower elevation.
 - (5) The cost for additional capital facilities required for the hilltop development shall be provided pursuant to Section 83.20(a) of the Village's Code of Ordinances.

SECTION 84.96 (NR-O) Natural Resources Protection Overlay Zoning District

(a) **Purpose.**

- (1) This district is intended to set forth special requirements for the protection of woodlands and drainageways from the adverse effects of development. Woodlands provide a wide variety of environmental functions. These include atmospheric benefits such as removing airborne pollutants, carbon dioxide uptake, oxygen production, and evapotranspiration returns. Water quality benefits include substantial nutrient uptake rate (particularly for nitrogen and phosphorus) and surface runoff reduction in terms of both volumes and velocities. Woodlands provide unique wildlife habitats and food sources. Woodland are excellent soil stabilizers, greatly reducing runoff-related soil erosion. Woodlands also serve to reduce wind velocities, which further reduces soil erosion. Finally, under proper management techniques, woodlands serve as regenerative fuel sources.
- (2) Drainageways serve in the transporting of surface runoff to downstream areas. Drainageways serve to carry surface waters; supplement floodplain, wetland, and lakeshore water storage functions in heavy storm or melt events; filter water-borne pollutants and sediments; promote infiltration and groundwater recharging; and provide a unique habitat at the land/water margin. Drainageway protection requirements preserve each of these functions as well as greatly reducing the potential for soil erosion along drainageways by protecting vegetative groundcover in areas which are susceptible to variable runoff flows and moderate to rapid water movement.

(b) **Definitions.**

- (1) Woodlands are defined as areas of trees in which combined canopies cover a minimum of 80 percent of an area of one acre or more, as shown on air photos for the Village of Cross Plains and its environs.
- (2) Drainageways are non-navigable, aboveground watercourse, detention basins, and/or their environs. Drainageways include all areas within 50 feet of the ordinary high water mark of a “perennial stream,” intermittent stream,” or “open channel drainageway,” as shown on the USGS 7.5 minute topographic maps for the Village of Cross Plains and its environs.

(c) **Determination of Boundaries.** General woodland and drainageway boundaries are depicted on the Official Zoning Map. Upon the proposal of development activity on any property containing a woodland or drainageway depicted on the Official Zoning Map, the petitioner shall prepare a detailed site analysis per the requirements of Section 84.164. This analysis shall depict the location of all woodland and drainageway areas on the subject property as described in Subsection (b) above.

(d) **Requirements.** Woodlands and drainageways shall remain in an undisturbed state except for the land uses permitted per the requirements of Subsection (e) below. Selected cutting operations are permitted by right in all woodland areas, per the

requirements of Section 84.56(d). Clear cutting is permitted as a conditional use in all woodland areas per the requirements of Section 84.56(e).

- (e) **Principal Uses Permitted by Right.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
 - (1) Selective Cutting
 - (2) Outdoor Open Space Institutional
 - (3) Passive Outdoor Recreation
 - (4) Active Outdoor Recreation
- (f) **Principal Uses Permitted as Conditional Use.** Refer to Article III for detailed definitions and requirements.
 - (1) Clear Cutting

SECTIONS 84.97 - 84.99 Reserved.

expenses incurred. If at any time moneys in the escrow are insufficient to pay expenses incurred by the Village for planning, legal, engineering, and staff services, the subdivider shall deposit additional amounts as determined by the Village within 15 days of written demand or further review and evaluation of the proposed development shall be delayed or terminated.

- b. Payment of all administrative costs shall be a condition of any further approvals required from the Village. Further, should the subdivider withdraw the project and the amount of the escrow is insufficient to cover all of the Village's administrative, planning, legal, and engineering costs, the subdivider shall immediately reimburse the Village within 15 days of final billing. Should the subdivider withdraw the project or the project reach completion and there are sums held in escrow by the Village which shall exceed the final amount owed to the Village, the Village shall return all excess funds in escrow to the subdivider within 15 days of reconciling the final billing statement with the subdivider.
- (3) **Default.** In the event of default by the subdivider, in addition to any other remedies to which the Village may be entitled, the Village shall recover from the subdivider all of its costs in enforcing this chapter, including actual attorney fees, and may elect to collect the administrative costs and all costs of collection as a special charge upon the new tax roll on lands being reviewed if owned by the subdivider pursuant to the authority of Section 66.0627, Wis. Stats.

SECTION 83.120 Variances and Waivers.

- (a) **Procedure.** Variance from, or waivers of, any of the specific terms or provisions of this chapter, other than those required by state law, may be granted for any land division or subdivision. Such variance or waiver can be granted by the Village Board only after approval by the Plan Commission and only in accordance with the following procedure:
 - (1) A request for a variance or waiver shall be submitted in writing to the Village Administrator/Clerk-Treasurer, who shall forward the request to the Plan Commission. Variances or waivers shall be granted by the Village Board only where there is a recommendation for approval or conditional approval of the Plan Commission. A three-fourths affirmative vote of the entire membership of the Plan Commission shall be required to recommend approval or conditional approval of a variance or waiver. No variance or waiver can be recommended unless the Plan Commission determines that the variance or waiver would not be detrimental to the public good, would not substantially impair the overall intent of this chapter, and would not

5 Variances and Waivers from Chapter 83 (Land Division) are recommended by Staff as part of the approval for the Preliminary Plat. All Variances and Waivers recommended are consistent with the Development Proposal approved by the Village Board on January 25, 2016.

impede the desirable development of the Village in accordance with an adopted Comprehensive Plan.

- (2) A three-fourths affirmative vote of the entire membership of the Village Board is required to grant a variance or waiver under this section. The Village Board shall grant a variance or waiver only after the Board also determines that the variance or waiver would not be detrimental to the public good, would not substantially impair the overall intent of this chapter, and would not impede the desirable development of the Village in accordance with an adopted Comprehensive Plan. The Village Board may not delete or weaken conditions of approval attached by the Plan Commission, but the Board may add further conditions or strengthen existing conditions as it deems necessary. The reasons justifying the variance or waiver, and any conditions thereon, shall be specifically entered in the minutes of the Village Board or other written document.
- (b) **Other Provisions Remain Applicable.** If a variance or waiver is granted for one or more provisions of this chapter, the land division or subdivision remains subject to all other applicable provisions of this chapter and related ordinances.
- (c) **Procedure Prevails.** This procedure applies to all waivers or variance requests under this chapter whether or not specifically noted and notwithstanding general waiver language.
- (d) **No appeal.** The decision of the Plan Commission to deny a variance or waiver request is not appealable to the Village Board, it being the intent of this chapter to require that both the Plan Commission and Village Board approve the variance or waiver request before it can be granted.

SECTION 83.121 Appeals.

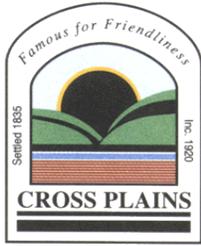
- (a) Any person aggrieved by an objection to a plat or a failure to approve a plat may, after review by the Village Board, appeal therefrom as provided in Sections 236.13(5) and 62.23(7)(e)10 to 15, Wis. Stats.
- (b) The provisions of Ch. 68, Wis. Stats., shall not be applicable to any determination made pursuant to the provisions of this chapter.

SECTIONS 83.122 – 83.124 Reserved

DEFINITIONS

SECTION 83.125 Definitions.

In this chapter, the following words and phrases shall have the designated meaning unless a different meaning is expressly provided or the context clearly indicates a different meaning:



Village of Cross Plains
PO Box 97, 2417 Brewery Road
Cross Plains, WI 53528
Phone: (608) 798-3241
Fax: (608) 798-3817

Memorandum

To: Veridian Homes
From: Matthew G. Schuenke, Village Administrator/Clerk-Treasurer
Date: March 2, 2016
Re: **Buechner Property – Development Timeline**

Executive Summary

The following schedule is established in order to conform to the requirements of Chapter 82 for Annexations and Chapter 83 for Land Division as well as to meet the Developer’s expectations for completing the development review in an efficient manner. There are several phases to this process including (1) Pre-Annexation Agreement; (2) Preliminary Procedures; (3) Development Proposal; (4) Annexation; and (5) Land Division. Please the following regarding the proposed timeline for Development Review to work through these phases as is required.

Phase 1 – Pre-Annexation Agreement (Section 82.05) COMPLETE

Phase 2 – Preliminary Procedures (Section 82.03) COMPLETE

Phase 3

(A) *Development Proposal* – COMPLETE

(B) *USA Amendment* – It is more typical to submit a USA Amendment after the Annexation Ordinance has been approved; however, this is for a boundary line adjustment and we would not have enough time to complete this task if we waited till that point. The following schedule is subject to change following contact with involved parties, but is based on a schedule discussed with DNR and CARPC at a meeting held December 16, 2015.

- ~~December 16, 2015 – Preliminary discussion with CARPC and DNR Staff.~~
- ~~January 13, 2016 – Final USAA Application submitted by Village to CARPC.~~
- ~~January 29, 2016 – CARPC Staff comments provided to Village Staff for follow-up.~~
- ~~February 1, 2016 – Village Staff response to CARPC Staff resubmitted within revised Final Application.~~
- ~~February 9, 2016 – Public Hearing notice posted and Staff Analysis released.~~
- March 10, 2016 – Public Hearing and Final Action on Recommendation by CARPC.
- March 17, 2016 – Application materials and CARPC recommendation forwarded to DNR for consideration.
- March 31, 2016 – DNR issues Administrative Decision on USA Amendment.

Phase 4 – Annexation Ordinance (Section 82.07) COMPLETE

Phase 5 – Land Division (Chapter 83)

In order to complete the various steps remaining following Ordinance approval, it will be necessary to overlap the various reviews to be conducted by Village Staff, Plan Commission, and Village Board. As the Plan Commission and Village Board are working on their review of various issues, the Developer and Staff will be preparing the next item for consideration. Please note the following items as part of the Land Division:

(A) Preliminary Plat – Requirements defined under Section 83.33-83.41 of the Village Code.

- ~~January 13, 2016~~ – First draft of Preliminary Plat submitted for Staff Review. May be incomplete with remainder of the information to be provided with future submittals.
- ~~January 20, 2016~~ – The first meeting with Village Staff to review the draft Preliminary Plat submitted.
- ~~February 1, 2016~~ – Second draft of Preliminary Plat submitted for Staff Review.
- ~~February 3, 2016~~ – The second meeting with Village Staff to review the draft Preliminary Plat submitted.
- ~~February 10, 2016~~ – Meeting between School District, Village, and Developer’s Engineer.
- ~~February 15, 2016~~ – Developer will provide third draft of Preliminary Plat to Village for Staff Review. Village will provide draft Zoning Ordinance for review.
- ~~February 17, 2016~~ – The third meeting with Village Staff to review the draft for the Preliminary Plat and Zoning Ordinance. Comments provided in the meeting will be addressed by the Developer as directed by the discussion.
- ~~February 18, 2016~~ – First run of Class II Notice for March 7th Plan Commission meeting.
- ~~February 25, 2016~~ – Second and final run of Class II Notice for March 7th Plan Commission meeting.
- ~~February 29, 2016~~ – Meeting between Plastic Ingenuity, Village, and Developer’s Engineer.
- ~~March 1, 2016~~ – Final submittal of the Preliminary Plat and Zoning Ordinance with all final revisions and comments addressed. Assuming there are no outstanding issues at this point, then the Preliminary Plat shall move onto the Plan Commission.
- ~~March 2, 2016~~ – Final meeting with Village Staff to review the Preliminary Plat and Zoning Ordinance in preparation for the Plan Commission meeting.
- March 7, 2016 – This will be the first meeting of the Plan Commission to consider a recommendation on the Preliminary Plat, Zoning Ordinance, TLE with School District, and ROW Dedication with School District. They will also hold a public hearing as part of their consideration of the Zoning Ordinance. The desired action is to make a recommendation of approval to the Village Board for all items presented.
- March 28, 2016 – The Village Board will take up the recommendation(s) of the Plan Commission, conduct its review, and take action on all items presented.

(B) *Final Plat* – Requirements defined under Section 83.45-83.52 of the Village Code.

- ~~February 15, 2016~~ – First draft of Final Plat submitted for Staff Review. May be incomplete with remainder of the information to be provided with future submittals.
- ~~February 17, 2016~~ – The first meeting with Village Staff to review the draft Final Plat submitted.
- March 14, 2016 – Developer will provide second draft of Final Plat to Village for Staff Review.
- March 16, 2016 – The second meeting with Village Staff to review the draft for the Final Plat. Comments provided in the meeting will be addressed by the Developer as directed by the discussion.
- March 25, 2016 – Final submittal of the Final Plat with all revisions and comments from the last meeting addressed. Assuming there are no outstanding issues at this point, then the Final Plat shall move onto the Plan Commission.
- April 4, 2016 – This will be the first meeting of the Plan Commission to consider a recommendation on the Final Plat.
- April 25, 2016 – The Village Board will take up the recommendation of the Plan Commission, conduct its review, and take action on the Final Plat.

(C) *Development Agreement (Section 83.11)* – This will be prepared by the Village Attorney to memorialize and finalize the approvals for the project overall. Review of this document will likely not need meetings with the entire Village Staff. At a minimum will include Village Administrator, Village Attorney, Developer, and Developer’s Attorney. Other individuals can be consulted as needed but this step is typically a formality to put all actions taken on the official record. The Village Board will review and approve this document in their sole discretion with no recommendation from the Plan Commission.

- April 6, 2016 – First draft of Development Agreement submitted from Village to Developer for review. No other meetings with Staff are projected but can be scheduled upon request by either party. It is proposed that terms be discussed outside of formal meetings between parties leading up to the Village Board meeting. This will allow for the Development Agreement and Final Plat to be considered at the same time.
- April 25, 2016 – The Village Board will conduct its review and take action on the Development Agreement.

Village Staff will continue to monitor timeline through the different phases of work and will provide updates at the completion of each milestone. Times and dates are subject to change as needed in order to move the project forward. Please be advised some topics may not be completed in one public meeting (i.e. – Village Board, Plan Commission, etc.) Adjustments may be needed also throughout the process to accommodate the different review authorities in order for them to fulfill their responsibilities.

RE: ORDINANCE TO ESTABLISH THE
ZONING OF PROPERTY LOCATED IN
THE VILLAGE OF CROSS PLAINS,
DANE COUNTY, WISCONSIN.

Lots 1 – 44, and Outlots 1, 2, 3, and 4
of the Glacier Ridge Subdivision located in
the Village of Cross Plains, Dane County,
Wisconsin.

Drafted by and return to:

Attorney Paul A. Johnson
Boardman & Clark LLP
PO Box 256
Lodi, Wisconsin 53555

Tax Parcel Nos.

**VILLAGE OF CROSS PLAINS
ORDINANCE NO. 03-2016**

**ORDINANCE TO ESTABLISH THE ZONING OF PROPERTY
LOCATED IN THE VILLAGE OF CROSS PLAINS**

WHEREAS, Edith Buechner (hereinafter “Owner”) is the Owner of certain real estate described as follows:

Lots 1 – 44, and Outlots 1, 2, 3, and 4 of the Glacier Ridge Subdivision located in the Village of Cross Plains, Dane County, Wisconsin. (hereinafter “the Property”);
and

WHEREAS, the Property is currently not zoned as it has recently been annexed to the Village of Cross Plains; however, the Owner now desires to establish zoning for the Property; and

WHEREAS, pursuant to Section 62.23(7)(d), Stats., the Plan Commission held a public hearing regarding the zoning request on March 7, 2016, which was preceded by the publication of a Class 2 Notice under Chapter 985, Stats.; and

WHEREAS, following the public hearing, the Plan Commission determined that establishing the zoning classifications for the Property as requested by the Owner would promote the public health, safety and general welfare of the Village and would allow appropriate use of the Property. Therefore, the Village Plan Commission recommended that the zoning classification of the Property be changed as requested by the Owner; and

WHEREAS, the Village Board, at its meeting of March 28, 2016, approved the recommendation of the Plan Commission to establish the zoning of the Property.

NOW, THEREFORE, pursuant to Section 62.23(7)(d) Stats., the Village Board of the Village of Cross Plains, Dane County, Wisconsin does hereby ordain as follows:

Section 1. The zoning of the Property is established as follows:

- a. Lots 2 – 6 and 28 – 44 shall be zoned Single Family Residential-5 (SR-5).
- b. Lots 7 – 27 shall be zoned Single Family Residential-4 (SR-4).
- c. Lot 1, Outlot 1 and Outlot 4 shall be zoned Single Family Residential-4 (SR-4).
- d. Outlot 2 and Outlot 3 shall be zoned Conservation Zoning District (C).

Section 2. The Village Clerk is directed to amend the Village's Zoning Map and Official Map to reflect these zoning classifications.

Section 3. If any provision of this Ordinance is for any reason held to be invalid or unconstitutional by reason of any decision of any court of competent jurisdiction, such decision shall not affect the validity of any other provision of this Ordinance.

Section 4. This Ordinance shall take effect the day after passage and posting pursuant to law.

The above and foregoing Ordinance was duly adopted by the Village Board of the Village of Cross Plains at its meeting held on March 28, 2016, 2016, by vote as set forth below.

VILLAGE OF CROSS PLAINS

Yes: _____

By: _____
J. Patrick Andreoni, President

No: _____

Posted: _____

Attest: _____
Matthew G. Schuenke,
Administrator/Clerk-Treasurer

AUTHENTICATION

Signatures of J. Patrick Andreoni and Matthew G. Schuenke, in the capacities indicated, authenticated this ____ day of _____, 2016.

Paul A. Johnson
State Bar No.: 1021492
TITLE: MEMBER, STATE BAR OF WISCONSIN

Village of Cross Plains Proposed Base Zoning for Buechner Development (upon Annexation)



- Current Municipal Boundaries
- Buechner Annexation Area
- Proposed Development Parcel Plats
- # Lot Number

- Base Zoning Districts**
- SR-1 - Single Family Residential - 1
 - SR-3 - Single Family Residential - 3
 - SR-4 - Single Family Residential - 4
 - SR-5 - Single Family Residential - 5
 - DR-6 - Duplex Residential
 - MR-8 - Multi Family Residential - 8
 - MR-16 - Multi Family Residential - 16
 - NMU - Neighborhood Mixed Use
 - CMU - Community Mixed Use
 - MSMU - Main Street Mixed Use
 - BP - Business Park
 - LI - Light Industrial
 - GI - General Industrial
 - ME - Mineral Extraction
 - C - Conservation
 - RH-35 - Rural Holding
 - PD - Planned Development



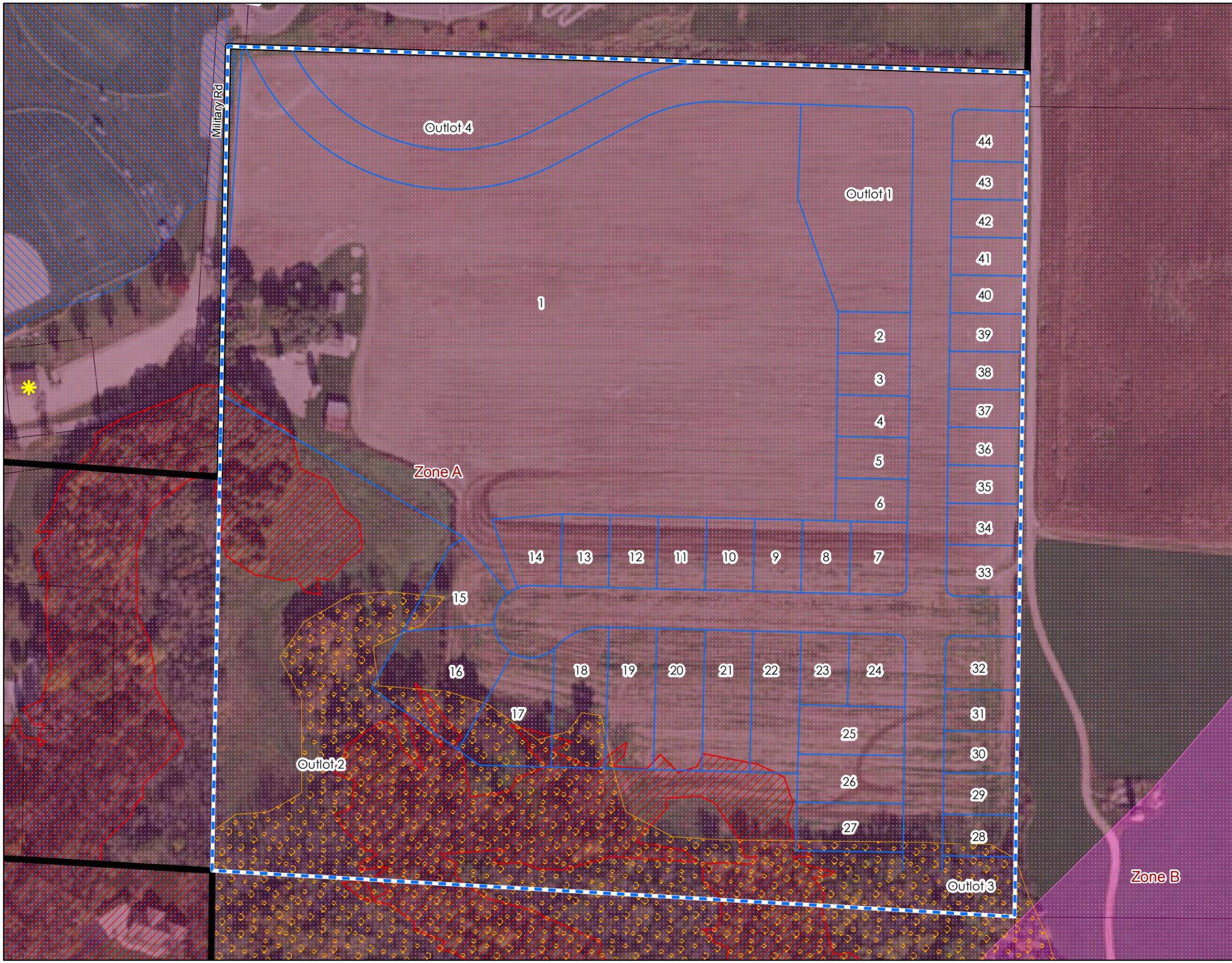
March 7, 2016

Sources: Dane County LIO, FEMA, Village of Cross Plains

VANDEWALLE & ASSOCIATES INC.
Shaping places, shaping change



Village of Cross Plains Proposed Overlay Zoning for Buechner Development (upon Annexation)



-  Current Municipal Boundaries
-  Buechner Annexation Area
-  Proposed Development Parcel Plats
- # Lot Number
-  Well 1
-  Well 2
- Overlay Zoning Districts***
-  HILL-O - Hillside/Hilltop Protection
-  NR-O - Natural Resource Protection - Drainageways
-  NR-O - Natural Resource Protection - Woodlands
- GW-O - Groundwater Protection Overlay
 -  Zone A
 -  Zone B
 -  Zone C
-  Shoreland District
-  100 and 500 Year Floodplain

*Note: Overlay patterns on this map depict the location of these features. Overlay District requirements only apply within the Village limits, including annexing properties.



March 7, 2016
Sources: Dane County LIO, FEMA, Town and Country Engineering, USGS, USDA, CARPC, Village of Cross Plains

TEMPORARY LIMITED EASEMENT

RE: Lands set forth on the attached Exhibit A (“the Property”).

Declaration made this ____ day of _____, 2016, by the Middleton-Cross Plains Area School District (hereinafter “Middleton”).

WHEREAS, Middleton is the owner of the Property identified above; and

WHEREAS, Middleton has been informed by the Village of Cross Plains (hereinafter “Village”) that VH Cross Plains LLC (hereinafter “VH”) will be constructing the Glacier Ridge plat beginning in 2016; and

WHEREAS, as part of the plat construction, it is necessary for Middleton to provide the Village and VH with a Temporary Limited Easement for vehicular and pedestrian access over the Property described above until such time as the construction of the Glacier Ridge plat has been completed.

NOW, THEREFORE, it is hereby declared by Middleton as follows:

1. Middleton hereby grants a nonexclusive temporary easement for the purpose of vehicular and pedestrian access, and for the purpose of grading and other construction, to the Village, VH, and their respective contractors and invitees, over, under, upon and across the temporary easement area which is described as the Property and as illustrated by the attached Exhibit B (“the Easement Area”).

Drafted by and Return To:

Paul A. Johnson
Boardman & Clark LLP
PO Box 256
Lodi, WI 53555

Part of 113/0707-022-8222-2
Parcel Identification Number(s)

2. Village, VH and their respective contractors and invitees shall, during construction, undertake and maintain necessary soil erosion control protections to prevent soil erosion within the Easement Area and to prevent the depositing of soil upon other lands owned by Middleton.
3. Any obstructions or impediments to the use of the Easement Area may be removed, without notice, by Village or VH and the cost of such removal shall be borne by the party causing or responsible for the obstruction.
4. At such time as Village, VH and their contractors and invitees have completed their work, this Declaration shall become null and void and of no further force and effect. At such time as this Declaration ceases, Village shall notify Middleton that it no longer needs the Temporary Easement, and shall execute and record any and all documents necessary to terminate this Temporary Easement. Until such time, this Declaration shall run with the land as a right and obligation appurtenant thereto.
5. Unless directed otherwise by Middleton, upon termination of this Temporary Easement, so much of the surface or subsurface of the Easement Area as was disturbed as a consequence of the use of the Easement Area shall, at the expense of Village and VH, be restored by Village and VH in substantially the same condition as it existed immediately prior to the disturbance.
6. Village and VH shall hold Middleton, its successors and assigns, free, safe, clear and harmless from any and all claims for damages, including the cost of defending against any such claims by a third party or parties arising out of the act, operations, and activities of Village, VH or their respective contractors and invitees pursuant to the grant of this Declaration.
7. The terms and provisions of this Declaration shall not be modified except by the mutual agreement of Middleton and Village and VH.

**MIDDLETON-CROSS PLAINS AREA
SCHOOL DISTRICT**

Date: _____

STATE OF WISCONSIN)

)ss.

COUNTY OF DANE)

Personally came before me this ____ day of _____, 2016, the above-named _____ to me known to be the person who executed the foregoing instrument and to me known to be such officer of the Middleton-Cross Plains School District and acknowledged the same.

(print name above)

Notary Public, Dane County, WI.

My Commission expires: _____

ACCEPTANCE OF EASEMENT

The Village of Cross Plains and VH Cross Plains LLC do hereby accept and agree to the terms and conditions set forth in this Declaration of Easement.

VH CROSS PLAINS LLC

VILLAGE OF CROSS PLAINS

Jeff Rosenberg, Member

J. Patrick Andreoni, President

Matthew G. Schuenke,
Administrator/Clerk-Treasurer

STATE OF WISCONSIN)
)ss.
COUNTY OF DANE)

Personally came before me this ____ day of _____, 2016, the above-named Jeff Rosenberg, as Member of VH Cross Plains LLC, to me known to be the person who executed the foregoing instrument and acknowledged the same.

(print name above)
Notary Public, Dane County, WI.
My Commission expires: _____

AUTHENTICATION

Signatures of J. Patrick Andreoni and Matthew G. Schuenke in the capacities indicated, authenticated on this ____ day of _____, 2016.

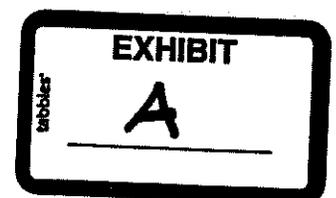
Paul A. Johnson
SBN: 1021492
TITLE: MEMBER, STATE BAR OF WISCONSIN
(If not, _____,
authorized by Wis. Stat. §706.06)

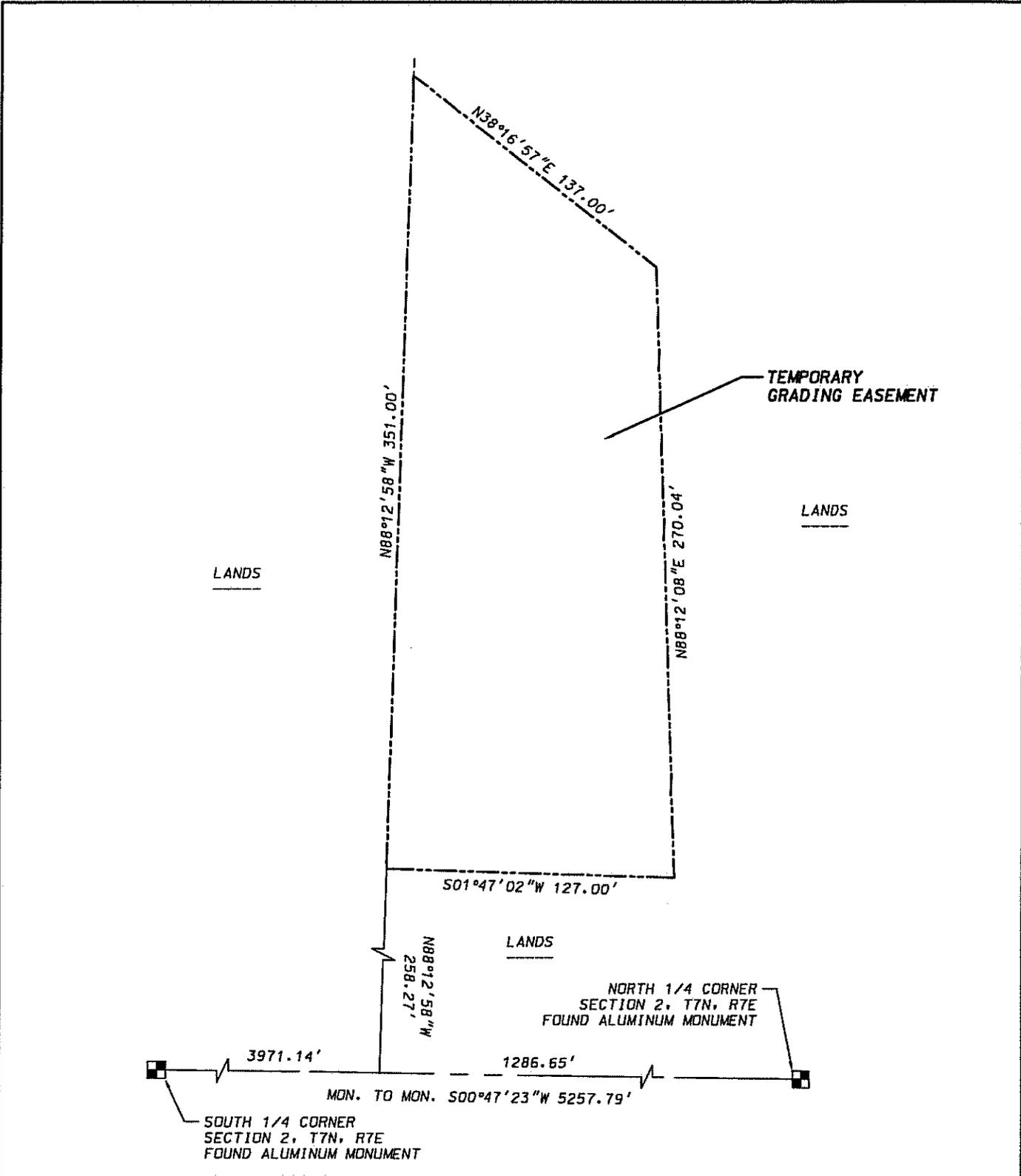
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LEGAL DESCRIPTION

A Temporary Grading Easement located in the NE1/4 of the NW1/4 of Section 2, T7N, R7E, Village of Cross Plains, Dane County, Wisconsin to-wit:

Commencing at the North 1/4 corner of said Section 2; thence S00°47'23"W, 1286.65 feet along the North-South line of said Section 2; thence N88°12'58"W, 258.27 feet to the point of beginning; thence continuing N88°12'58"W, 351.00 feet; thence N38°16'57"E, 137.00 feet; thence N88°12'08"E, 270.04 feet; thence S01°47'02"W, 127.00 feet to the point of beginning. Containing 36,442 square feet.





D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



0 60
 Scale 1" = 60'

DATE: 02-17-16
 F.N.: 15-07-123

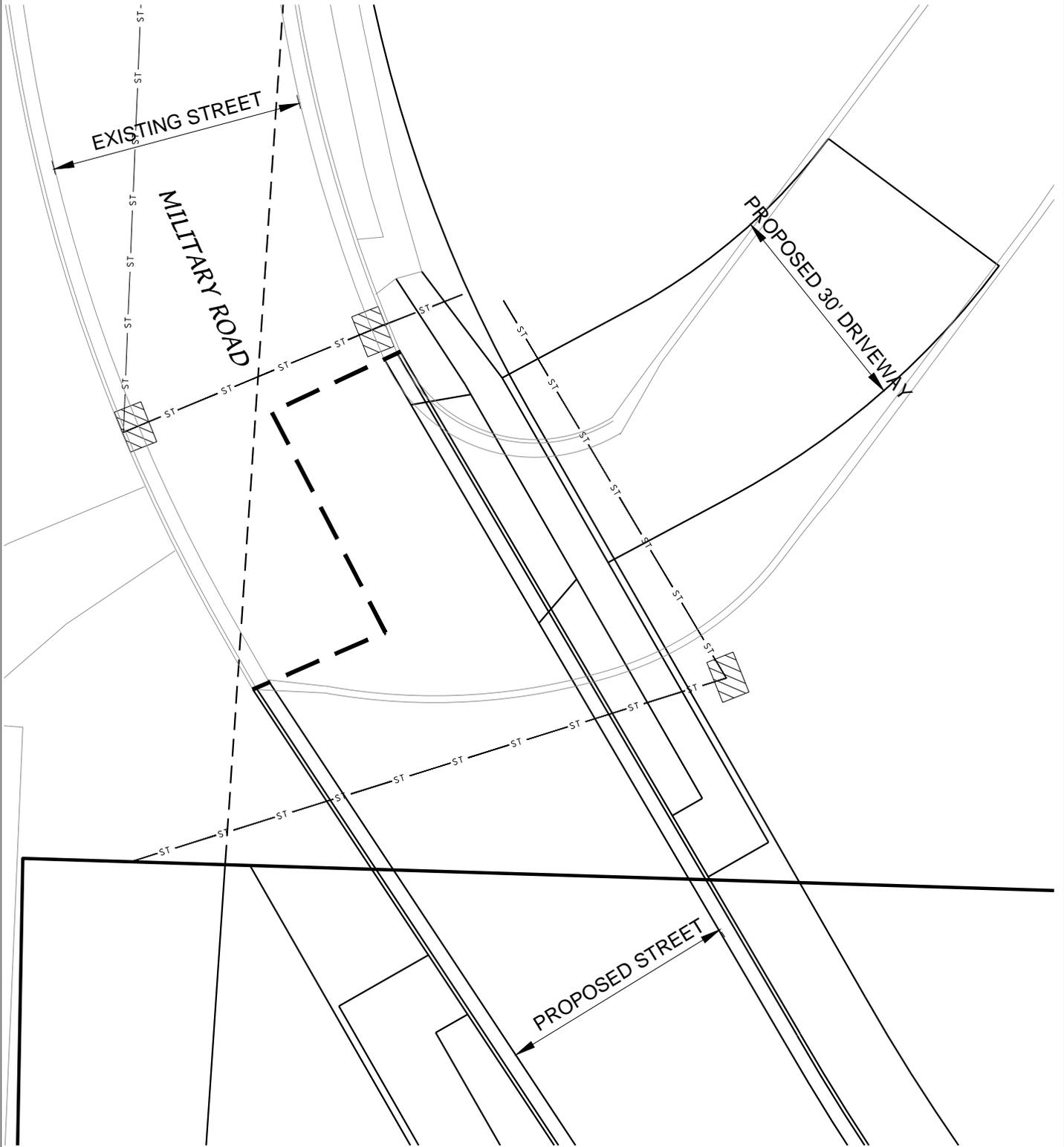
EXHIBIT
B

LEGAL DESCRIPTION

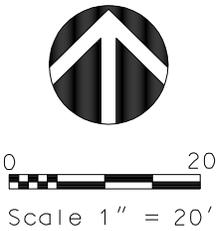
A parcel of land located in the NE1/4 of the NW1/4 of Section 2, T7N, R7E, Village of Cross Plains, Dane County, Wisconsin to-wit:

Commencing at the North 1/4 corner of said Section 2; thence S00°47'23"W, 1286.65 feet along the North-South line of said Section 2; thence N88°12'58"W, 1223.28 feet to the point of beginning; thence continuing N88°12'58"W, 80.97 feet to the Easterly right-of-way line of Military Road; thence N03°51'14"E, 284.32 feet along said Easterly line; thence S01°17'21"W, 115.86 feet to a point of curve; thence Southeasterly along a curve to the left which has a radius of 200.00 feet and a chord which bears S14°14'38"E, 107.12 feet; thence S29°46'38"E, 76.66 feet to the point of beginning. Containing 5,927 square feet.

GLACIER RIDGE SCHOOL ENTRANCE




D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



DATE: 02-25-16
F.N.: 15-05-168
REV.

DRAWN BY: KWB

**VILLAGE OF CROSS PLAINS
ORDINANCE NO. _____**

AN ORDINANCE DEDICATING CERTAIN LAND TO THE PUBLIC

The Village Board of the Village of Cross Plains, Dane County, Wisconsin, following Plan Commission recommendation at its regular meeting on the ____ day of _____, 2016, does hereby ordain as follows:

1. The land attached hereto as Exhibit A is owned by the Village of Cross Plains and is hereby dedicated to the public for use as a public street.

Dated this ____ day of _____, 2016.

VILLAGE OF CROSS PLAINS

By: _____
J. Patrick Andreoni, President

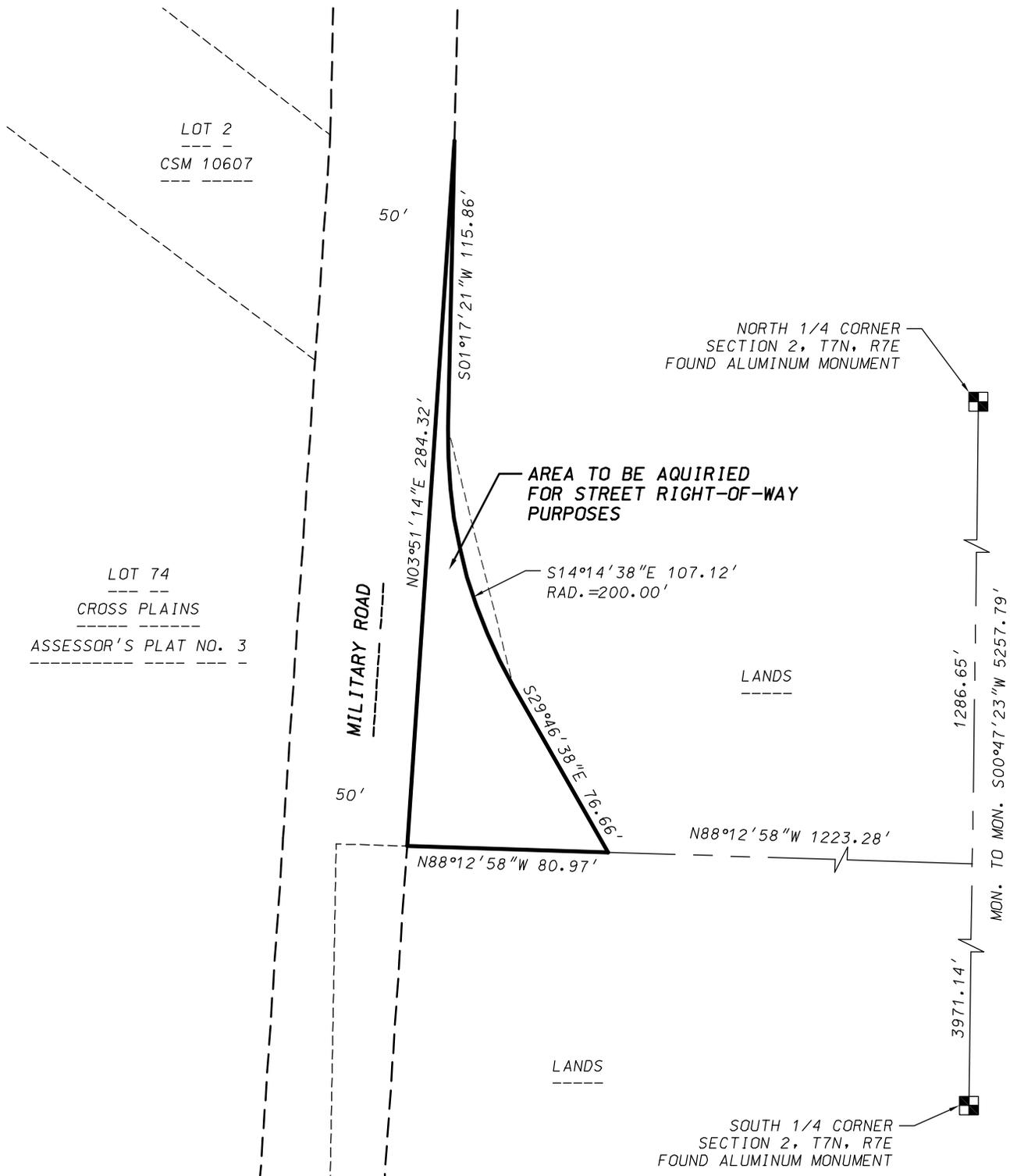
By: _____
Matthew G. Schuenke,
Administrator/Clerk-Treasurer

AUTHENTICATION

Signatures of J. Patrick Andreoni and Matthew G. Schuenke in the capacities indicated, authenticated on this ____ day of _____, 2016.

Paul A. Johnson
SBN: 1021492
TITLE: MEMBER, STATE BAR OF WISCONSIN
(If not, _____,
authorized by Wis. Stat. §706.06)

EXHIBIT "A"



D'ONOFRIO KOTTKE AND ASSOCIATES, INC.

7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



0 60

Scale 1" = 60'

DATE: 02-17-16
F.N.: 15-07-123

LEGAL DESCRIPTION

A parcel of land located in the NE1/4 of the NW1/4 of Section 2, T7N, R7E, Village of Cross Plains, Dane County, Wisconsin to-wit:

Commencing at the North 1/4 corner of said Section 2; thence S00°47'23"W, 1286.65 feet along the North-South line of said Section 2; thence N88°12'58"W, 1223.28 feet to the point of beginning; thence continuing N88°12'58"W, 80.97 feet to the Easterly right-of-way line of Military Road; thence N03°51'14"E, 284.32 feet along said Easterly line; thence S01°17'21"W, 115.86 feet to a point of curve; thence Southeasterly along a curve to the left which has a radius of 200.00 feet and a chord which bears S14°14'38"E, 107.12 feet; thence S29°46'38"E, 76.66 feet to the point of beginning. Containing 5,927 square feet.



Village of Cross Plains

Parks and Recreation Department

P.O. Box 97
Cross Plains, WI 53528

Michael Axon
Parks and Recreation Director

PH: 608-798-3241
FAX: 608-798-3817

Memorandum

To: Parks and Recreation Committee

Date: February 29, 2016

Re: **Vehicle Purchase**

Parks and Recreation Committee,

The Parks and Recreation Department is looking to a new vehicle for the Park and Recreation Department. Proposals for this purchase were sent to: *Kalscheur Dodge, Inc.*; *Symdon Motors – Mt. Horeb, and Middleton Ford*. At this time three proposals were received. Payment for this purchase was put into the 2016 Parks, Recreation and Aquatics capital budget.

Proposals asked for: Half Ton Extended Cab Pick-up Truck. Options to include: V8, Tow Package, Cruise Control and Electric windows/locks. (A separate proposal was given to Symdon Motors for a Chevrolet Colorado which is included)

Symdon Motors (Half Ton-Chevrolet 1500): proposed a cost of \$31,981.00

Symdon Motors (Chevrolet Colorado): proposed a cost of \$31,239.76

Kalscheur Dodge (Half Ton- Dodge Ram): proposed a cost of \$32,500.00

Staff would recommend *Kalscheur Dodge* at a cost of **\$32,500.00** for the purchase of the new Parks and Recreation Department vehicle. The proposal is \$519.00 more than the other proposal(s) but allows for limited travel for any/all maintenance needs, warranty, and or recalls for the duration of the ownership of the vehicle.

If you have any questions or need clarification prior to the meeting, please let me know.

Sincerely,

Michael Axon
Village of Cross Plains
Parks and Recreation Director

Village of Cross Plains

Permit #: _____

SPECIAL EVENT PERMIT

APPLICANT INFORMATION

Event Title:	Cross Plains Parkway Market				
Event Organizer:	Jennifer Wankerl	Primary Contact:	Same		
Applicant Address:	1715 Main St				
Primary Phone #:	798-3520	Mobile Phone #:	—	Secondary Phone #:	—
Email:	tomandjen@tdo.net	Fax:	—		

EVENT INFORMATION

Event Location (Please provide general description or address as well as depict on the attached Village map):					
Southeast corner of Main + Millcreek Parkway					
Please provide a summary of the event including but not limited to a description of planned activities and/or amenities:					
10-20 local farmers selling self-produced goods } Wednesdays 4:00-7:00 1 local musical group } 1 local food vendor } JUNE - SEPT.					
Event Setup Start:	3:00 PM	Event Start:	4:00 PM	Hours of Operation: 4:00 - 7:00	
Event Takedown End:	8:00 PM	Event End:	7:00 PM		
Participants #:	~ 15 Farmers ~ 100 customers				
Street Closure:	—	Barricades:	—	Barricade Location(s):	—
Alcohol Sold or Serve:	—	Fireworks:	—		
Food Sold or Served:	local products	Rain Date:	—		
Public Safety – Please describe any plans regarding security, traffic/crowd control, or other emergency services:					
—					
Village Services – Please describe all other services required from the Village (i.e. – Public Facilities, Parks/Rec, etc.):					
Trash pick up on Thursday morning?					

INSURANCE REQUIREMENTS

The applicant shall, no later than seven (7) days prior to the start of the event, provide proof of bodily injury and property damage liability insurance naming the Village as an insured and covering the entire public area of the event for the duration of the event in a minimum amount of \$1,000,000 for the injury to or death of any one individual and \$1,000,000 for the injury to or death of any number of individuals in once occurrence, and property damage liability insurance in the amount of \$1,000,000 (Village Ordinance 22.22(f)). Please attach the Certificate of Insurance to this application.

Has a certificate of insurance been provided:	
---	--

Village of Cross Plains

SPECIAL EVENT PERMIT

DUTIES OF PARTICIPANTS

Participants means only those persons actually taking part in the event, including, but not limited to, those sponsoring, organizing, promoting, or initiating the event; those invited to attend; those paying to attend; or those for whom the event is sponsored, organized, or initiated, including the general public (Village Ordinance 22.22(a)(2)). The Duties of Participants will be as follows (Village Ordinance 22.22(j)). Please initial next to each duty to signify agreement.

1. All persons involved with an event regulated by this section shall comply with all permit directions and conditions imposed under the terms of this section for the use of public property and with all applicable ordinances, statutes and laws.	JW
2. All persons involved with an event regulated by this section shall stay within the area or route designated for the event during the conduct of this event.	JW
3. The event chairman or other person leading such activity shall carry the special event permit upon his or her person during the conduct of the event.	JW
4. The applicant shall be responsible for returning all premises used for the event or impacted by the event to the condition such premises were in prior to the event within twelve (12) hours after the permit expires.	JW

Please note that the applicant and/or event organizer will be responsible for the conduct of the group and for the condition of the public area. The permit is subject to all municipal codes in addition to all rules governing street right-of-ways. The applicant agrees that during use of the public area, the sponsoring organization will not exclude any person from participation in, deny anyone the benefits of, or otherwise subject anyone to discrimination because of race, color, national origin, or handicap. The applicant and/or the event organizer further agrees to indemnify, defend and hold harmless the Village of Cross Plains and its officers, officials, employees and agents from and against any and all liability, loss, damage, expenses, costs, including attorney fees arising out of the activities performed as described herein, caused in whole or in part by any acts, negligent or otherwise, or any omission of the applicant/organization, anyone directly or indirectly employed by any of them or anyone whose acts on behalf of them may be liable, except where caused by the sole negligence or willful misconduct of the Village.

Jennifer Wankert
Applicant Signature

2/23/16
Date

Jennifer Wankert
Applicant Print Name

For Office Use Only:

Date Received: 2/23/2016 Received By: [Signature]

Date Reported to Board: 3/18/2016

Village of Cross Plains

Parks and Recreation

Comments/Conditions: Will drop off 4 picnic tables at the start of the season.
I talked with Jim and will no longer need the large tent set up.
We will also supply 2 garbage cans if needed.

Total Actual Cost: 0 Approved: Yes No

Mike [Signature]
Signature

3.8.16
Date

Police Department

Comments/Conditions: _____

Total Actual Cost: 0 Approved: Yes No

Chief Thomas Jansse
Signature

3.8.16
Date

Public Facilities

Comments/Conditions: SEE MIKE'S COMMENTS ABOVE

Total Actual Cost: _____ Approved: Yes No

[Signature]
Signature

3/9/16
Date

Application Approval/Denial



> 200 Participants



Close/Use Public Street

Parking Lot



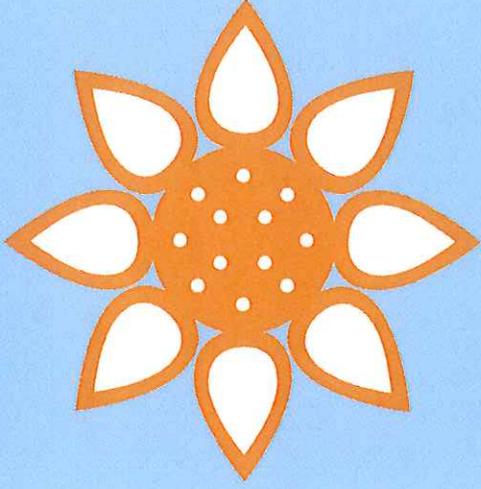
Village Services

\$50.00 Review Fee: _____ Approved: Yes No

Authority (Administrator or Board)

Date

Comments: _____



CROSS PLAINS
PARKWAY
MARKET



Wednesdays
4 p.m. – 7 p.m.



SECTION 9.04 Notice of Job Openings.

Whenever there is an opening for a full-time position within the Village, notice thereof shall be posted in the Village Municipal Building for two calendar weeks. The notice shall also be published at least once in the official Village newspaper and/or other appropriate media. The notice shall contain the job title, a description of the general area of employment and type of work to be performed, the desirable or minimum qualifications for the position, the rate or range of pay, a statement that Cross Plains is an equal opportunity employer and complies with the requirements of the Americans with Disabilities Act (ADA), and such other information as the Village deems appropriate. This hiring practice shall apply to all full-time Village hires but shall not supersede statutory requirements for the hiring of sworn police officers.

SECTION 9.05 Written Applications.

Individuals who indicate an interest in a job opening shall be required to submit a written application therefore and shall be considered for the position on the basis of qualifications, education, training and experience.

SECTION 9.06 Selection Procedure.

- (a) **Full-time Positions.** The Village Board, acting in conjunction with the appropriate commission, shall determine the most qualified applicants for positions using job-related criteria and shall, by majority vote, select the applicants to fill the positions. Whenever required by law, veterans' and other preferences shall be applied to the selection process.
- (b) **All Other Positions.** Three-fifths time, part-time, seasonal, special and temporary employees shall be approved by the appropriate department head.

SECTION 9.07 Probationary Employees.

- (a) **Probation Period Required.** Any person who is appointed to fill a full-time position, whether newly hired or hired from within the existing work force, shall serve a twelve-month probation in the new position. Any person who is appointed to fill a three-fifths-time position, whether newly hired or hired from within the existing workforce, shall serve a twelve-month probation in the new position. Persons hired as Law Enforcement Officers shall serve an eighteen-month probationary period, which shall begin upon successful completion of the field training program.
- (b) **Periodic Performance Reviews.** The department head shall strive to provide written performance reviews of each probationary employee just prior to the end of the third, middle and final month of the employee's probationary period. The department head may provide more frequent reviews, if desired.

Finance Director/Village Treasurer

Village of Cross Plains

The Village of Cross Plains (3,700) located in western Dane County, is accepting applications for the position of Finance Director/Village Treasurer. This newly created position will hold high level responsibility managing the overall financial condition of the organization. Key responsibilities include maintaining all financial accounts/records, performing complex professional accounting functions, timely financial reporting, managing annual audit process, developing annual budget, overseeing debt service, maintaining payroll/benefit records, and coordinating annual tax collection process.

Desired qualifications include a Bachelor's Degree in accounting, finance, public administration, business administration, or related field with a minimum of three years of responsible accounting experience. Certified Public Accountant (CPA) preferred. Any equivalent combination of training, education, and experience may be considered which provides the required knowledge, skills, and abilities.

Salary range is set at \$55,000 to \$65,000 depending on qualifications with a competitive fringe benefit package for full-time employment. Please submit a cover letter, resume, and employment application to Village of Cross Plains, Attn: Village Administrator, PO Box 97, Cross Plains, WI 53528 by 4:00 pm on Friday, March 25, 2016. The job description and employment application is available on the Village website at www.cross-plains.wi.us within the Employment Opportunities. Please contact Matt Schuenke at (608) 798-3241 x 105 or matt@cross-plains.wi.us with any questions. The Village of Cross Plains is an equal opportunity employer.

VILLAGE OF CROSS PLAINS

Position Description



Department:	Administration		
Job Title:	<i>Finance Director/Village Treasurer</i>		
Reports to:	Village Administrator/Clerk	Supervises	1 FTE, 1 PTE
Status:	At Will	Position Type:	Full-time
		Hours:	40 / week
		FLSA:	Exempt

GENERAL DESCRIPTION

This is a highly responsible, municipal accounting position. Considerable independence performing a variety of accounting, financial management and budgetary tasks in maintaining the fiscal records and systems of the Village.

ESSENTIAL JOB FUNCTIONS

The job functions listed herein are neither exclusive nor exhaustive, but are intended to be illustrative of the types of tasks the employee will most likely be expected to perform on a regular basis. The employee may be asked to perform different or additional tasks than the ones listed here, as the needs of the employer and/or the requirements of the position change.

- Provides high level expertise in the analysis of accounting, financial and budgetary issues.
- Oversees the maintenance of financial records and books in accordance with State and Village accounting systems for all Village accounts/funds including the reporting of sales tax, unemployment compensation, reconciliation of bank statements, allocation of receipts and disbursements to appropriate accounts, etc.
- Prepares, examines, and analyzes complex financial statements, records, and reports for completeness and conformance with generally acceptable accounting principles and standards.
- Performs complex and varied professional accounting functions with a high degree of independence.
- Checks figures, postings, and documents for correct entry, mathematical accuracy, and proper codes.
- Coordinates the preparation of monthly, quarterly and annual financial statements and special financial reports as assigned.
- Manages and coordinates the annual audit process providing assistance to independent auditors.
- Operates computers programmed with accounting software to record, store, and analyze information.
- Communicates (both in verbal and written form) with elected and appointed officials expediting answers to their financial and budget related questions by providing direct accounting and budgetary support.
- Assists with the preparation of the annual budget and with budget development.
- Coordinates annual borrowing as authorized and manages prompt payment of all debt service.
- Prepares reports pertaining to employees' payroll, benefits, insurance and retirement plans; generates 1099s and W-2s.
- Answers telephone, provides customer service support, and miscellaneous clerical duties as secondary point of contact within the Village Hall.
- Responsible for the supervision of the Deputy Clerk/Treasurer (FTE) & Administrative Assistant (PTE).
- Performs duties as set forth in 61.26 of the Wisconsin Statutes as they pertain to Treasurer including the responsibility for property tax collection.
- Performs related duties as assigned.

REQUIRED KNOWLEDGE, SKILLS AND ABILITIES

The requirements listed below are representative of the knowledge, skills, and abilities and minimum qualifications necessary to perform the essential functions of the position. Reasonable accommodations may be made to enable individuals with disabilities to perform the job.

- Knowledge of Generally Accepted Accounting Principles (GAAP); accounting theory and practices.
- Knowledge of local government financial management including bookkeeping, accounting, and record keeping principles.
- Knowledge of arithmetic, statistics, and their applications.
- Knowledge of financial management and other software programs; fluency with Microsoft Office products including Word and Excel.
- Skill in interpersonal relations.
- Organization skills and ability to prioritize workload.
- Ability to communicate effectively, both orally and in writing.
- Ability to establish effective working relationships with the Village Board, Department Heads, employees, Village residents and the general public.
- Ability to exercise independent judgment, analyze problems and recommend solutions.
- Ability to analyze data and prepare clear and accurate presentations, reports and informational materials.
- Customer Service orientation.
- Honesty, integrity, and attention to detail.

EDUCATION AND TRAINING

Graduation from an accredited four year college or university with a Bachelor's Degree in Finance, Accounting, Public Administration, Business Administration, or a related field, plus three years of experience in municipal government, including experience in accounting, utility billing, payroll and benefits with related computer skills.

SPECIAL NECESSARY REQUIREMENTS: Ability to pass a criminal and financial background check.

PREFERRED: Certified Public Accountant (CPA)

PHYSICAL DEMANDS AND WORK ENVIRONMENT

The physical demands and work environment characteristics described here are representative of those an employee encounters while performing the essential functions of the job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

- Work is primarily performed Monday-Friday from 7:30 am to 4:00 pm unless otherwise specified by Village Administrator/Clerk which may include possible attendance at Village meetings, external training, or other job related responsibilities that take place outside of the primary hours of operation.
- Work is performed mostly in an office setting; hand-eye coordination is necessary to operate computers and various pieces of office equipment.
- While performing the duties of this job, the employee frequently is required to stand and talk or hear; use hands and fingers to handle, feel or operate objects, tools or controls, and reach with hands and arms.
- The employee is occasionally required to walk, sit, climb, balance, stoop, kneel, crouch or crawl, and smell.
- The employee must frequently lift or move up to 20 pounds, and occasionally lift and/or move up to 50 pounds.

The Job Description does not constitute an employment agreement between the employer and employee and is subject to change by the employer as the needs of the employer and requirements of the job change. The Village of Cross Plains retains and reserves any and all rights to change, modify, amend, add to or delete from any section of this position description. The Village of Cross Plains is an Equal Opportunity Employer. In compliance with the Americans with Disabilities Act, the Village will provide reasonable accommodations to qualified individuals with disabilities.

I, _____, acknowledge that I have received a copy of the Job Description for the position of Finance Director/Village Treasurer with the Village of Cross Plains having read and understand its contents.

Dated this ____ of _____, _____.

Employee

Supervisor

Created: February 22, 2016

Amended: None

**VILLAGE OF CROSS PLAINS
 TAX INCREMENTAL FINANCING
 PUBLIC ASSISTANCE WITH A
 REDEVELOPMENT PROJECT
 APPLICATION**



Application ID: _____ (Year) - _____ (#) to be completed by Village Administrator/Clerk-Treasurer upon submittal

Please complete and submit the following information to the Village Administrator/Clerk-Treasurer for a more detailed review of the feasibility of your request for Tax Incremental Financing (TIF) assistance. The application is comprised of five sections: (A) Applicant Information, (B) Property Information, (C) Project/Business Information, (D) TIF Request, (E) Budget/Financing Strategy, and (F) Buyer Certification and Acknowledgement. Where there is not enough room for responses provided, please use an attachment. Where questions do not apply, mark NA (not applicable). Applicants are encouraged and may be required to submit additional information such as site plans, environmental studies, market studies, business plans, business or personal financial statements to be included for review and consideration.

A. APPLICANT INFORMATION

Project Name: Main Street Redevelopment - Phase 2 - Mixed Use

Applicant: West Gateway, Inc.

Mailing Address: 901 Deming Way, Suite 102, Madison, WI 53717

Primary Contact: Tom Pientka Telephone: 608-664-3500

Email: tom.pientka@iconiccreates.com Fax: 608-664-3535

Legal Entity: Individual(s) Joint Tenants Tenants in Common
 Corporation LLC Partnership Other: _____

If not a Wisconsin corporation/partnership/LLC, state where organized: _____

Will new entity be created for ownership? No Yes

Is any owner, member, stockholder, partner, officer or director of any previously identified entities, or any member of the immediate family of any such person, an employee or elected official of the Village of Cross Plains?

No Yes, If yes, give the name and relationship of the employee: _____

Provide the names of consultants (e.g. attorneys, engineers, planners, architects, etc.) authorized to act on behalf of the applicant.

Name	Address	Title	Phone #
Tom Pientka	901 Deming Way, Madison 53717	President	664-3500
Clarke Sugar	PO Box 1767, Madison 53701	Attorney	260-2481
Jeremy Frommelt	901 Deming Way, Madison 53717	Architect	664-3500

B. PROPERTY INFORMATION

Parcel(s) Address: See Exhibit A

Parcel(s) Tax Number: See Exhibit A

As the Applicant, are you the current owner of this parcel(s)? No Yes

If no, current owner is: See Exhibit A

If no, do you have an agreed upon option to purchase the property? No Yes (provide documentation and note the expiration date here: _____)

Total Lot Size: 54,066 square feet

Parcel Contains Existing Buildings? No Yes

If yes, indicate Total Building Size To be demolished sq.ft.

Most recent total equalized assessed valuation (EAV)

\$ Exhibit A Land \$ Exhibit A Improvements \$ Exhibit A Total

Existing Uses: Commercial

Existing Zoning: MSMU

Existing Uses, Adjacent Parcels: Commercial, Resid. N Creek, wetlands S Commercial E Commercial W

Existing Zoning, Adjacent Parcels: MSMU N N/A S MSMU E MSMU W

Will a zoning change be requested? No Yes

If yes, indicate new zoning _____

Identify other approvals, permits, or licenses your project may need.

Conditional Use; Parking agreement at Village lot.

Existing Mortgage Holder: N/A

Contact Person & Phone Number: N/A

Does the property have any existing tax delinquencies, zoning or building violations? No Yes
If yes, explain: _____

C. PROJECT/BUSINESS INFORMATION

The proposed project is: An Improvement to Existing Business A New Business(s)
 Business Relocation Residential Development Other

Project Description. Include any plans or illustrations prepared for the project, if available. At a minimum, a concept plan shall be submitted with the application.

The project is a three story, mixed-use commercial building on Main Street with 6,769 sf of retail space along with 45 one- and two-bedroom apartment units, plus underground parking. The building will be wood-framed construction with cultured stone and smart wood exterior siding materials. Site plan is attached.

Will the project incorporate any "sustainability" or "green design" concepts? Describe.

On-site retention ponds allow stormwater to seep slowly into the ground, protecting nearby Black Earth Creek, without adding to the existing storm sewers.

Current annual revenue: \$ N/A Estimated annual revenue: \$ 675,023

Current annual expenses: \$ N/A Estimated annual expenses: \$ 254,758

Business Plan and/or Marketing Plan attached? No Yes

Balance Sheets and Profit and Loss Statements for the past two years attached? No Yes

Describe the project schedule.

Final Plan/Specification Preparation Date: 8-01-2016

Preliminary Construction Start Date: 9-01-2016

Preliminary Construction Completion Date: 8-01-2017

Date Occupied or Opened: 9-01-17

Number of principal buildings and estimated square footage: 1 bldg, 73,600 sf incl. underground parking

Estimated equalized assessed valuation after project completion (EAV)

\$ 778,900 Land \$ 5,750,000 Improvements \$ 6,528,900 Total

Estimate the incremental property taxes to be generated by the project (attach any independent appraisals).

Pre-improvements: \$ 778,900 EAV x 21.88 Mill Rate = \$ 17,042 Total (A)

Post-improvements: \$ 6,528,900 EAV x 21.88 Mill Rate = \$ 142,852 Total (B)

Additional increment (B-A) = \$ 125,810

Will the proposed project result in the relocation of economic activity/businesses from another location within the Village? No Yes

If yes, discuss the nature of any anticipated relocations and the impact the relocation would have on the neighborhood where such activity is currently located.

Will the proposed project result in the relocation of economic activity from an adjacent community? No Yes

If yes, discuss the nature of any anticipated relocations and the impact the relocation would have on the community where such activity is currently located.

Identify any proposed tenants of the project. Have leases been negotiated or signed? No Yes

Area apartment rentals operate at nearly 100% full while area businesses, such as Epic, continue to grow. We anticipate full lease up by Spring of 2018.

Who will own and operate the developed property? TBD, LLC

Do similar businesses/uses already exist in Cross Plains?

No Yes, If yes, indicate Zander Place, Cedar Glen, Terrace at Cedar Glen

Describe any differences in your proposed business/uses to existing businesses/uses

Improved Main Street appearance, increased tax base, replace vacant/struggling businesses.

Current and Created Jobs by Annual Wage Range (Full Time ≥ 30 hrs/week).

\$0-\$19,000

 Full Time (current) 3 Part Time (current) FT (created) PT (created)

\$20,000-\$39,000

 3 Full Time (current) Part Time (current) FT (created) PT (created)

\$40,000-\$59,000

 2 Full Time (current) Part Time (current) FT (created) PT (created)

\$60,000+

 Full Time (current) Part Time (current) FT (created) PT (created)

Average per hour wage rate of all employees (not including benefits) \$ 16.00

Approximately what percentage of employees do you expect will be hired from the Cross Plains area (i.e. 53528 zip code) 100%.

Will the proposed business offer its employees a benefit package including health care and retirement benefits? No Yes

Discuss neighborhood impact/support for the project. Has the applicant discussed the project with neighboring property owners? No Yes

The project will replace currently underperforming properties. The project demolishes vacant industrial buildings and provides new living units within walking distance of downtown businesses and amenities. Nearby, restaurants, banks and other retail businesses will benefit from occupants of this project and their guests.

Discuss any history of community involvement by the applicant or business within the Village.

The children of both Tom Pientka and Jim Pientka attended Park/Glacier Creek schools. Both Tom and Jim coached youth sports and supported other community activities. They successfully developed and own Zander Place, a 45-unit apartment building, on Main Street.

Has any portion of the project already been started or completed? No Yes

If yes, describe the portions of the project completed, the work remaining, and why public financing is necessary to complete the project.

D. TIF REQUEST

State the total amount of TIF assistance being requested: \$1,250,000

State the need and justification for TIF assistance. Explain how the applicant intends to demonstrate compliance with the “but for” test. Substantiate that other alternative methods of financing have been thoroughly explored.

The mixed-use development will eliminate blight along the most prominent corridor of Cross Plains and will provide new and improved retail options. The improved property will add to the tax base and enhance the property values of the surrounding properties. This residential development will complement Village efforts to improve the adjacent area along Black Earth Creek and the downtown business district with a high quality building and associated landscaping. The development is in keeping with strategies stated in the Main Street Mixed Use (MSMU) District as adopted by the Village. Obtainable rents for the retail portion do not support the added construction costs of that portion of the building and site improvement costs including demolition, soil undercut/replacement, parking/access and stormwater control. Land costs and restricted construction staging area are also contributing factors. Project feasibility also depends upon developer purchasing 1904 Main Street (Kurt's) from the Village for \$1.00.

Check which box(s) best describe the use of TIF funds:

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Land Acquisition/Survey | <input checked="" type="checkbox"/> Environmental Audits | <input checked="" type="checkbox"/> Site Grading |
| <input checked="" type="checkbox"/> Demolition/Remediation | <input type="checkbox"/> New Construction | <input type="checkbox"/> Rehabilitation/Expansion |
| <input checked="" type="checkbox"/> Utility Improvements | <input checked="" type="checkbox"/> Parking/Access | <input checked="" type="checkbox"/> Landscaping |
| <input type="checkbox"/> Recreation/Conservation | <input checked="" type="checkbox"/> Professional Services | <input type="checkbox"/> Financing Costs |
| <input checked="" type="checkbox"/> Other <u>Retail build-out</u> | | |

E. PROJECT BUDGET AND FINANCIAL STRATEGY

Project Costs	Amount	Source(s) of Financing
Property Acquisition	\$ 350,000	TIF
Environmental testing/remediation	\$ 10,000	TIF
Demolition	\$ 35,000	TIF
Construction of new building(s)	\$ 6,164,600	Loan/Equity/TIF
Site Improvements		
Renovation of existing structures	\$ 0	
Cost of installation of machinery/equipment	\$ 34,000	(FFE cost) - Equity
Architectural/Engineering fees	\$	Equity
Legal & other professional fees	\$ 333,500	Equity
Permit fees	\$ 35,000	Equity
Financing fees	\$ 109,500	Equity
Other (please specify)	\$ 205,000	(Retail tenant imp.) - TIF
Market study, appraisal, utilities, operating/mktg reserves	\$ 347,500	Equity
Total Project Costs	\$ 7,624,100	

Budget source: Developer Architect Contractor Other _____

Sources of Financing	Amount	Percent of Total Costs
TIF	\$ 1,250,000	18.36 %
Equity	\$ 1,150,000	15.09 %
Loans	\$ 5,224,100	66.55 %
Grants	\$	%
Other (please specify)	\$	%
	\$	%
		%
Total Project Costs	\$ 7,624,100	100.0 %

Lender for Project:

State Bank of Cross Plains (Pending underwriting) _____ Kevin Mahaney _____ 608-798-5211
 _____ Officer _____ Phone _____

Preapproved: No Yes, attach a Letter of Commitment from the Lender indicating that the applicant has sufficient financial resources to obtain the private financing for the project.

Grant Sources: _____

Application Status: _____

Estimated Likelihood of Award: _____% Date of Grant Announcement: _____

F. BUYER CERTIFICATION AND ACKNOWLEDGEMENT

I acknowledge being informed that the Village of Cross Plains (Village) will, upon request by a member of the public or in the course of reporting its activities to the public, disclose the names of individuals requesting Tax Incremental Financing (TIF), the amount of TIF requested, state/federal programs used, if any, and the development impact of the TIF requested (jobs created, tax base impact and total project investment). I have been assured by the Village, and I understand, that other financial information provided by me in connection with this application or with assistance from the Village, if any is given (including, but not necessarily limited to business and personal financial statements, business operating statements, data on historical and projected future sales or other aspects of business performance, and business plans) will, to the extent permissible by law, and except for use in collection proceedings, if any, be treated as confidential. This will confirm that I have relied upon such assurance by the Village in providing financial information to the Village, and that, but for such assurances, such information would not be provided.

I certify that the information contained in this application is, to the best of my knowledge, true and correct. I authorize the Village or its agents to verify the information provided in this application and to obtain additional information concerning the applicant(s) financial condition (although the Village may rely on this information without any further verification). I authorize the Village to furnish such information and any other credit experience with the applicant(s) to others and to answer any questions about the applicant(s) credit experience and other financial relationships with the Village. I agree to notify the Village, in writing, of any changes that materially affect the accuracy of this statement.

I certify, by signing and submitting this application, that additional costs, above the amount of the application fee, incurred by the Village for outside professional review or expertise of this application will be the responsibility of the applicant.

Applicant Thomas R. Pientka Title President
Signature  Date 3/11/2016

Return To:

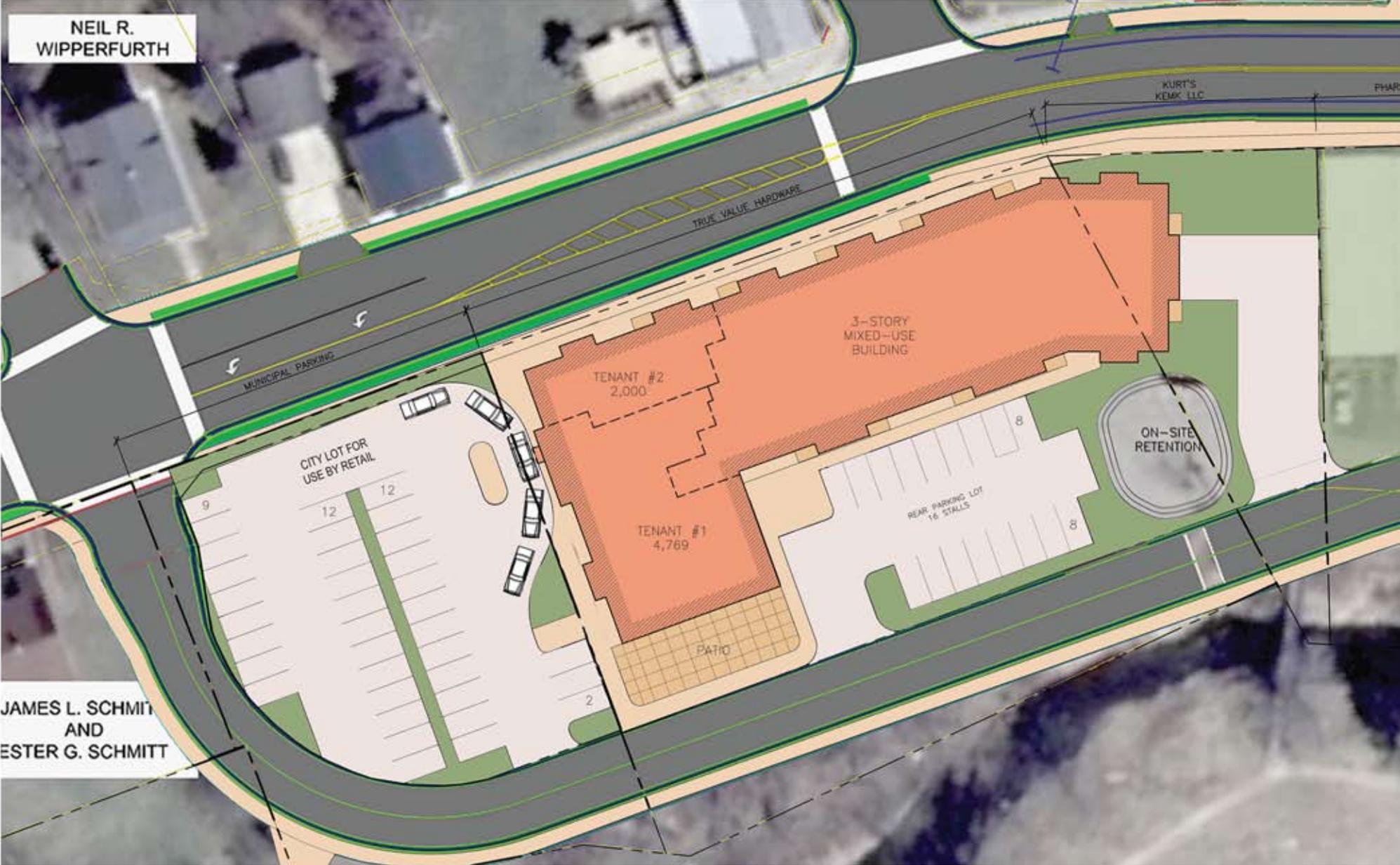
Village of Cross Plains
Attn: Village Administrator/Clerk-Treasurer
2417 Brewery Road
Cross Plains, WI 53528

TIF REPAYMENT CALCULATION

TIF INCENTIVE BOND				
TIF /	Project Cost Amount	Interest Rate	Number of	Payments
	Periods			
16%	1,250,000	3.75%	20	89,953

YEARS	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O
	Year	Beginning of Year Value	Estimated Growth in Value of New Development	Cumulative Value	Inflation Increment	End of Year Value	Tax Increment Value	Tax Value Year	Tax Rate Per \$1,000	Tax Increment Collected	Collection Year	Value of Payments	Annual Cash Flow of the Value	Cummulative Balance	Payment Year
1	2016	778,900	-	778,900		778,900		2017	21.88	17,042	2017	314,953	(297,910)	(297,910)	2017
2	2017	778,900	5,750,000	6,528,900		6,528,900	5,750,000	2018	21.88	125,810	2018	89,953	35,857	(262,053)	2018
3	2018	6,528,900		6,528,900	65,289	6,594,189	5,815,289	2019	21.88	127,239	2019	89,953	37,286	(224,767)	2019
4	2019	6,594,189		6,594,189	65,942	6,660,131	5,881,231	2020	21.88	128,681	2020	89,953	38,729	(186,038)	2020
5	2020	6,660,131		6,660,131	66,601	6,726,732	5,947,832	2021	21.88	130,139	2021	89,953	40,186	(145,852)	2021
6	2021	6,726,732		6,726,732	67,267	6,794,000	6,015,100	2022	21.88	131,610	2022	89,953	41,658	(104,195)	2022
7	2022	6,794,000		6,794,000	67,940	6,861,940	6,083,040	2023	21.88	133,097	2023	89,953	43,144	(61,050)	2023
8	2023	6,861,940		6,861,940	68,619	6,930,559	6,151,659	2024	21.88	134,598	2024	89,953	44,646	(16,405)	2024
9	2024	6,930,559		6,930,559	69,306	6,999,865	6,220,965	2025	21.88	136,115	2025	89,953	46,162	29,757	2025
10	2025	6,999,865		6,999,865	69,999	7,069,863	6,290,963	2026	21.88	137,646	2026	89,953	47,694	77,451	2026
11	2026	7,069,863		7,069,863	70,699	7,140,562	6,361,662	2027	21.88	139,193	2027	89,953	49,241	126,692	2027
12	2027	7,140,562		7,140,562	71,406	7,211,967	6,433,067	2028	21.88	140,756	2028	89,953	50,803	177,495	2028
13	2028	7,211,967		7,211,967	72,120	7,284,087	6,505,187	2029	21.88	142,333	2029	89,953	52,381	229,875	2029
14	2029	7,284,087		7,284,087	72,841	7,356,928	6,578,028	2030	21.88	143,927	2030	89,953	53,975	283,850	2030
15	2030	7,356,928		7,356,928	73,569	7,430,497	6,651,597	2031	21.88	145,537	2031	89,953	55,584	339,434	2031
16	2031	7,430,497		7,430,497	74,305	7,504,802	6,725,902	2032	21.88	147,163	2032	89,953	57,210	396,644	2032
17	2032	7,504,802		7,504,802	75,048	7,579,850	6,800,950	2033	21.88	148,805	2033	89,953	58,852	455,497	2033
18	2033	7,579,850		7,579,850	75,799	7,655,649	6,876,749	2034	21.88	150,463	2034	89,953	60,511	516,007	2034
19	2034	7,655,649		7,655,649	76,556	7,732,205	6,953,305	2035	21.88	152,138	2035	89,953	62,186	578,193	2035
20	2035	7,732,205		7,732,205	77,322	7,809,527	7,030,627	2036	21.88	153,830	2036	89,953	63,878	642,070	2036

Return on Investment 1.51



NEIL R. WIPPERFURTH

JAMES L. SCHMITT AND ESTER G. SCHMITT

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Cross Plains Mixed Use
 Concept Site Plan

West Gateway Development
 ICONICA Design Builder



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Cross Plains Mixed Use
Concept Image

West Gateway Development
 **ICONICA** Design Builder



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Cross Plains Mixed Use
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West Gateway Development
 **ICONICA** Design Builder



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Cross Plains Mixed Use
Concept Image

West Gateway Development
 **ICONICA** Design Builder

Village of Cross Plains

Monthly Budget Summary Report

Fund 110 - General Fund

Revenue		Actual by Month												2016	2016		%
Acct	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	Y-T-D	Budget	Variance	Variance
41000	Taxes	0	132											132	1,103,750	(1,103,618)	0.01%
42000	Special Assessments	0	0											0	1,000	(1,000)	0.00%
43000	Intergovernmental Revenues	49,827	0											49,827	376,500	(326,673)	13.23%
44000	Licenses & Permits	215	14,693											14,908	82,250	(67,342)	18.13%
45000	Fines, Forfeits & Penalties	1,333	1,663											2,996	31,250	(28,254)	9.59%
46000	Public Charges for Services	68	10,050											10,118	26,500	(16,382)	38.18%
47000	Intergov't Charges for Service	0	0											0	35,000	(35,000)	0.00%
48000	Miscellaneous Revenues	1,035	1,226											2,261	55,500	(53,239)	4.07%
49000	Other Financing Sources	0	0											0	33,500	(33,500)	0.00%
Total Revenue		52,478	27,763	0	80,242	1,745,250	(1,665,008)	4.60%									

Months Completed 2
 Total Months 12
 Percentage Completed 16.67%

Expense		Actual by Month												2016	2016		%
Acct	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	Y-T-D	Budget	Variance	Variance
51100	Village Board	1,305	1,713											3,018	20,350	(17,332)	14.83%
51200	Municipal Court	2,140	2,068											4,208	24,650	(20,442)	17.07%
51410	Village Administration	8,206	16,903											25,109	144,250	(119,141)	17.41%
51430	Personnel	15,835	3,987											19,821	61,750	(41,929)	32.10%
51440	Elections	0	542											542	4,250	(3,708)	12.76%
51510	Financial Management	2,046	5,592											7,638	13,750	(6,112)	55.55%
51530	Village Assessor	0	0											0	10,000	(10,000)	0.00%
51540	Insurance & Risk Mgmt	0	9,105											9,105	57,750	(48,645)	15.77%
51600	General Buildings & Plant	389	4,825											5,215	35,250	(30,035)	14.79%
51900	Contingency	0	0											0	47,500	(47,500)	0.00%
52100	Police	49,337	31,591											80,928	519,250	(438,322)	15.59%
52200	Fire District	0	31,565											31,565	83,000	(51,435)	38.03%
52300	EMS	0	48,551											48,551	48,500	51	100.10%
52400	Building Inspection	517	877											1,394	16,750	(15,356)	8.32%
53300	Public Facilities	21,435	26,873											48,308	379,250	(330,942)	12.74%
53420	Street Lighting	0	5,755											5,755	80,000	(74,245)	7.19%
53620	Refuse & Garbage Collect	13,115	13,331											26,446	164,000	(137,554)	16.13%
56400	Community Development	0	6,399											6,399	35,000	(28,601)	18.28%
58000	Transfers to Other Funds	0	0											0	0	0	#DIV/0!
Total Expense		114,324	209,676	0	323,999	1,745,250	(1,421,251)	18.56%									

Village of Cross Plains

Monthly Budget Summary Report

Fund 120 - Capital Fund

Revenue		Actual by Month												2016	2016	Variance	%
Account	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	Y-T-D	Budget	Variance	Variance
41000	Taxes	0	0											0	0	0	#DIV/0!
43000	Intergov. Revenues	0	0											0	50,000	(50,000)	0.00%
46000	Public Charges for Service	0	21,505											21,505	57,000	(35,495)	37.73%
48000	Miscellaneous Revenues	0	0											0	70,000	(70,000)	0.00%
49000	Other Financing Sources	0	0											0	1,757,750	(1,757,750)	0.00%
Total Revenue		0	21,505	0	0	0	0	0	0	0	0	0	0	21,505	1,934,750	(1,913,245)	1.11%

Months Completed 2

Total Months 12

Percentage Completed 16.67%

Expense		Actual by Month												2016	2016	Variance	%
Account	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	Y-T-D	Budget	Variance	Variance
57140	General Public Buildings	0	0											0	49,000	(49,000)	0.00%
57210	Police Department	523	1,395											1,919	33,750	(31,832)	5.68%
57220	Fire District	0	0											0	0	0	#DIV/0!
57230	EMS District	0	0											0	0	0	#DIV/0!
57300	Public Facilities	0	5,375											5,375	1,142,000	(1,136,625)	0.47%
57620	Parks, Rec, & Cons.	0	11,866											11,866	710,000	(698,134)	1.67%
59200	Transfers to Other Funds	0	0											0	0	0	#DIV/0!
Total Expense		523	18,636	0	0	0	0	0	0	0	0	0	0	19,159	1,934,750	(1,915,591)	0.99%

Village of Cross Plains

Monthly Budget Summary Report

Fund 130 - Library Fund

Revenue		Actual by Month												2016	2016		%
Account	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	Y-T-D	Budget	Variance	Variance
41000	Taxes	0	0											0	250,250	(250,250)	0.00%
43000	Intergov. Revenues	0	0											0	106,250	(106,250)	0.00%
45000	Fines, Forfeits, & Penalties	0	0											0	4,250	(4,250)	0.00%
46000	Public Charges for Service	284	352											636	4,500	(3,864)	14.14%
48000	Miscellaneous Revenues	0	0											0	1,000	(1,000)	0.00%
49000	Other Financing Sources	0	0											0	2,000	(2,000)	0.00%
Total Revenue		284	352	0	636	368,250	(367,614)	0.17%									

Months Completed	2
Total Months	12
Percentage Completed	16.67%

Expense		Actual by Month												2016	2016		%
Account	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	Y-T-D	Budget	Variance	Variance
51430	Personnel	4,997	5,678											10,676	61,500	(50,824)	17.36%
51600	General Buildings & Plant	117	2,590											2,707	37,250	(34,543)	7.27%
55110	Library	41,827	18,215											60,042	269,500	(209,458)	22.28%
59200	Transfers to Other Funds	0	0											0	0	0	#DIV/0!
Total Expense		46,941	26,483	0	73,425	368,250	(294,825)	19.94%									

Village of Cross Plains

Monthly Budget Summary Report

Fund 140 - Parks & Recreation Fund

Revenue		Actual by Month												2016	2016		%
Acct	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	Y-T-D	Budget	Variance	Variance
41000	Taxes	0	0											0	191,500	(191,500)	0.00%
43000	Intergov. Revenues	0	0											0	0	0	#DIV/0!
46000	Public Charges for Service	3,925	5,019											8,944	190,000	(181,056)	4.71%
48000	Miscellaneous Revenues	0	0											0	1,000	(1,000)	0.00%
49000	Other Financing Sources	0	0											0	10,000	(10,000)	0.00%
Total Revenue		3,925	5,019	0	8,944	392,500	(383,556)	2.28%									

Months Completed 2

Total Months 12

Percentage Completed 16.67%

Expense		Actual by Month												2016	2016		%
Acct	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	Y-T-D	Budget	Variance	Variance
51430	Personnel	2,892	3,033											5,925	44,250	(38,325)	13.39%
54600	Aging	18,480	0											18,480	19,250	(770)	96.00%
55200	Parks	1,707	2,376											4,083	62,000	(57,917)	6.59%
55300	Programs & Events	4,831	8,909											13,741	122,250	(108,509)	11.24%
55420	Swimming Pool	1,392	3,197											4,589	116,250	(111,661)	3.95%
59200	Transfers	0	0											0	28,500	(28,500)	0
Total Expense		29,303	17,516	0	46,818	392,500	(317,182)	11.93%									

Village of Cross Plains

Monthly Budget Summary Report

Fund 150 - Debt Service Fund

Revenue		Actual by Month												2016	2016	Variance	%
Account	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	Y-T-D	Budget	Variance	Variance
41000	Taxes	0	0											0	857,750	(857,750)	0.00%
49000	Other Financing Sources	0	0											0	142,250	(142,250)	0.00%
Total Revenue		0	0	0	0	0	0	0	0	0	0	0	0	0	1,000,000	(1,000,000)	0.00%

Months Completed	2
Total Months	12
Percentage Completed	16.67%

Expense		Actual by Month												2016	2016	Variance	%
Account	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	Y-T-D	Budget	Variance	Variance
58000	Debt Issuance	0	338,160											338,160	1,000,000	(661,840)	33.82%
59000	Transfers	0	0											0	0	0	#DIV/0!
Total Expense		0	338,160	0	338,160	1,000,000	(661,840)	33.82%									

Village of Cross Plains

Monthly Budget Summary Report

Fund 310 - Tax Increment District

Revenue	Actual by Month												2016 Y-T-D	2016 Budget	Variance	%		
	Acct	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct					Nov	Dec
41000	Taxes	0	0												0	390,000	(390,000)	0.00%
43000	Intergov. Revenues	0	0												0	3,500	(3,500)	0.00%
46000	Public Charges for Services	0	0												0	7,500	(7,500)	0.00%
48000	Miscellaneous Revenues	0	0												0	0	0	#DIV/0!
49000	Other Financing Sources	0	0												0	0	0	#DIV/0!
Total Revenue		0	0	0	0	0	0	0	0	0	0	0	0	0	0	401,000	(401,000)	0.00%

Months Completed 2

Total Months 12

Percentage Completed 16.67%

Expense	Actual by Month												2016 Y-T-D	2016 Budget	Variance	%		
	Acct	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct					Nov	Dec
51410	Executive	0	15,232												15,232	103,500	(88,268)	14.72%
51510	Accounting	0	1,500												1,500	1,500	0	100.00%
58000	Debt Service	0	252,711												252,711	255,500	(2,789)	98.91%
59200	Transfers to Other Funds	0	0												0	125,500	(125,500)	0.00%
Total Expense		0	269,443	0	0	0	0	0	0	0	0	0	0	0	269,443	486,000	(216,557)	55.44%

Village of Cross Plains

Monthly Budget Summary Report

Fund 660 - Water Utility

Revenue		Actual by Month												2016	2016	Variance	%
Account	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	Y-T-D	Budget	Variance	Variance
46450	Public Charges for Services	112,002	452											112,454	456,750	(344,296)	24.62%
48000	Miscl. Amortization	0	0											0	85,250	(85,250)	0.00%
49200	Other Financing Sources	0	0											0	102,500	(102,500)	0.00%
Total Revenue		112,002	452	0	112,454	644,500	(532,046)	17.45%									

Months Completed	2
Total Months	12
Percentage Completed	16.67%

Expense		Actual by Month												2016	2016	Variance	%
Account	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	Y-T-D	Budget	Variance	Variance
51400	Administration	7,678	12,088											19,765	123,750	(103,985)	15.97%
51500	Financial	0	0											0	248,250	(248,250)	0.00%
53700	Water Service	2,751	15,037											17,788	165,000	(147,212)	10.78%
57000	Capital Outlay	0	0											0	107,500	(107,500)	0.00%
Total Expense		10,428	27,125	0	37,553	644,500	(606,947)	5.83%									

Village of Cross Plains

Monthly Budget Summary Report

Fund 670 - Sewer Fund

Revenue		Actual by Month												2016	2016		%
Acct	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	Y-T-D	Budget	Variance	Variance
46000	Public Charges for Services	334,022	1,351											335,373	1,333,750	(998,378)	25.15%
48000	Miscellaneous Revenues	1,369	10											1,379	5,000	(3,621)	27.58%
49000	Other Financing Sources	0	0											0	50,000	(50,000)	0.00%
Total Revenue		335,390	1,361	0	336,751	1,388,750	(1,051,999)	24.25%									

Months Completed	2
Total Months	12
Percentage Completed	16.67%

Expense		Actual by Month												2016	2016		%
Acct	Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	Y-T-D	Budget	Variance	Variance
51510	Accounting	975	2,275											3,250	6,000	(2,750)	54.17%
51600	General Buildings and Plant	200	9,874											10,074	71,500	(61,426)	14.09%
53610	Sewage Service	11,403	19,803											31,207	290,250	(259,043)	10.75%
53630	Solid Waste Disposal	0	0											0	175,000	(175,000)	0.00%
57410	Capital Outlay	0	(2,290)											(2,290)	251,750	(254,040)	-0.91%
58000	Debt Service	0	0											0	594,250	(594,250)	0.00%
59200	Transfers to Other Funds	0	0											0	0	0	#DIV/0!
Total Expense		12,579	29,662	0	42,240	1,388,750	(1,346,510)	3.04%									